

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

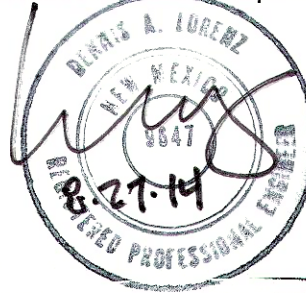
BEEHIVE HOMES

ENGINEER'S CERTIFICATION (HYDROLOGY) FOR PERMANENT CERTIFICATE OF OCCUPANCY

I, Dennis A. Lorenz, NMPE 9647, of the firm Lorenz Design & Consulting, LLC, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan prepared by Rio Grande Engineering, dated 10-04-13.

The record information edited onto the original design document has been provided to me by Construction Survey Technologies Inc., David R. Vigil, NMPLS 8911, as supplemental data to the original topographic survey, and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.

The record information presented herein is not necessarily complete and is intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



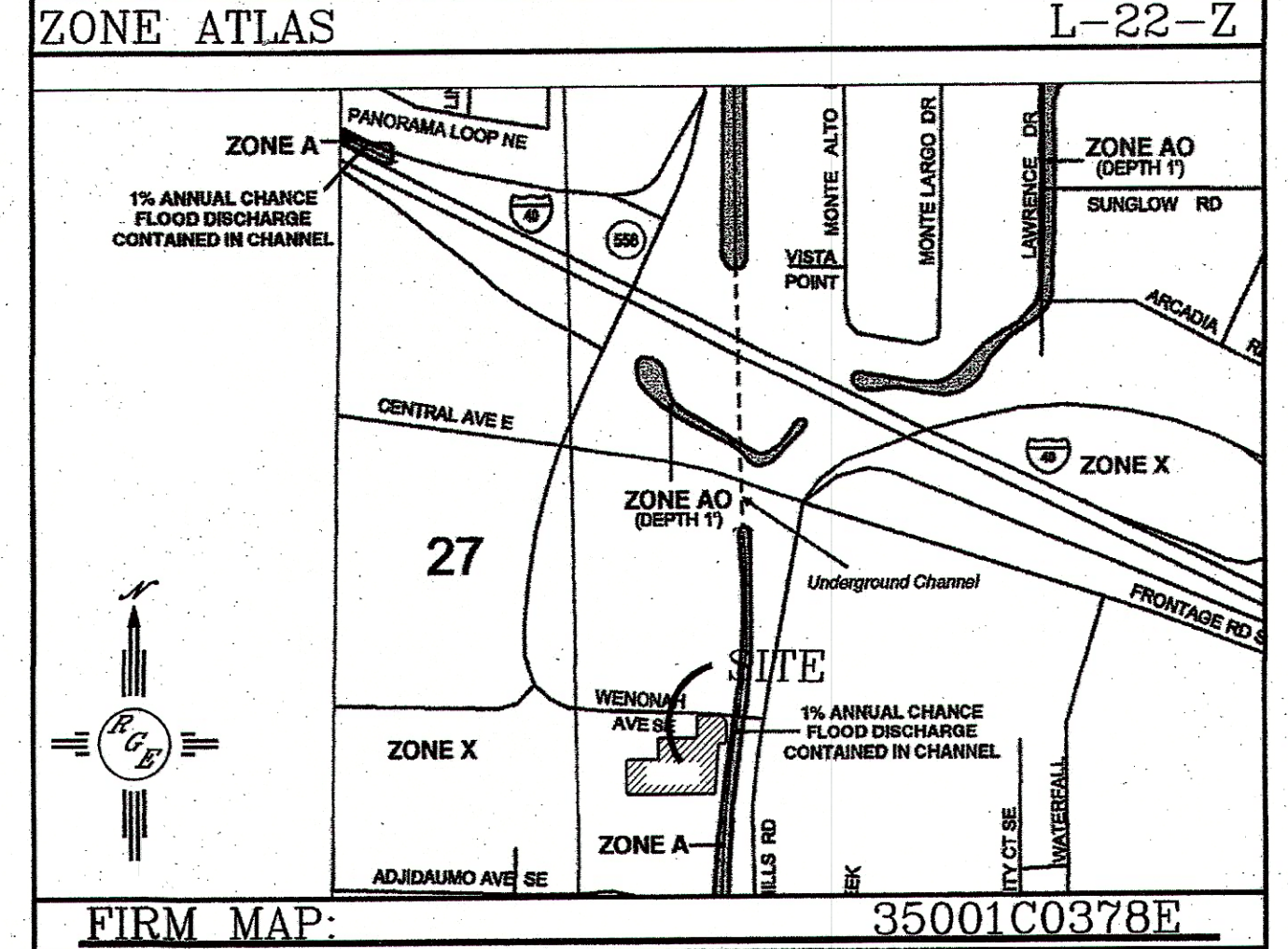
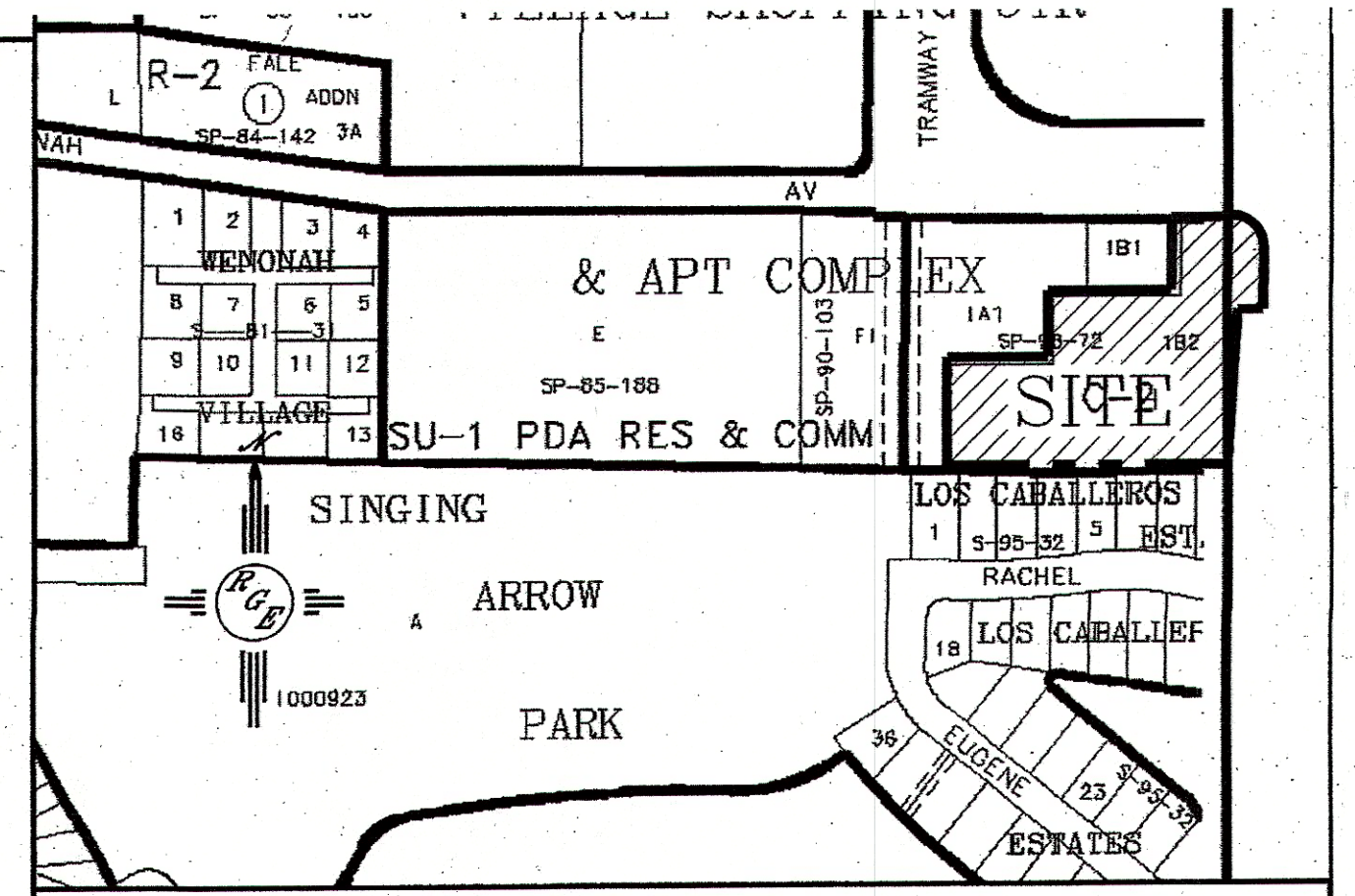
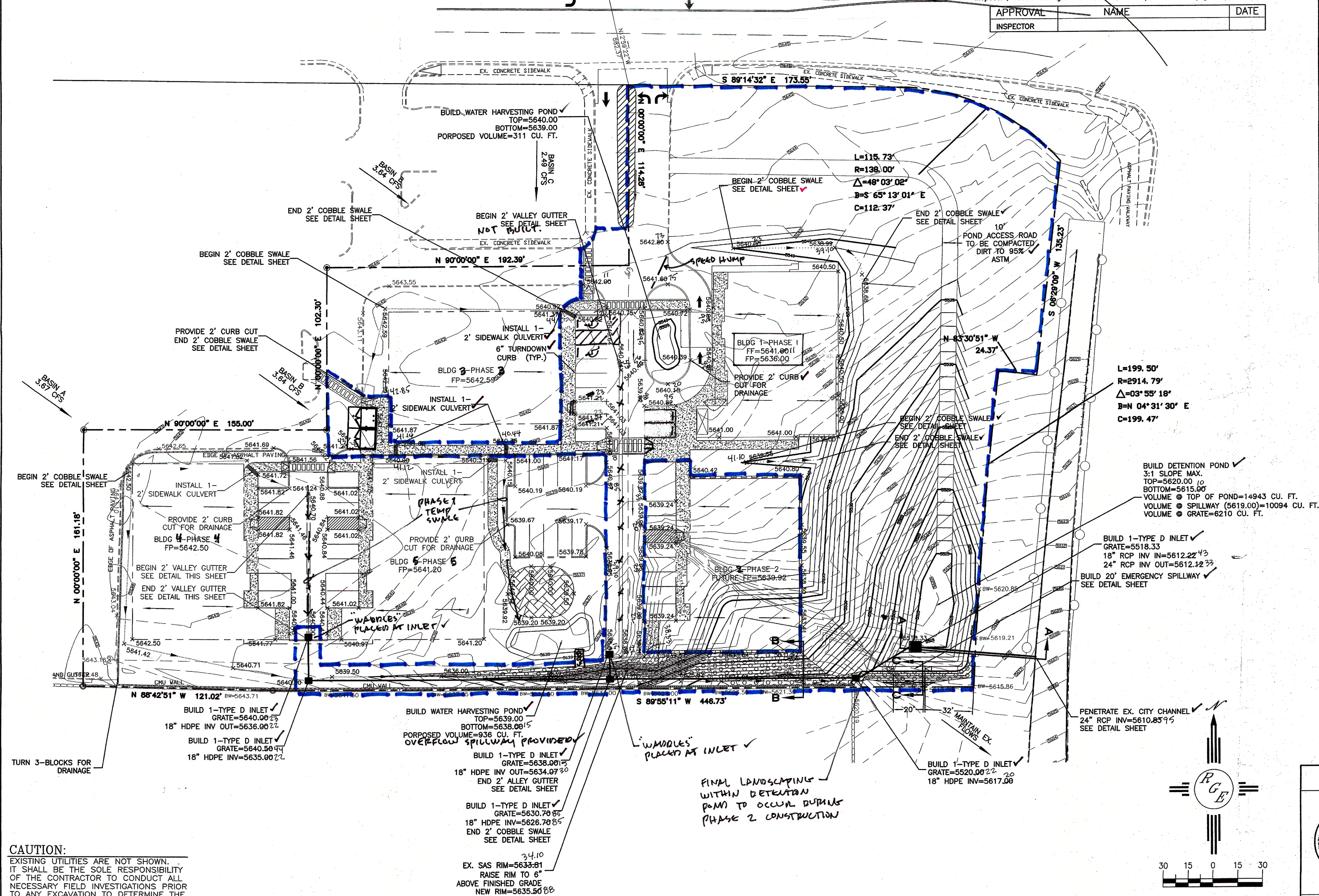
PRIVATE DRAINAGE IMPROVEMENT IN PUBLIC ROW

