

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

November 19, 2019

Dennis Lorenz, P.E.  
Lorenz Design & Consulting  
2501 Rio Grande NW, Suite A  
Albuquerque, NM 87104

**RE: Beehive Homes- Phase 3 revised & Phase 5  
13440 Wenonah SE  
Engineer's Stamp Date: 11/8/19  
Hydrology File: L23D022**

Dear Mr. Lorenz:

Based on the submittal received on 11/12/19, this project is approved for Building Permit.

PO Box 1293

Prior to Certificate of Occupancy (For Information):

Albuquerque

NM 87103

www.cabq.gov

1. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required.
2. The stormwater control/sedimentation pond adjacent to Tramway Channel needs to be recertified, and will likely need to have sediment removed to restore bottom of pond to 5615'.
3. A Bernalillo County Recorded [Drainage Covenant \(No Public Easement\)](#) is required for the stormwater control/sedimentation pond. The original notarized form, exhibit A (legible on 8.5x11 paper), and recording fee (\$25, payable to Bernalillo County) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) regarding the routing and recording process for covenants. The routing and recording process for covenants can take a month or longer; Hydrology recommends beginning this process as soon as possible as to not delay approval for certificate of occupancy.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: BEEHIVE HOMES Building Permit #: — Hydrology File #: L23.1022

DRB#: — EPC#: — Work Order#: —

Legal Description: TRACT 1-B2 FOUR HILLS VILLAGE SHOPPING CTR

City Address: 13440 WENONAH AVE SE

Applicant: LORENZ DESIGN + CONSULTING Contact: D. LORENZ

Address: 2501 RIO GRANDE NW STE A, ALBU, NM 87104

Phone#: 220 0869 Fax#: — E-mail: —

Other Contact: HOST CARE LLC Contact: J. CASTILLO

Address: 3535 PRINCETON NG, ALBU, NM 87110

Phone#: 385-8560 Fax#: — E-mail: —

TYPE OF DEVELOPMENT: — PLAT (# of lots) — RESIDENCE — DRB SITE X ADMIN SITE

IS THIS A RESUBMITTAL? X Yes — No

DEPARTMENT — TRANSPORTATION X HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G & D PLAN
- X GRADING PLAN
- X DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) —
- PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- X BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOODPLAIN DEVELOPMENT PERMIT
- OTHER (SPECIFY) —

DATE SUBMITTED: 11.11.19 By: D. LORENZ

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: —

FEE PAID: —



November 8, 2019

Dana Peterson, PE  
Senior Engineer - Hydrology Section  
Development and Building Services  
City of Albuquerque  
Plaza Del Sol  
Albuquerque, New Mexico 87102

**SUBJECT: BEEHIVE HOMES (L23/D022)**  
***Phases 3 and 5 - Grading and Drainage Plan***

Dear Dana:

Submitted herewith for review and approval are 2 copies of the Grading and Drainage Plan for the subject project. Phase 3 was approved February 23, 2017. This submittal represents an amendment to Phase 3 due to revised building geometry. In order to reduce paper it also includes Phase 5, which is the last Phase. Phases 1 and 2, and the masterplan drainage improvements are complete and certified. Phase 4 is currently under construction. Phases 3 and 5 represent the final portion of the project.

Thank you for your assistance. If you have any questions regarding this request, please call me.

