



**Planning Department
Transportation Development Services**

August 22, 2014

Dennis Lorenz, P.E.
Lorenz Design and Consulting
2501 Rio Grande Blvd NW, Suite A
Albuquerque, NM 87104

**Re: Beehive Homes Phase 1 only, 13440 WENONAH AVE SE
Phase 1 Certificate of Occupancy – Transportation Development
Engineer's 10-11-13 (L23D022)
Certification dated 08-22-14**

Dear Mr. Lorenz,

Based upon the information provided in your submittal received 08-22-14, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Albuquerque

If you have any questions, please contact me at (505)924-3630.

Sincerely,

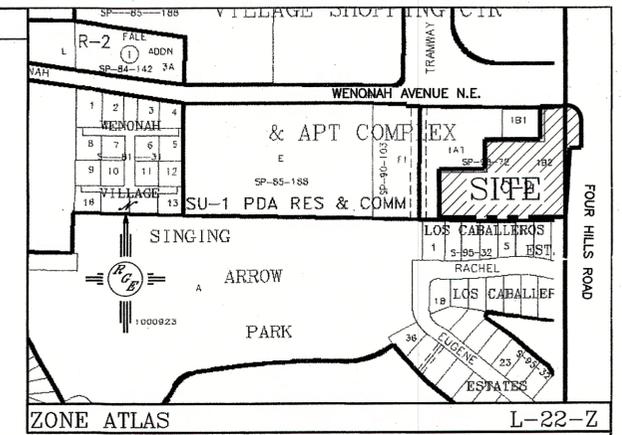
New Mexico 87103

www.cabq.gov

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk

- SHEET INDEX**
1. MASTER SITE DEVELOPMENT PLAN
 - 1A. SITE DEVELOPMENT PLAN DETAILS
 2. GRADING AND DRAINAGE PLAN
 3. MASTER UTILITY PLAN
 4. MASTER LANDSCAPE PLAN



LEGAL DESCRIPTION:
TRACT 1-B2, FOUR HILLS VILLAGE SHOPPING CENTER AND APT COMPLEX

GENERAL NOTES:

1. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
2. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS.
3. CROSS ACCESS & DRAINAGE EASEMENTS FOR ALL FUTURE PHASES WILL BE GRANTED WITH THE REPLAT.
4. ALL WHEELCHAIR RAMPS SHALL BE BUILT PER DETAIL SHEET 2
5. NO OFF PREMISE OR POLE MOUNTED SIGNAGE SHALL BE ALLOWED.
6. ALL WIRELESS TELECOMMUNICATION FACILITIES SHALL BE CONCEALED AND ARCHITECTURALLY INTEGRATED WITH THE SITE AND SURROUNDING AREA.
7. VINYL COATED, PLASTIC REFLECTIVE TYPE AWNINGS, FASCIA, BUILDING PANELS, SIGN RACEWAYS OR ROOFS SHALL NOT BE PERMITTED.
8. ALL METAL ROOFING SHALL BE CONSISTENT ON ALL BUILDINGS AND CANOPIES AND AND SHALL BE A GALVALUME FINISH.
9. LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
10. ALL CURBS SHALL BE 6" TALL UNLESS OTHERWISE NOTED SEE DETAIL SHEET.
11. ALL HANDICAP RAMPS SHALL BE ADA COMPLIANT.
12. ALL DRIVABLE SURFACES SHALL BE 2" THICK ASPHALT PAVING.

- 13. Paint curb red - Fire line
- 14. SPEED HUMP PAINTED OPTIC YELLOW
- 15. CONCRETE TIRE STOP. TIP.