NOTICE TO CONTRACTORS

Notice to Contractor
(Special Order 19 ~ "S0-19")

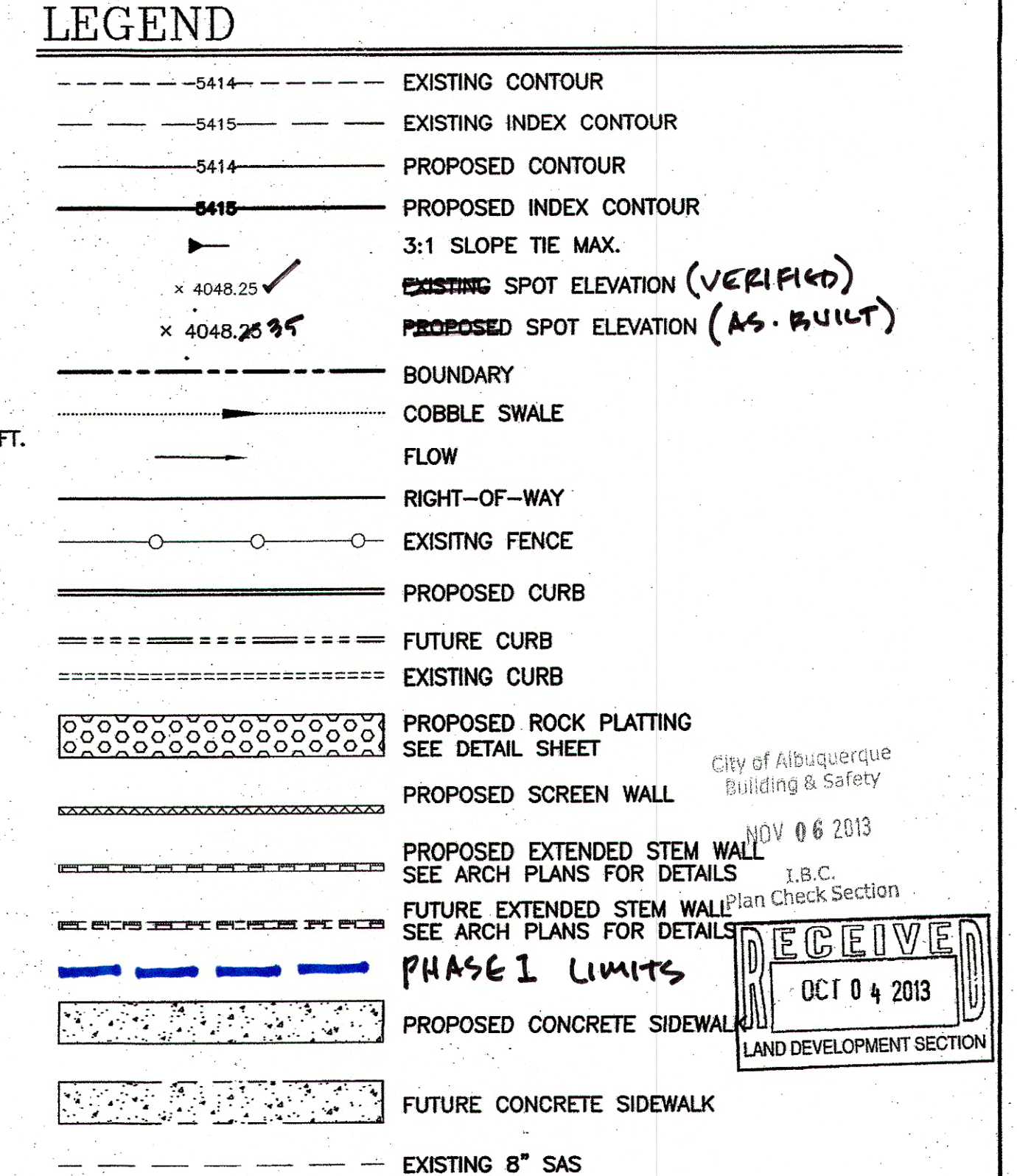
- An excavation permit will be required before beginning any work within City Right-Of-Way.
- All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
- Two working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" [or (505) 260-1990] for the location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be according to traffic/street use.
- Maintenance of the facility shall be the responsibility of the owner of the property being served.
- Work on arterial streets shall be performed on a 24-hour basis.
- Prior to cutting wall, pouring concrete, contractor shall notify the storm drain inspector, Jason Rodriguez-857-8074, to inspect work in progress.