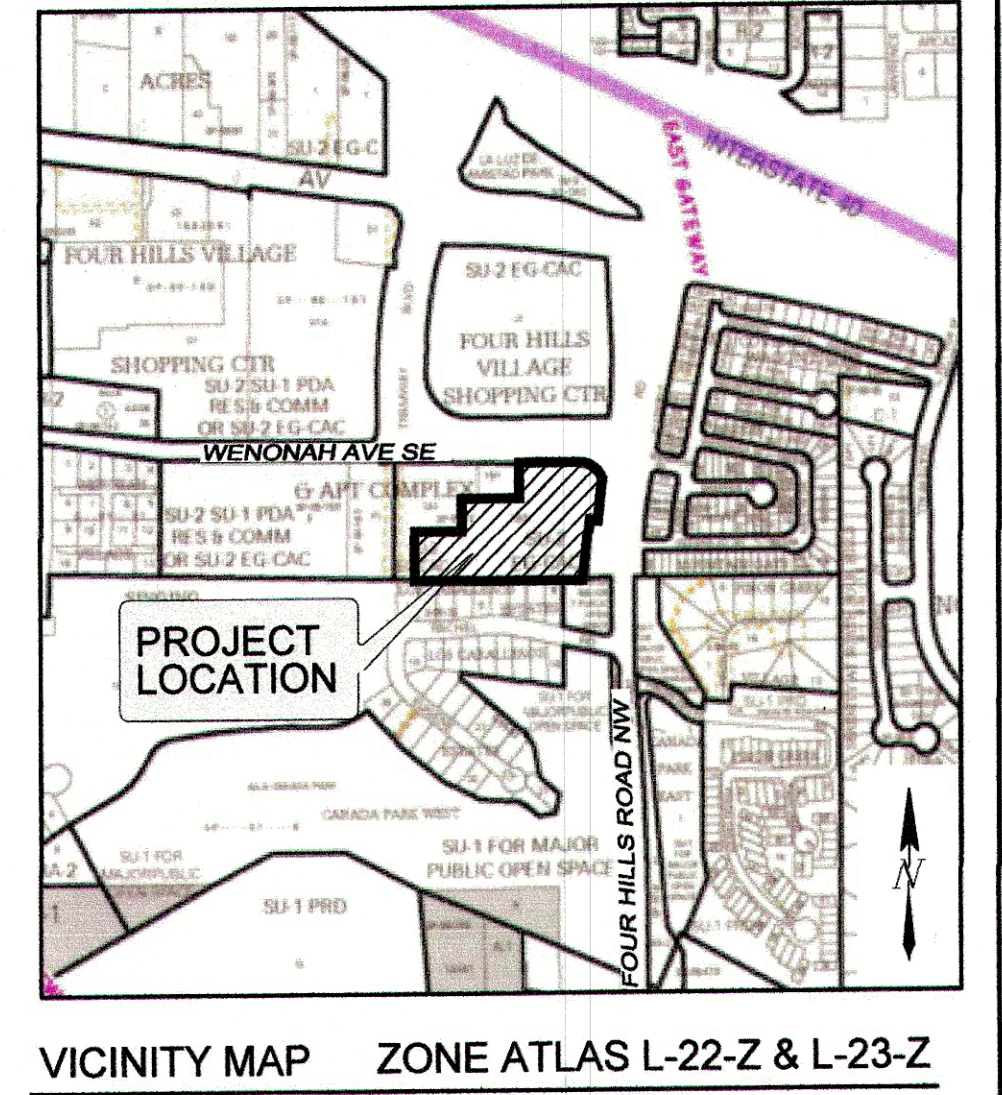
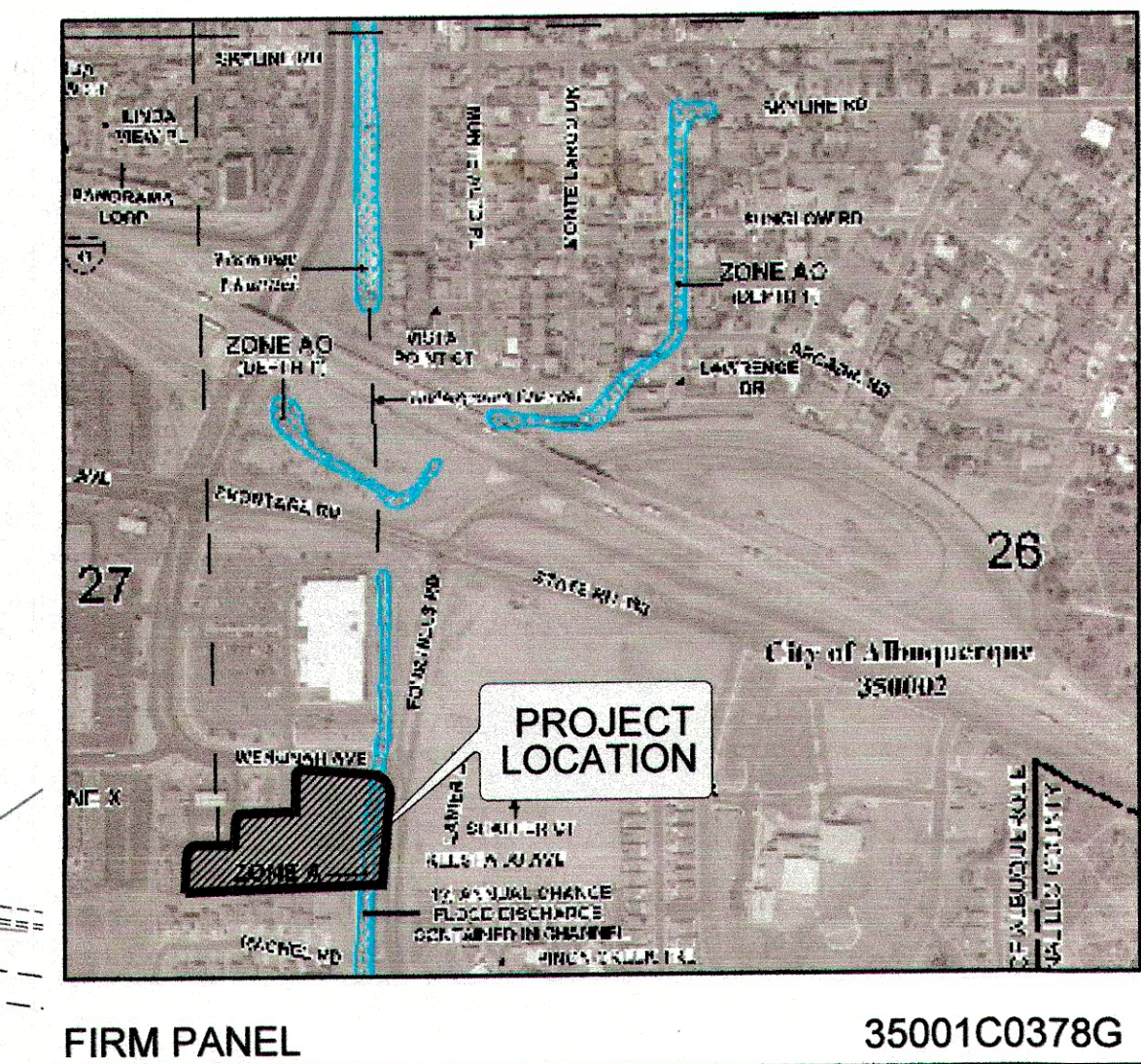
