

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

December 5, 2019

Dennis Lorenz, P.E.
Lorenz Design & Consulting
2501 Rio Grande NW, Suite A
Albuquerque, NM 87104

**RE: Beehive Homes- Phase 4
 13440 Wenonah SE
 Request for Certificate of Occupancy – Permanent
 Hydrology Inspection - Approved
 Grading Plan Stamp Date 9/25/17 (File: L23D022)
 Certification Dated: 12/4/19**

Dear Mr. Lorenz:

PO Box 1293

Based on the submittal received on 12/4/19, this certification is approved in support of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

Prior to C.O. for Phase 3/5, the sedimentation pond adjacent to Tramway Channel must be recertified, and will likely need to have sediment removed to restore bottom of pond to 5615'.

NM 87103

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

www.cabq.gov

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

C: Email Fox, Debi; Tena, Victoria; Sandoval, Darlene; Costilla, Michelle



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: BEEHIVE HOMES PH 4 Building Permit #: _____ Hydrology File #: 123 1022
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: TRACT 1-B2 FOUR HILLS VILLAGE SHOP CENTER + APARTMENT
City Address: 13440 WENONAH AVE SE

Applicant: HOST CARE LLC Contact: J. CASTILLO
Address: 3535 PRINCETON NE APO NM 87107
Phone#: 385-8560 Fax#: _____ E-mail: _____

Other Contact: LORENZ DESIGN + CONSULTING Contact: D. LORENZ
Address: 2501 RIO GRANDE NW APO NM 87104
Phone#: 220 0869 Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE REPORT
____ DRAINAGE MASTER PLAN
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ STREET LIGHT LAYOUT
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

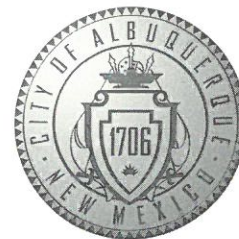
DATE SUBMITTED: 12.4.19 By: DENNIS LORENZ

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

October 11, 2017

Dennis Lorenz, P.E.
Lorenz Design & Consulting
2501 Rio Grande NW, Suite A
Albuquerque, NM 87104

RE: Beehive Homes- Phase 4
13440 Wenonah
Engineer's Stamp Date: 9/25/17
Hydrology File: L23D022

Dear Mr. Lorenz:

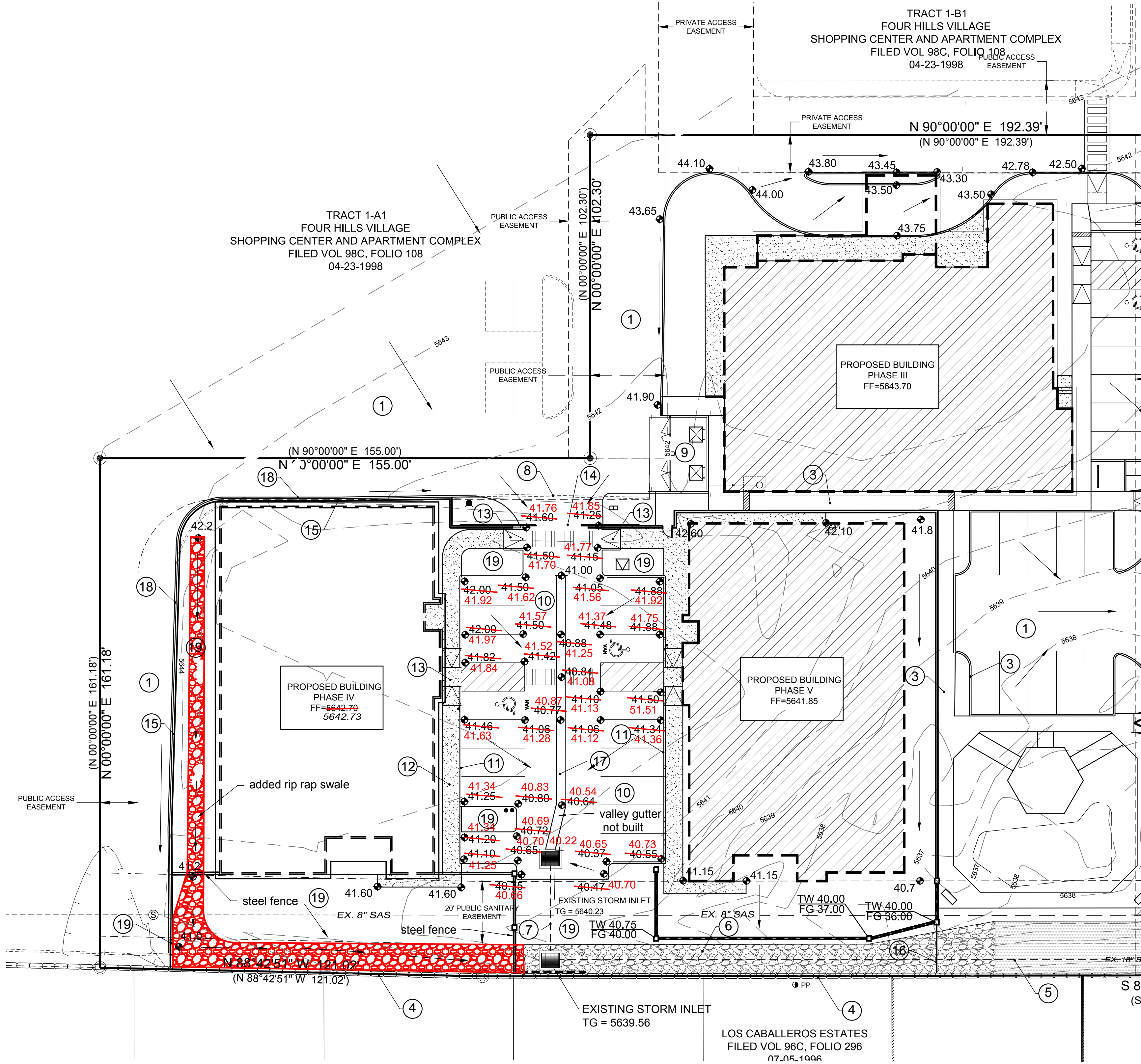
Based on the information provided in your submittal received on 9/27/17, the Grading Plan is approved for Building Permit with the following condition:

1. Prior to Hydrology Final Inspection for C.O., the sedimentation pond adjacent to Tramway Channel must be recertified, and will likely need to have sediment removed to restore bottom of pond to 5615'.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