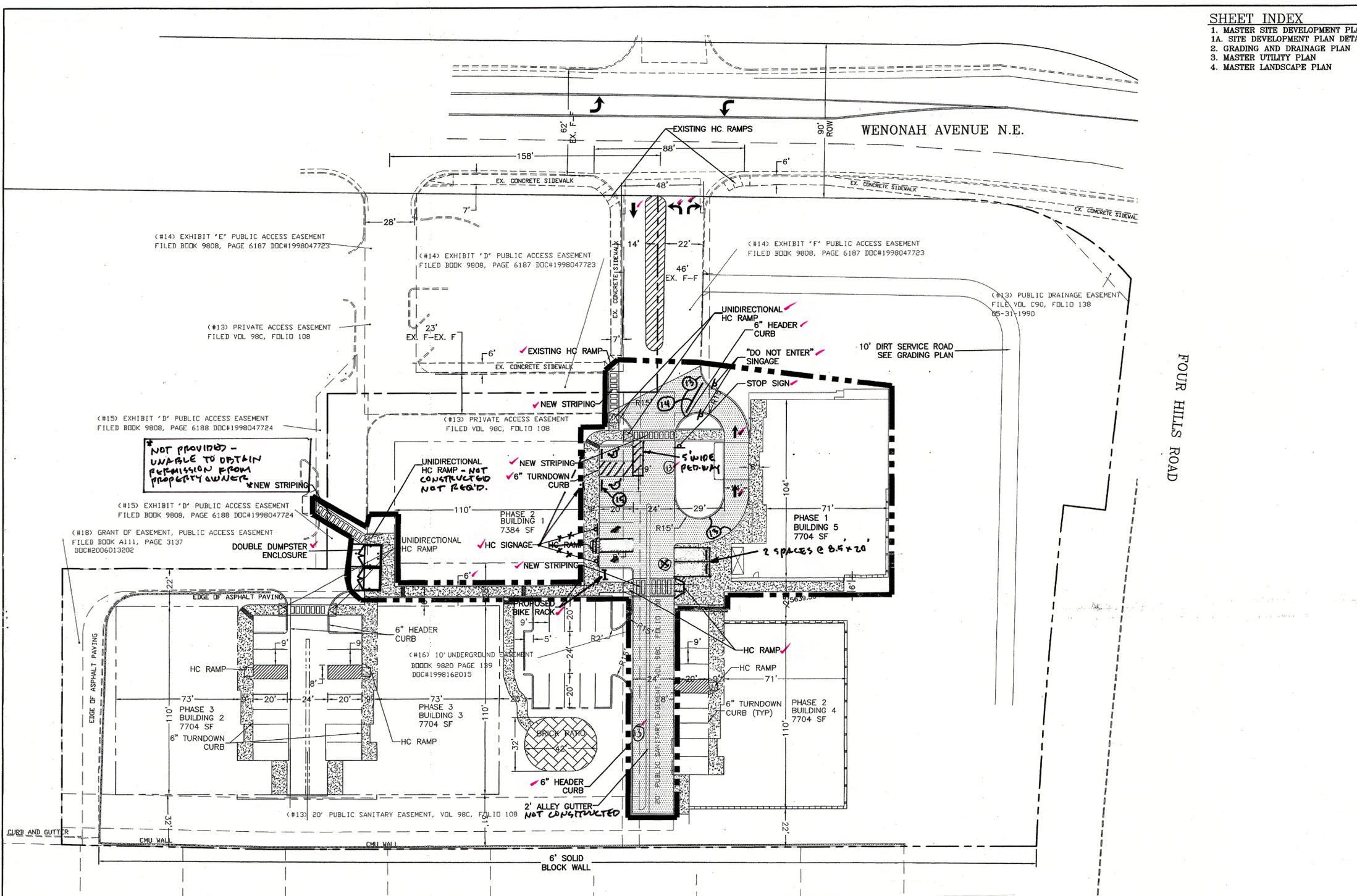
LEGEND

- EXISTING CURB & GUTTER
- PROPOSED 6" HEADER CURB
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- PROPOSED SIDEWALK
- FUTURE SIDEWALK
- PROPOSED 2" ASPHALT PAVING
- FUTURE 6" HEADER CURB
- PROPOSED BUILDING
- FUTURE BUILDING
- CENTERLINE
- RIGHT-OF-WAY
- PROPOSED STEM WALL
- FUTURE STEM WALL
- PHASE LINE
- HC SIGNAGE
- PROPOSED 5' WROUGHT IRON FENCE

CITY OF ALBUQUERQUE
BUILDING & SAFETY
OCT 22 2013
L.B.C.
PLAN CHECK SECTION



| | | |
|--|--------------------------|----------------------|
| | BEEHIVE HOMES | DRAWN BY WCUJ |
| | TRAFFIC CIRCULATION PLAN | DATE 10-02-13 |
| | | 21227-LAYOUT-7-13-12 |
| | | SHEET # 1 |
| | | JOB # 21227 |



BEEHIVE HOMES
ENGINEERS CERTIFICATION (TRAFFIC CIRCULATION LAYOUT) FOR PERMANENT CERTIFICATE OF OCCUPANCY

I, Dennis A. Lorenz, NMPE 9647, of the firm Lorenz Design & Consulting, LLC, hereby certify that this project has been constructed in substantial compliance with and in accordance with the design intent of the approved Traffic Circulation Layout prepared by Rio Grande Engineering.

The record information edited onto the original design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.

The record information presented herein is not necessarily complete and is intended only to verify substantial compliance with the traffic aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

TRAFFIC CIRCULATION LAYOUT APPROVED
Signed: [Signature] 10/4/13
Date



| SITE DATA | | | | |
|-------------------------|-------------------------------|--------------------------------|--------------------------------|----------------------------------|
| | PHASE 1 | PHASE 2 | PHASE 3 | TOTAL |
| TOTAL ACREAGE: | - | - | - | 3.8704 AC± |
| DENSITY UNITS: | - | - | - | 2.25 DU'S (AT MAXIMUM BUILD OUT) |
| EXISTING ZONING: | SU-2 | SU-2 | SU-2 | SU-2 |
| PROPOSED ZONING: | SU-2 | SU-2 | SU-2 | SU-2 |
| PROPOSED USE: | NURSING HOME | NURSING HOME | NURSING HOME | NURSING HOME |
| REQUIRED PARKING: | 8 SPACES (1 SPACE PER 2 BEDS) | 16 SPACES (1 SPACE PER 2 BEDS) | 16 SPACES (1 SPACE PER 2 BEDS) | 40 SPACES (1 SPACE PER 2 BEDS) |
| PROVIDED PARKING: | 9 SPACES ✓ | 16 SPACES | 18 SPACES | 43 SPACES |
| HC REQUIRED PARKING: | 1 SPACES | 2 SPACES | 2 SPACES | 5 SPACES |
| HC PROVIDED PARKING: | 2 SPACES ✓ | 4 SPACES | 4 SPACES | 10 SPACES |
| REQUIRED BICYCLE SPOTS: | 2 SPACES | 2 SPACES | 3 SPACES | 7 SPACES |
| PROVIDED BICYCLE SPOTS: | 2 SPACES ✓ | 2 SPACES | 3 SPACES | 7 SPACES |
| LANDSCAPE REQUIRED: | SEE LANDSCAPE PLAN | SEE LANDSCAPE PLAN | SEE LANDSCAPE PLAN | SEE LANDSCAPE PLAN |
| LANDSCAPE PROVIDED: | SEE LANDSCAPE PLAN | SEE LANDSCAPE PLAN | SEE LANDSCAPE PLAN | SEE LANDSCAPE PLAN |