APPROVAL	NAME	DATE
INSPECTOR		



LEGAL DESCRIPTION:
TRACT 1-B2, FOUR HILLS VILLAGE SHOPPING CENTER AND APT COMPLEX

NOTES:
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.



ENGINEER'S SEAL 	BEEHIVE HOMES	DRAWN BY WCWJ
	GRADING AND DRAINAGE PLAN	DATE 10-02-13
	 1808 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	21227-LAYOUT-7-13-12
		SHEET # 1
		JOB # 21227

DRAINAGE FILE L23-D022

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

ENGINEER'S CERTIFICATION (HYDROLOGY) FOR TEMPORARY CERTIFICATE OF OCCUPANCY

I, Dennis A. Lorenz, NMPE 9647, of the firm Lorenz Design & Consulting, LLC, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan prepared by Ricardo Grande Engineering, dated 10-04-13.

The record information edited onto the original design document has been provided to me by Construction Survey Technologies Inc., David R. Vigil, NMPLS 8911, as supplemental data to the original topographic survey, and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Temporary Certificate of Occupancy.

The following items must be completed before a Permanent C.O. is issued:

1. Landscaping improvements and erosion control for all disturbed areas
2. Finish construction of all cobble lined swales.
3. Install waddles at storm inlets as directed by Engineer.
4. Modify pond overflow spillway per Detail Sheet 2.
5. Miscellaneous fine grading as directed by Engineer.
6. Green tag for 24-inch SD connection to City channel,