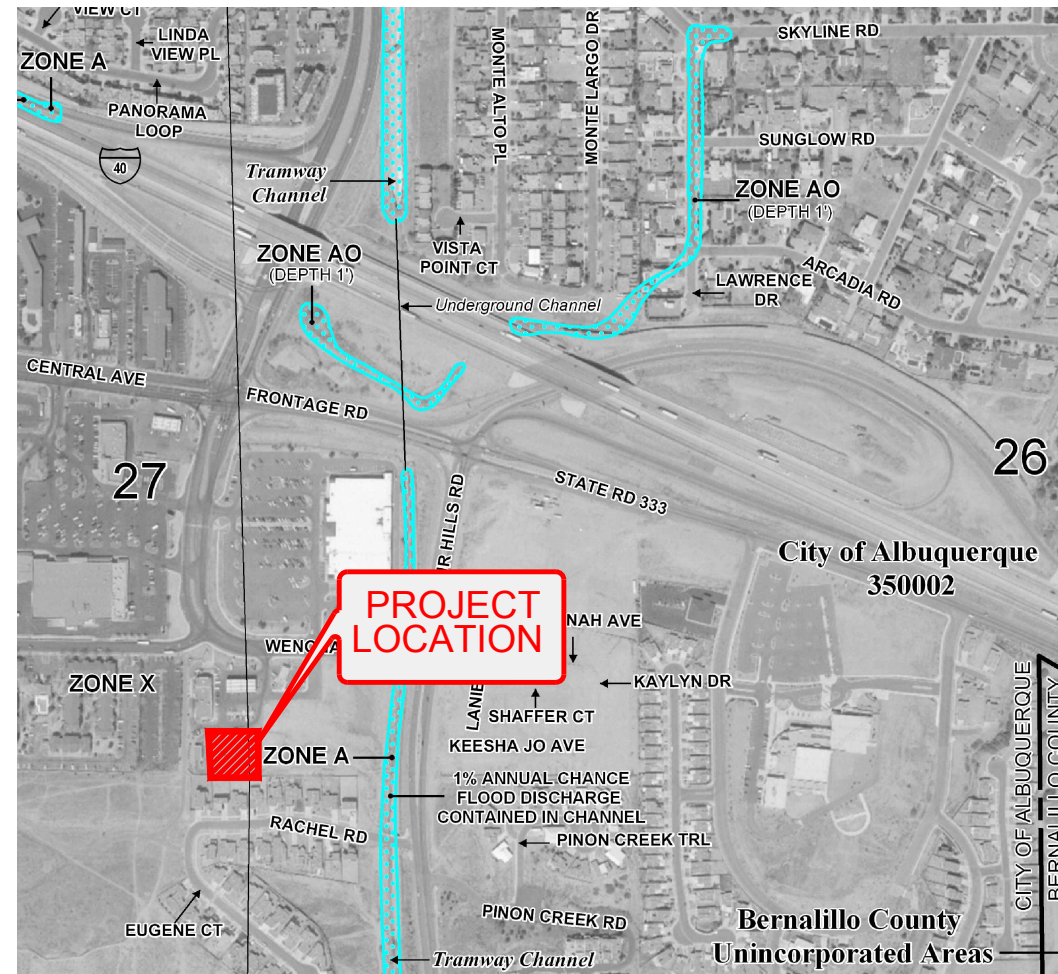
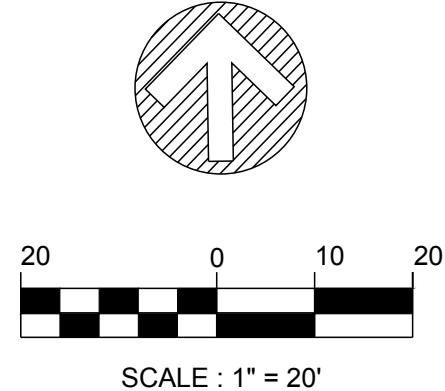
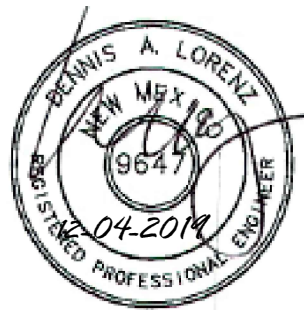


BEEHIVE HOMES PHASE IV
DRAINAGE CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL SURVEYOR
PERMANENT CERTIFICATE OF OCCUPANCY

I, Dennis A. Lorenz, NMPE 9647, of the firm Lorenz Design & Consulting, LLC, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 09-25-2017. The record information edited onto the original design document has been obtained by Lorenzo Dominguez, NMPS 10461 of the firm East Mountain Surveying, LLC. I further certify that I have personally visited the project site on 12-03-2019 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for permanent certificate of occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

PHASE 4 as-built information shown
in red



FIRM PANEL 35001C0378G
Not to Scale

PHASE IV GRADING AND DRAINAGE PLAN

This Grading and Drainage Plan provides the detail necessary for construction of the grading and drainage improvements required for Beehive Homes Phase 4. The improvements shown hereon are in compliance with the approved Drainage Masterplan for Beehive Homes prepared by Rio Grande Engineering, David Soule, PE, dated 10-4-2013, and the Grading and Drainage Master Plan for Beehive Homes, prepared by Lorenz Design & Consulting, LLC, dated 11-05-2014.

This Plan assumes that all Phase 1 & 2 improvements are in place and have been accepted by the City of Albuquerque. Phase 3 is currently under construction.