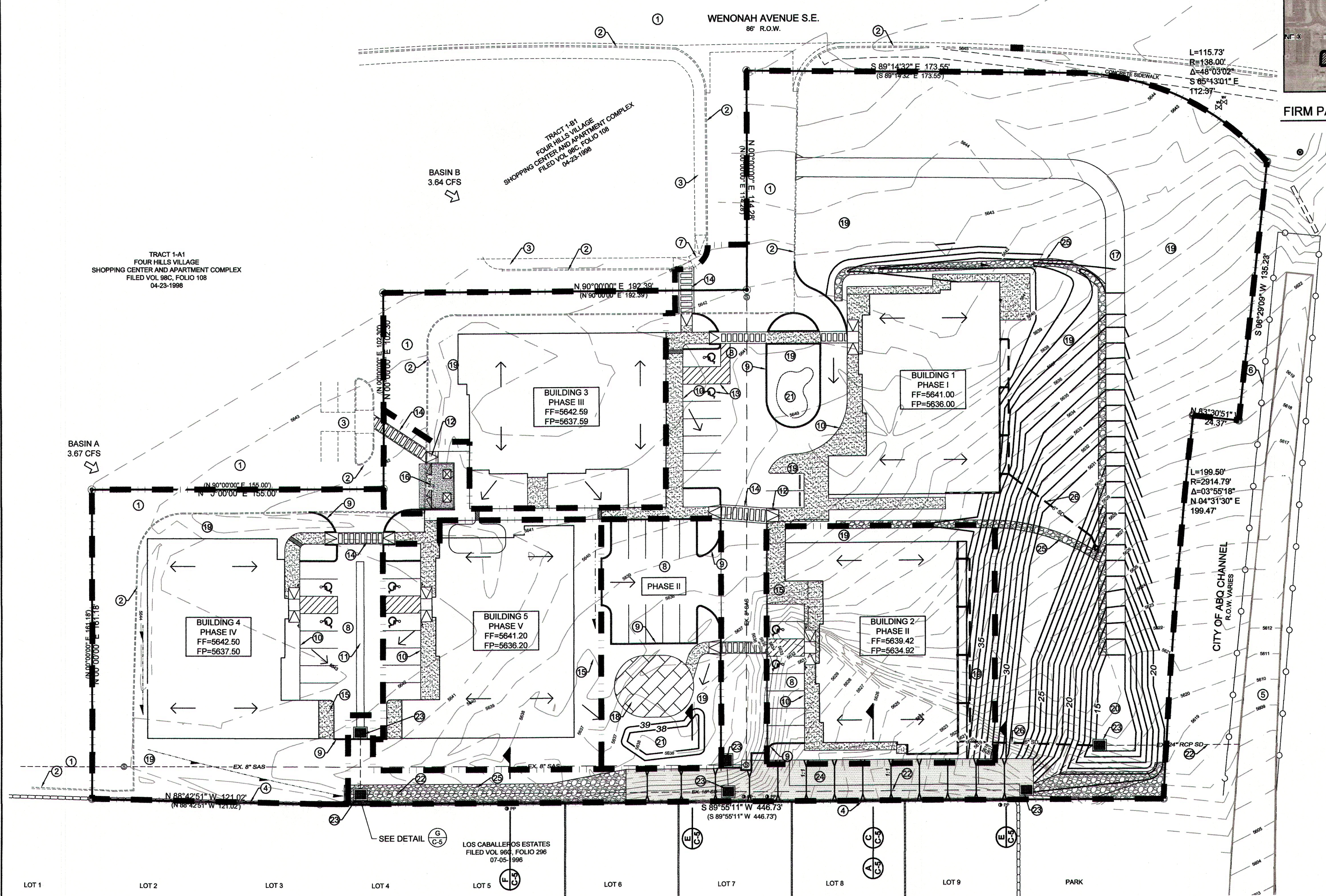
Sincerely,