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

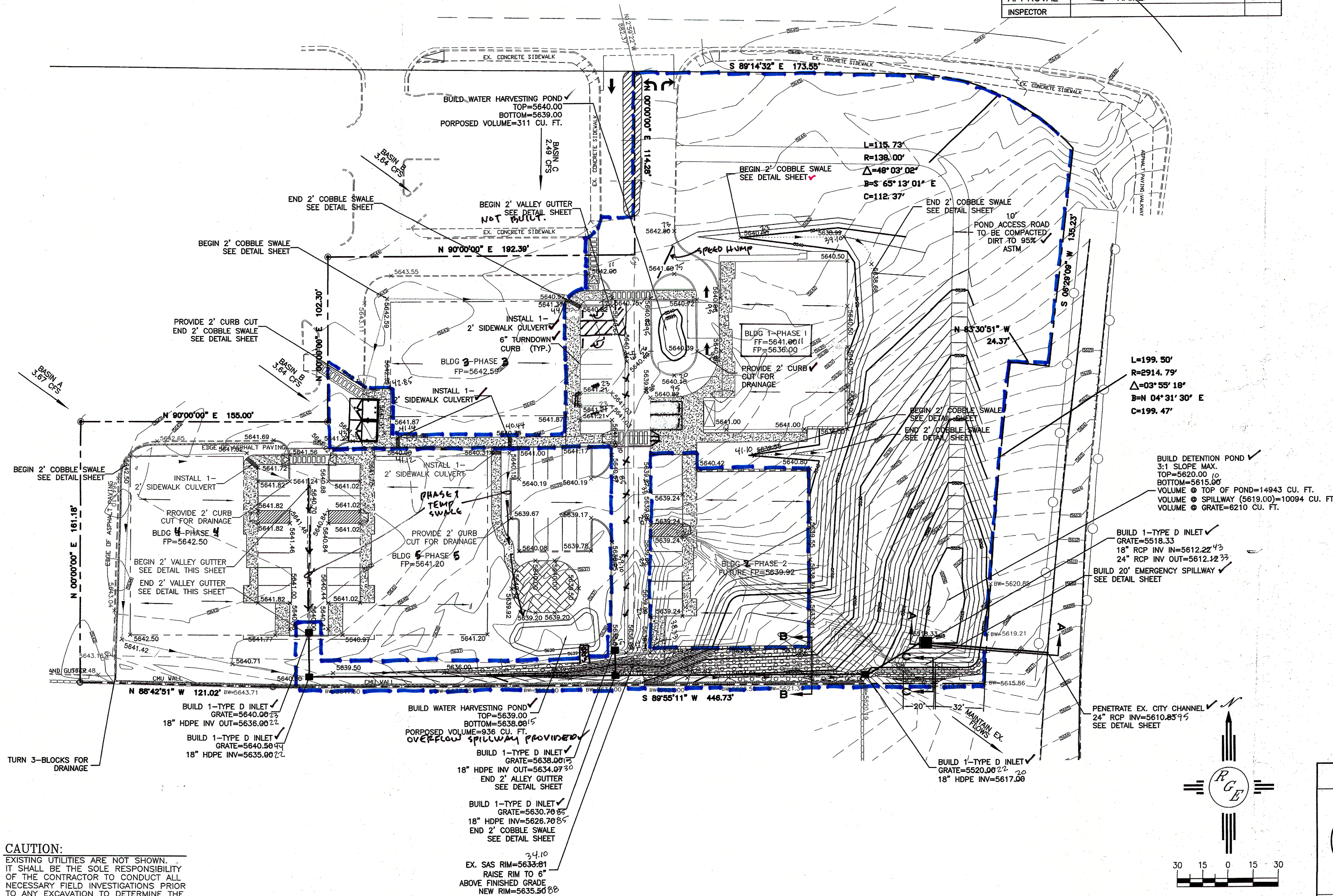


NOTICE TO CONTRACTORS

Notice to Contractor
(Special Order 19 ~ "SO-19")

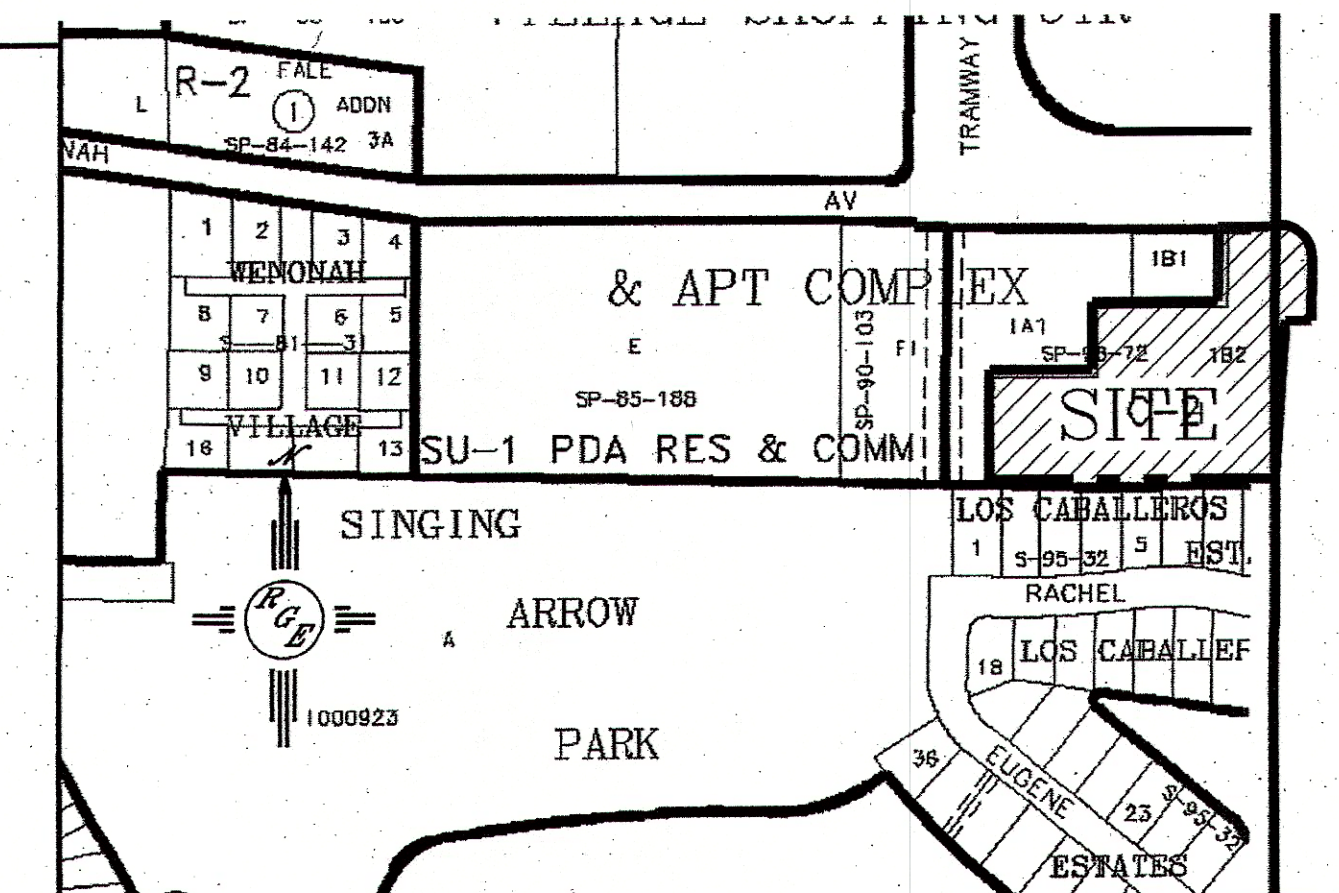
1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" or (505) 260-1990 for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets shall be performed on a 24-hour basis.
8. Prior to cutting wall, pouring concrete, contractor shall notify the storm drain inspector, Jason Rodriguez-857-8074, to inspect work in progress.

