

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

August 22, 2014

Dennis Lorenz, P.E.
Lorenz Design and Consulting
2501 Rio Grande Blvd NW, Suite A
Albuquerque, NM 87104

**Re: Beehive Homes Phase 1 only, 13440 WENONAH AVE SE
Phase 1 Certificate of Occupancy – Transportation Development
Engineer's 10-11-13 (L23D022)
Certification dated 08-22-14**

Dear Mr. Lorenz,

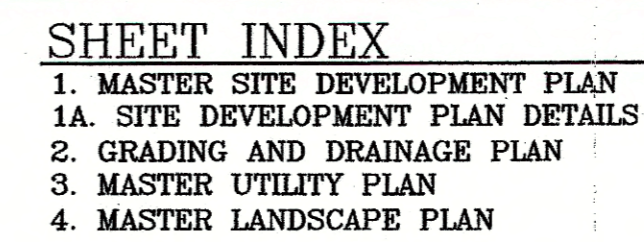
Based upon the information provided in your submittal received 08-22-14, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk



1. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
2. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS.
3. CROSS ACCESS & DRAINAGE EASEMENTS FOR ALL FUTURE PHASES WILL BE GRANTED WITH THE REPLAT.
4. ALL WHEELCHAIR RAMPS SHALL BE BUILT PER DETAIL SHEET 2
5. NO OFF PREMISE OR POLE MOUNTED SIGNAGE SHALL BE ALLOWED.
6. ALL WIRELESS TELECOMMUNICATION FACILITIES SHALL BE CONCEALED AND ARCHITECTURALLY INTEGRATED WITH THE SITE AND SURROUNDING AREA.
7. VINYL COATED, PLASTIC REFLECTIVE TYPE AWNINGS, FASCIA, BUILDING PANELS, SIGN RACEWAYS OR ROOFS SHALL NOT BE PERMITTED.
8. ALL METAL ROOFING SHALL BE CONSISTENT ON ALL BUILDINGS AND CANOPIES AND SHALL BE A GALVALUME FINISH.
9. LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
10. ALL CURBS SHALL BE 6" TALL UNLESS OTHERWISE NOTED
SEE DETAIL SHEET.
11. ALL HANDICAP RAMPS SHALL BE ADA COMPLIANT.
12. ALL DRIVABLE SURFACES SHALL BE 2" THICK ASPHALT PAVING.

	EXISTING CURB & GUTTER
	PROPOSED 6" HEADER CURB
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	PROPOSED SIDEWALK
	FUTURE SIDEWALK
	PROPOSED 2" ASPHALT PAVING
	FUTURE 6" HEADER CURB
	PROPOSED BUILDING
	FUTURE BUILDING
	CENTERLINE
	RIGHT-OF-WAY
	PROPOSED STEM WALL
	FUTURE STEM WALL
	PHASE LINE
	HC SIGNAGE
	PROPOSED 5" WROUGHT IRON FENCE

BEEHIVE HOMES
ENGINEERS CERTIFICATION (TRAFFIC CIRCULATION
LAYOUT) FOR PERMANENT CERTIFICATE OF OCCUPANCY

I, Dennis A. Lorenz, NMPE 9647, of the firm Lorenz Design & Consulting, LLC, hereby certify that this project has been constructed in substantial compliance with and in accordance with the design intent of the approved Traffic Circulation Layout prepared by Rio Grande Engineering.

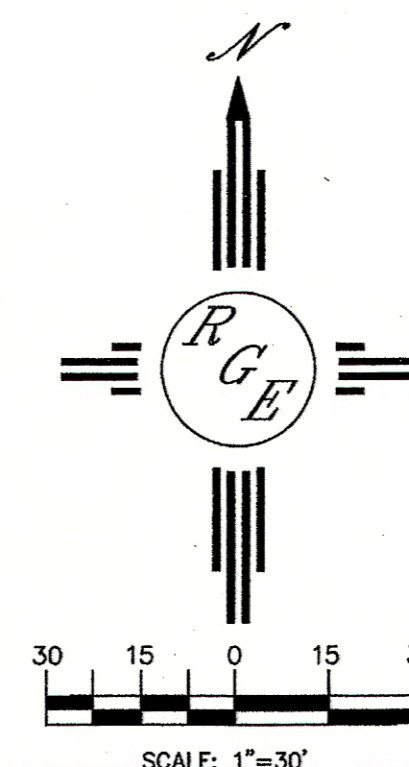
The record information edited onto the original design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.


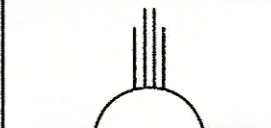
The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance with the traffic aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DRC/Permit approval
and Work Order required.

**TRAFFIC CIRCULATION LAYOUT
APPROVED**

CHB 10/4/13



ENGINEER'S SEAL	BEEHIVE HOMES	DRAWN BY WCVJ
	TRAFFIC CIRCULATION PLAN	DATE 10-02-13
		21227-LAYOUT-7-13-12
DAVID SOULE P.E. #14522	 <i>Rio Grande</i> <i>Engineering</i> 1606 CENTRAL AVE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	SHEET # 1
		JOB # 21227