**LORENZ DESIGN & CONSULTING, LLC**

Dennis A. Lorenz, PE

P\14-014\dp11.11.2019





LEGEND		
ITEM	EXISTING	PROPOSED
PROPERTY LINE	---	---
SPOT ELEVATION	× 75.5	01.5 ◆
RIP-RAP ROCK	[Pattern]	[Pattern]
CONTOUR W/ ELEVATION	--- 5800 ---	--- 5800 ---
BLOCK WALL	[Pattern]	[Pattern]
CHAIN LINK FENCE	[Pattern]	[Pattern]
RETAINING WALL	[Pattern]	[Pattern]
ASPHALT PAVING	[Pattern]	[Pattern]
DIRECTION OF FLOW	←	←
DRAINAGE SWALE	---	---
PHASE BOUNDARY	---	---
UTILITY POLE	○ PP	○ PP

- KEYED NOTES
- EXISTING ASPHALT PAVEMENT.
  - EXISTING CONCRETE CURB & GUTTER.
  - EXISTING CONCRETE SIDEWALK.
  - EXISTING BLOCK WALL.
  - EXISTING CONCRETE DRAINAGE CHANNEL.
  - EXISTING CHAIN LINK FENCE.
  - EXISTING HANDICAP RAMP.
  - PROPOSED ASPHALT PAVEMENT.
  - PROPOSED CONCRETE CURB.
  - PROPOSED TURNDOWN SIDEWALK.
  - PROPOSED CONCRETE VALLEY GUTTER.
  - PROPOSED HANDICAP RAMP.
  - PROPOSED PROPOSED HANDICAP PARKING STRIPING PER CODE.
  - PROPOSED PEDESTRIAN WAY.
  - PROPOSED CONCRETE SIDEWALK.
  - PROPOSED REFUSE ENCLOSURE PER SOLID WASTE DETAILS.
  - PROPOSED POND MAINTENANCE DRIVE.
  - PROPOSED PATIO.
  - PROPOSED LANDSCAPING. SEE LANDSCAPE PLAN.
  - PROPOSED SEDIMENTATION POND.
  - PROPOSED WATER HARVESTING POND.
  - PROPOSED STORM DRAIN.
  - PROPOSED DROP INLET.
  - PROPOSED CONCRETE SLOPE PAVING.
  - PROPOSED ROCK SWALE.
  - PROPOSED ROOF DRAIN.