Phase 4 improvements include construction of the Phase 4 building, required parking, sidewalks, ADA accessibility improvements and security fencing.

Certifications of Grading, Drainage and Traffic improvements will be required for Certificate of Occupancy for Phase 4.

KEYED NOTES

- EXISTING ASPHALT PAVEMENT.
- EXISTING CONCRETE CURB.
- EXISTING CONCRETE SIDEWALK.
- EXISTING BLOCK WALL.
- EXISTING CONCRETE DRAINAGE CHANNEL.
- EXISTING RIP RAP DRAINAGE CHANNEL.
- EXISTING 18-INCH HDPE STORM DRAIN.
- REMOVE AND DISPOSE EXISTING ASPHALT CURB.
- EXISTING REFUSE ENCLOSURE.
- CONSTRUCT ASPHALT PAVEMENT.
- CONSTRUCT 6-INCH CONCRETE CURB.
- CONSTRUCT CONCRETE SIDEWALK.
- CONSTRUCT HANDICAP RAMP.
- CONSTRUCT SECURITY GATE.
- CONSTRUCT FENCING.
- CONSTRUCT WROUGHT IRON FENCE ACROSS DRAINAGE CHANNEL.
- CONSTRUCT CONCRETE VALLEY GUTTER.
- REM & DISP EXISTING ASPHALT CURB.
- CONSTRUCT 6-INCH CONCRETE CURB & GUTTER.
- PROVIDE 6 LF CURB BLOCKOUT FOR DRAINAGE. TURN 3 CMU BLOCK 90 DEGREE FOR DRAINAGE THRU WALL.

PROJECT DATA

PROPERTY ADDRESS:
13440 WENONAH AVENUE SE
ALBUQUERQUE, NM
LEGAL DESCRIPTION:
TRACT 1B-2, FOUR HILLS VILLAGE
SHOPPING CENTER & APARTMENT
COMPLEX
PROJECT BENCHMARK:
ACS MONUMENT BRASS CAP "8_L22"
N:1,480,177.419
E:1,566,414.815
ELEV.: 5668.036 (NAVD)



VICINITY MAP ZONE ATLAS L22-L23
Not to Scale

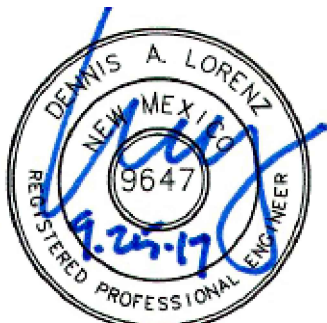
LEGEND

| ITEM | EXISTING | PROPOSED |
|---------------------------|----------|----------------|
| PROPERTY LINE | --- | --- |
| SPOT ELEVATION (As-Built) | | 16.00 16.12 |
| RIP-RAP ROCK | | |
| CONTOUR W/ ELEVATION | 5800 | 5800 |
| BLOCK WALL | | |
| CHAIN LINK FENCE | | |
| RETAINING WALL | | |
| ASPHALT PAVING | | |
| CONCRETE SIDEWALKS | | |
| CONCRETE SLOPE PAVING | | |
| DIRECTION OF FLOW | | |
| PHASE BOUNDARY | | |
| UTILITY POLE | | |
| STORM INLET | | |
| STORM DRAIN | | |

DRAINAGE PLAN NOTES

- LDI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. LDI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes LDI to prepare the Certification, we must be notified PRIOR to placement of the fill.
- LDI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
- All spot elevations are top of pavement unless noted otherwise.

**BEEHIVE HOMES
PHASE IV
GRADING & DRAINAGE PLAN**



LORENZ
DESIGN & CONSULTING, LLC
Civil Engineering | Construction Management
2501 Rio Grande Blvd NW, Suite A Albuquerque, New Mexico 87104
Ph: 505-888-6088 Fax: 505-242-6655

DRAWN BY: DAL DATE: SEPTEMBER 2017
CHECKED BY: DAL
FILE: 14-014 G&D SHEET C-3

REVISED PHASE 4&5 GRADES
PER CLIENT. 5-13-2019 DAL