APPROVAL	NAME	DATE
INSPECTOR		



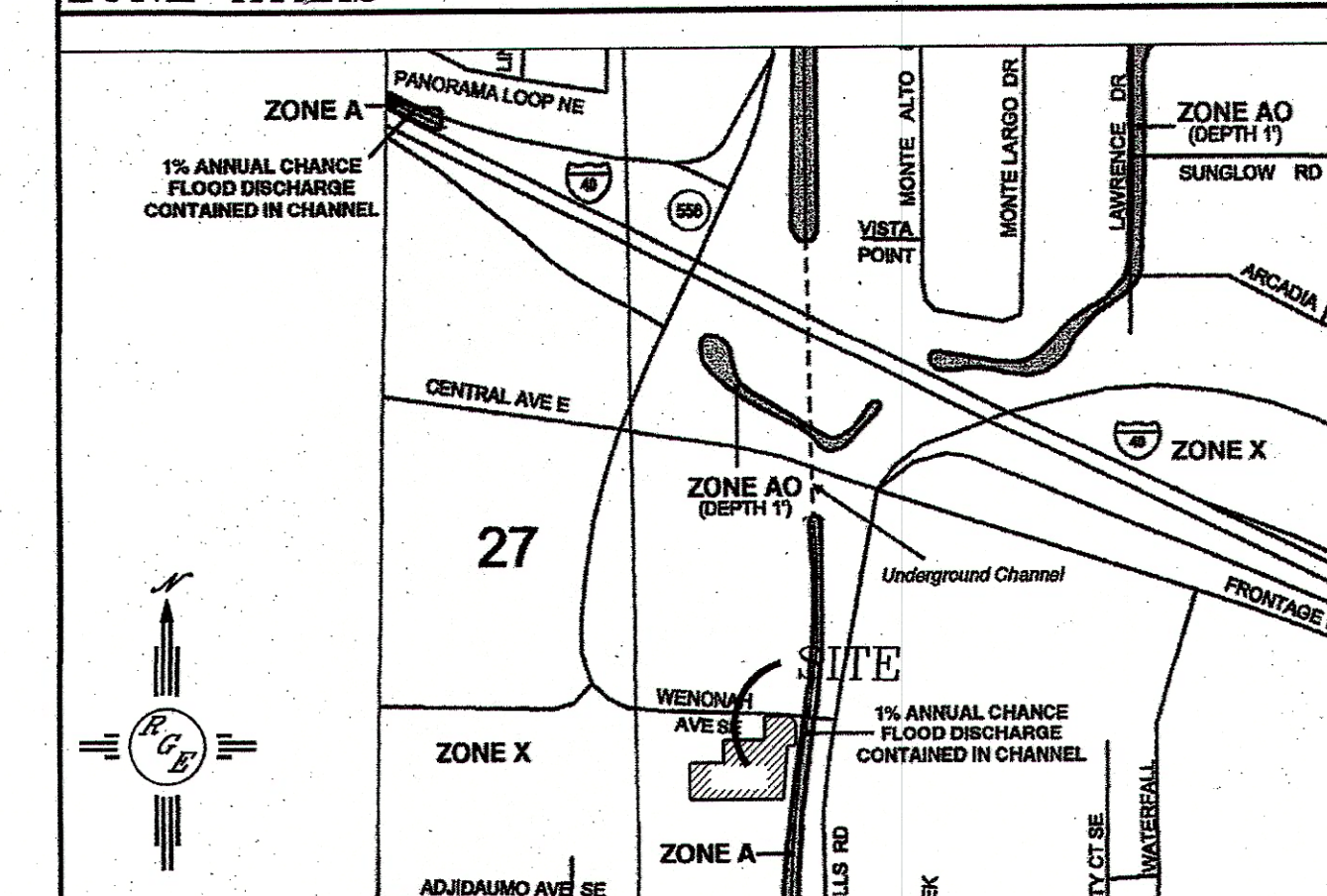
CAUTION:

EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.