DRAWING INDEX	
MASTER PLAN	C-2
PHASE I	C-3
PHASE II	C-4
DETAILS	C-5

PROJECT DATA

PROPERTY ADDRESS:  
13440 WENONAH AVENUE SE  
ALBUQUERQUE, NM

LEGAL DESCRIPTION:  
TRACT 1B-2, FOUR HILLS VILLAGE  
SHOPPING CENTER & APARTMENT  
COMPLEX

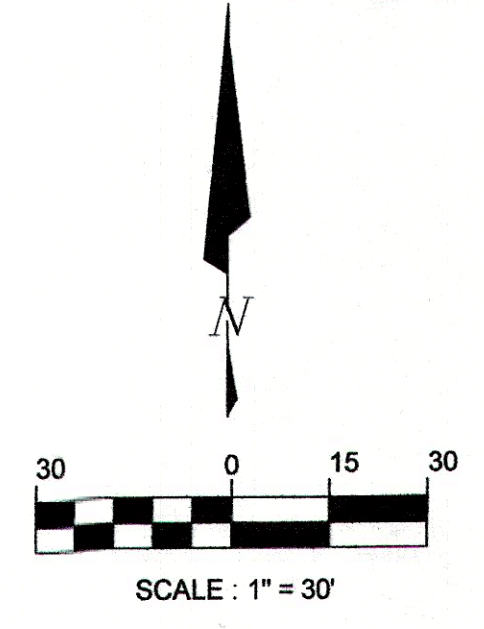
PROJECT BENCHMARK:  
ACS MONUMENT BRASS CAP "B\_L22"  
N: 1,480,177.419  
E: 1,566,414.815  
ELEV.: 5668.036 (NAVD)

BEEHIVE HOMES  
MASTER PLAN  
GRADING & DRAINAGE PLAN

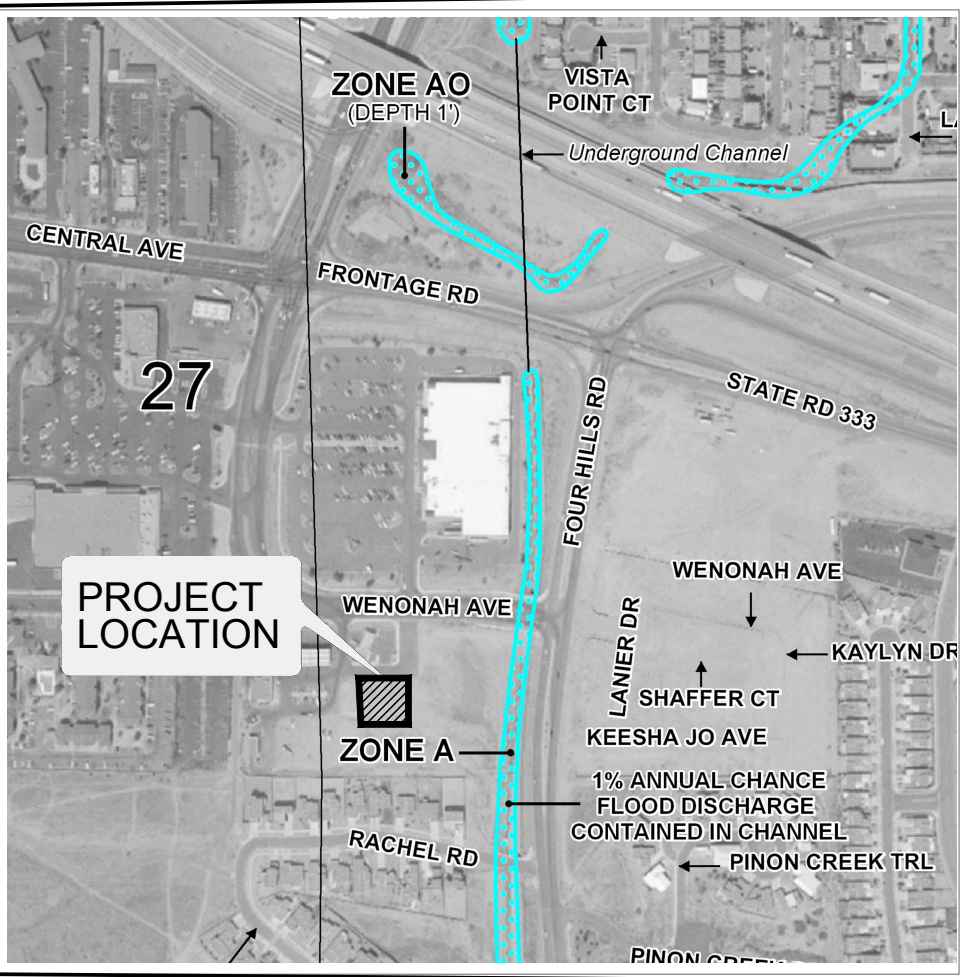
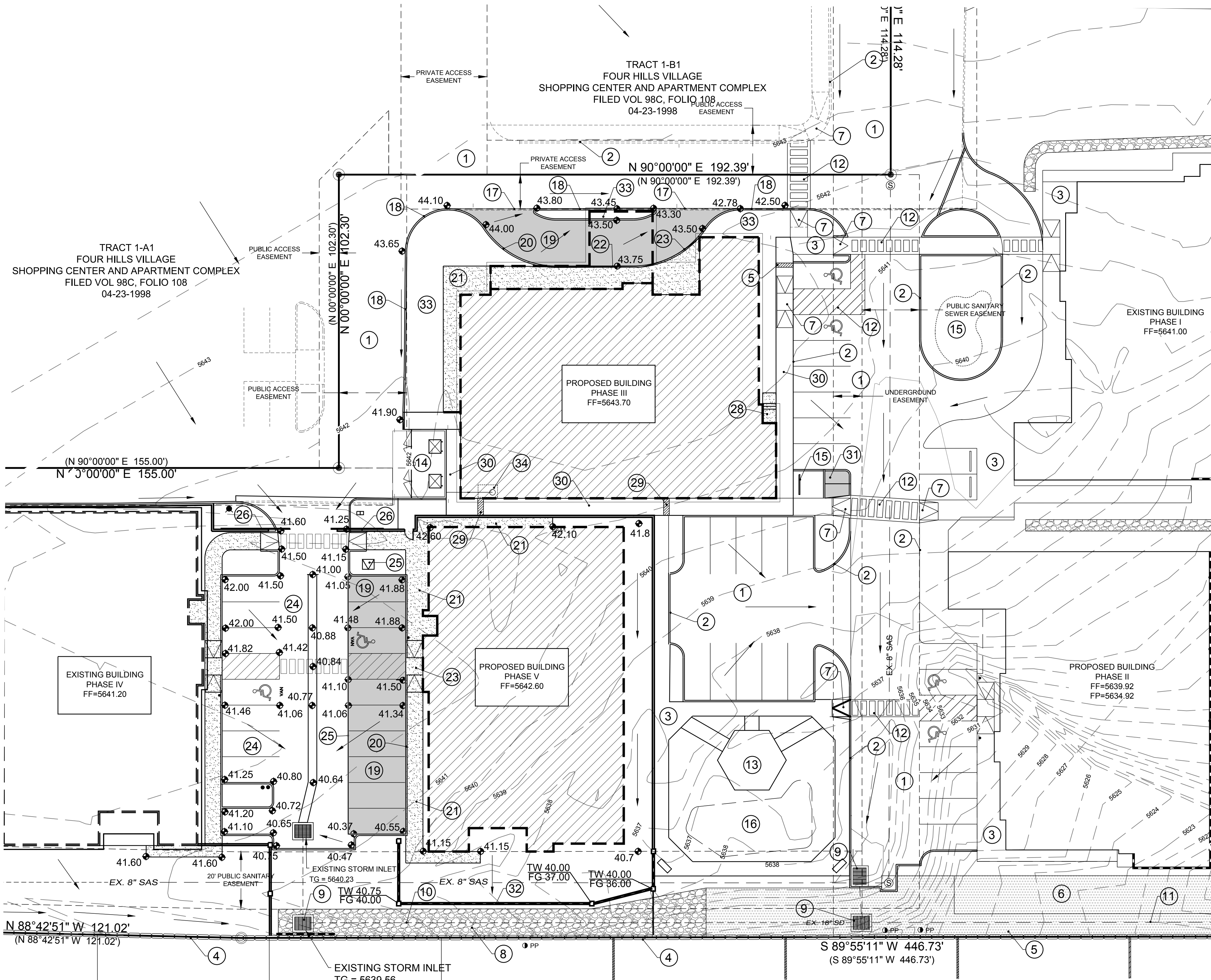
LORENZ  
DESIGN & CONSULTING, LLC  
Civil Engineering | Construction Management