ZONE ATLAS

L-22-7



FIRM MAP:	35001C03781
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LEGAL DESCRIPTION:

LEGAL DESCRIPTION:
TRACT 1-B2, FOUR HILLS VILLAGE SHOPPING CENTER AND APT COMPLEX

NOTES:

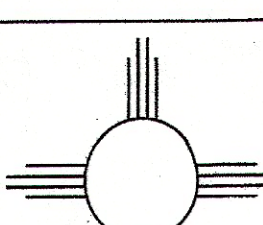
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

LEGEND

----- 5414 ----- EXISTING INDEX CONTOUR
 ----- 5415 ----- PROPOSED INDEX CONTOUR
 ----- 5416 ----- PROPOSED INDEX CONTOUR
 ----- 5418 ----- PROPOSED INDEX CONTOUR
 3:1 SLOPE TIE MAX.
 x 4048.25 ✓ ~~EXISTING~~ SPOT ELEVATION (VERIFIED)
 x 4048.25 35 ~~PROPOSED~~ SPOT ELEVATION (AS-BUILT)
 ----- BOUNDARY
 ----- COBBLE SWALE
 ----- FLOW
 ----- RIGHT-OF-WAY
 ----- EXISTING FENCE
 ----- PROPOSED CURB
 ----- FUTURE CURB
 ----- EXISTING CURB
 ----- PROPOSED ROCK PLATTING
 SEE DETAIL SHEET
 ----- PROPOSED SCREEN WALL
 ----- PROPOSED EXTENDED STEM WALL
 SEE ARCH PLANS FOR DETAILS
 ----- FUTURE EXTENDED STEM WALL
 SEE ARCH PLANS FOR DETAILS
 ----- PHASE 1 Limits
 ----- PROPOSED CONCRETE SIDEWALK
 ----- FUTURE CONCRETE SIDEWALK
 ----- EXISTING 8" SAS

FT.

City of Albuquerque
 Building & Safety
 NOV 06 2013
 I.B.C.
 Plan Check Section
 RECEIVED
 OCT 04 2013
 LAND DEVELOPMENT

ENGINEER'S SEAL	BEEHIVE HOMES	DRAWN BY WCWJ
	GRADING AND DRAINAGE PLAN	DATE 10-02-13
		2122?-LAYOUT-7-13-12
DAVID SOULE P.E. #14522		SHEET # 1
		JOB # 21227

DRAINAGE FILE L23-D022

CITY OF ALBUQUERQUE



August 22, 2014

Dennis Lorenz, P.E.
Lorenz Design and Consulting
2501 Rio Grande Blvd NW, Suite A
Albuquerque, NM 87108

Re: Beehive Homes, 13440 Wenonah Ave SE, Phase 1
Request for Temporary C.O. –Accepted
Engineer's Stamp dated: 10-4-13, (L23/D022)
Certification dated: 8-22-14

Dear Mr. Lorenz,

Based upon the information provided in the Certification received 8-22-14, the above referenced Certification is acceptable for a release of a 90 Day Temporary Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3986.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Sincerely,

Curtis A. Cherne, P.E.
Principal Engineer, Hydrology
Planning Dept.

C: CO Clerk
File

CITY OF ALBUQUERQUE



February 6, 2015

Ronald R. Bohannon, PE
Bohannon-Huston
7500 Jefferson St NE Courtyard I
Albuquerque, NM 87109

Re: Frito Lay Maintenance Building
1550 Mission Ave NE
Request Permanent C.O. - Accepted
Engineer's Stamp dated: 9-10-98 (F16D051)
Certification dated: 1-29-15

Dear Mr. Bohannon,

Based on the Certification received 2/03/2015, the site is acceptable for release of Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

PO Box 1293

Albuquerque

New Mexico 87103

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Planning Dept.
Development and Review Services

www.cabq.gov

C: RR/CC
email