2501 Rio Grande Blvd NW, Suite A Albuquerque, New Mexico 87104  
Ph: 505-888-0088 Fax: 505-242-9655

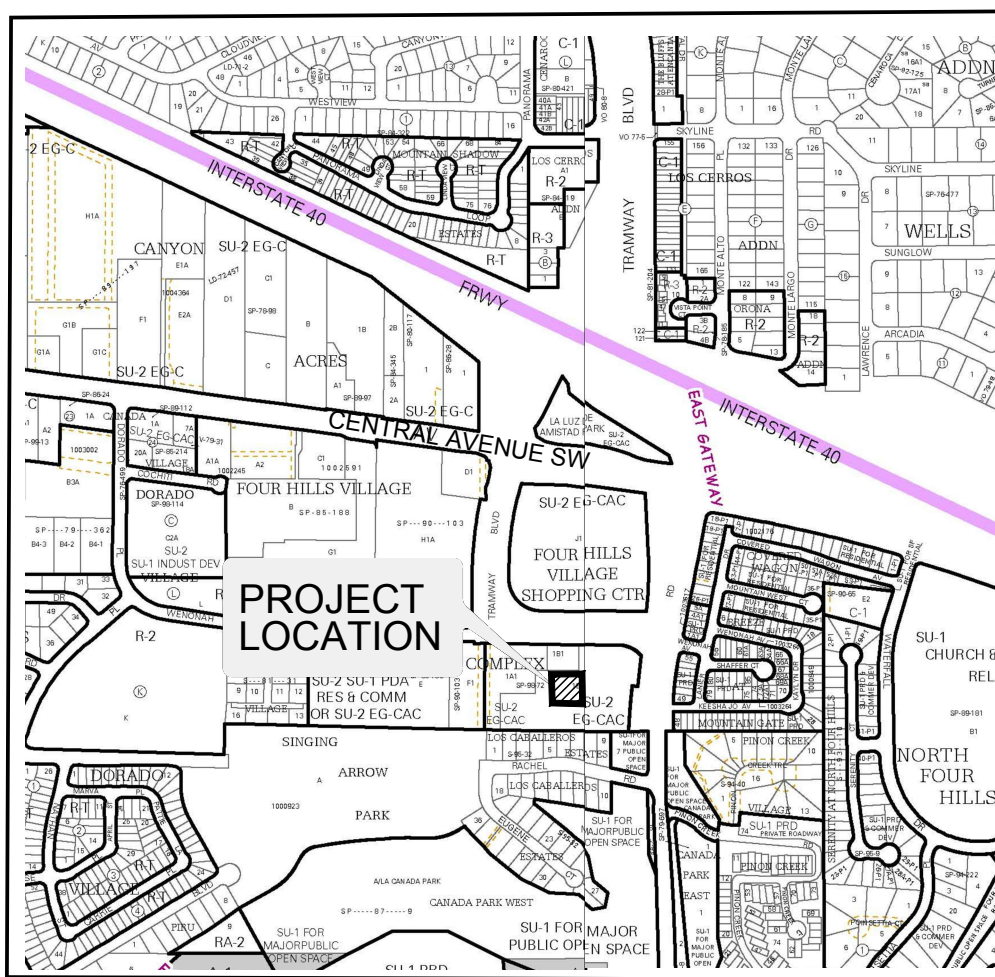
DRAWN BY: J.M.T.	DATE: 11/05/2014
CHECKED BY: D.A.L.	
FILE: 14-014 SP	SHEET C-2







FIRM PANEL 35001C0378G Not to Scale



VICINITY MAP ZONE ATLAS L 22-23-Z Not to Scale

PHASE III GRADING AND DRAINAGE PLAN

This Grading and Drainage Plan provides the detail necessary for construction of the grading and drainage improvements required for Beehive Homes Phases 3 and 5. The improvements shown hereon are in compliance with the approved Drainage Masterplan for Beehive Homes prepared by Rio Grande Engineering, David Soule, PE, dated 10-4-2013, and the Grading and Drainage Master Plan for Beehive Homes, prepared by Lorenz Design & Consulting, LLC, dated 11-05-2014.

Phase 1 & 2 improvements are in place and have been accepted by the City of Albuquerque.

Phase 3 was approved February 23, 2016 (L23D022). This Plan represents an amendment to Phase 3 die to revised building geometry and includes Phase 5. Phase 4 is presently under construction. With the construction of Phase 3 and 5 improvements the Masterplan will be complete.

Certifications of Grading, Drainage and Traffic improvements will be required for Certificate of Occupancy for Phases 3 and 5.

KEYED NOTES

- EXISTING ASPHALT PAVEMENT.
- EXISTING CONCRETE CURB.
- EXISTING CONCRETE SIDEWALK.
- EXISTING BLOCK WALL.
- EXISTING CONCRETE DRAINAGE CHANNEL.
- EXISTING CONCRETE SLOPE PAVING.
- EXISTING HANDICAP RAMP.
- EXISTING RIP RAP DRAINAGE CHANNEL.
- EXISTING TYPE 'D' INLET.
- EXISTING 18-INCH HOPE STORM DRAIN.
- EXISTING 24-INCH RCP STORM DRAIN.
- EXISTING REDESTRIAN WAY.
- EXISTING PATIO.
- EXISTING REFUSE ENCLOSURE.
- EXISTING BIKE RACK.
- EXISTING RETENTION POND
- REMOVE AND DISPOSE EXISTING ASPHALT CURB.
- REMOVE AND DISPOSE EXISTING ASPHALT CURB. CONSTRUCT CONCRETE CURB & GUTTER.
- CONSTRUCT ASPHALT PAVEMENT.
- CONSTRUCT CONCRETE CURB.
- CONSTRUCT CONCRETE SIDEWALK.
- NO CURB, TOP OF ASPHALT AT TOP OF SIDEWALK.
- CONSTRUCT HANDICAP RAMP. SEE SITE PLAN FOR DETAILS.
- EXISTING PARKING LOT AND ACCESS IMPROVEMENTS BY PHASE 4 BUILDING PERMIT.
- EXISTING EDGE OF PAVEMENT.
- EXISTING ELECTRIC GATE BY PHASE 4.
- EXISTING ELECTRIC TRANSFORMER.
- CONSTRUCT CONCRETE STAIRS. SEE SITE PLAN.
- REMOVE & DISPOSE EXISTING SIEWLAK CULVERT.
- REMOVE AND REPLACE EXISTING SIDEWALK AS NECESSARY TO CONSTRUCTION BUILDINGS.
- REMOVE AND DISPOSE EXISTING ASPHALT AND CURBS TO LIMITS SHOWN. CONSTRUCT 2 MOTORCYCLE PARKING SPACES. SEE SITE PLAN.
- CONSTRUCT RETAILING WALL. DESIGN BY OTHERS.
- PROPOSED LANDSCAPING. SEE LANDSCAPE PLAN.
- REMOVE AND DISPOSE EXISTING GREASE TRAP.

PROJECT DATA

PROPERTY ADDRESS:  
13440 WENONAH AVENUE SE  
ALBUQUERQUE, NM  
LEGAL DESCRIPTION:  
TRACT 1B-2, FOUR HILLS VILLAGE SHOPPING CENTER & APARTMENT COMPLEX  
PROJECT BENCHMARK:  
ACS MONUMENT BRASS CAP "8\_L22"  
N: 1,480,177.419  
E: 1,566,414.815  
ELEV.: 5668.036 (NAVD)

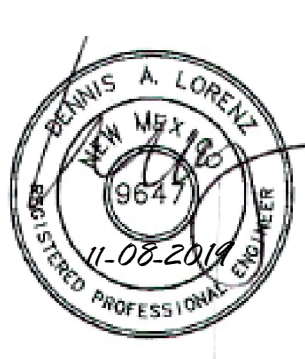
LEGEND

ITEM	EXISTING	PROPOSED
PROPERTY LINE		
SPOT ELEVATION	75.5	16.00
RIP-RAP ROCK		
CONTOUR W/ ELEVATION	5800	5800
BLOCK WALL		
CHAIN LINK FENCE		
RETAINING WALL		
ASPHALT PAVING		
CONCRETE SIDEWALKS		
CONCRETE SLOPE PAVING		
DIRECTION OF FLOW		
PHASE BOUNDARY		
UTILITY POLE		
STORM INLET		
STORM DRAIN		

DRAINAGE PLAN NOTES

- LDC recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. LDC assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes LDC to prepare the Certification, we must be notified PRIOR to placement of the fill.
- LDC recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
- All spot elevations are top of pavement unless noted otherwise.

BEEHIVE HOMES PHASES III AND V GRADING & DRAINAGE PLAN



**LORENZ**  
DESIGN & CONSULTING, LLC  
Civil Engineering | Construction Management

2501 Rio Grande Blvd NW, Suite A Albuquerque, New Mexico 87104  
Ph: 505-968-1088 Fax: 505-242-0655

DRAWN BY: DAL	DATE: 11/08/2019
CHECKED BY: DAL	SHEET C-3
FILE: 14-014 SP	