

CITY OF ALBUQUERQUE



April 26, 2017

RBA Architecture PC
David McEachern
1104 Park Ave SW
Albuquerque, NM 87102

Re: Beehive Homes Phase - 4
13450 Wenonah Ave SE
Traffic Circulation Layout
Architect's Stamp dated 04-27-17 (L23D022)

Dear Mr. McEachern,

The TCL submittal received 04-13-17 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

mao via: email
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

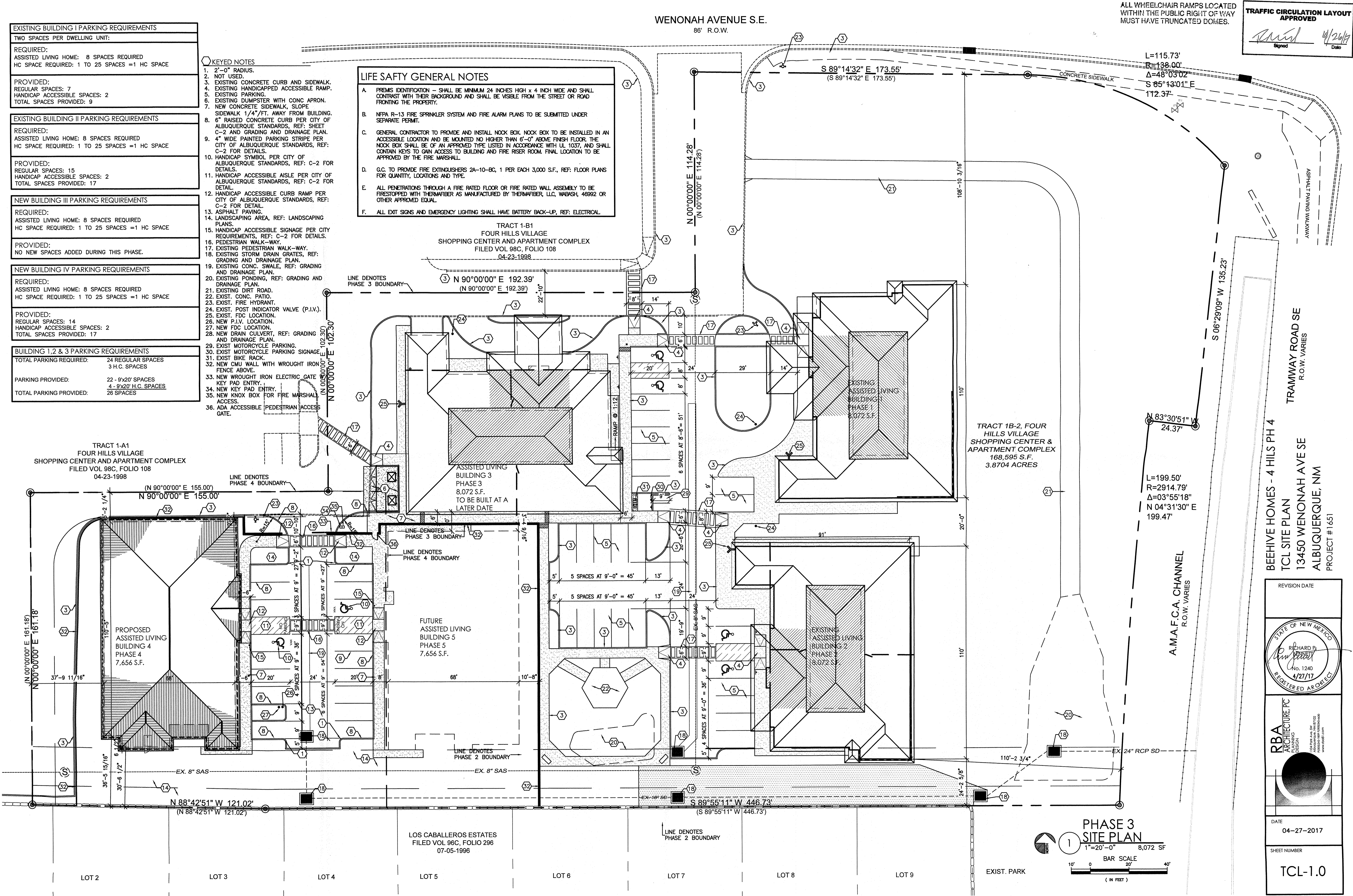
EXISTING BUILDING I PARKING REQUIREMENTS	
TWO SPACES PER DWELLING UNIT:	
REQUIRED:	
ASSISTED LIVING HOME:	8 SPACES REQUIRED
HC SPACE REQUIRED:	1 TO 25 SPACES = 1 HC SPACE
PROVIDED:	
REGULAR SPACES:	7
HANDICAP ACCESSIBLE SPACES:	2
TOTAL SPACES PROVIDED:	9

EXISTING BUILDING II PARKING REQUIREMENTS	
REQUIRED:	
ASSISTED LIVING HOME:	8 SPACES REQUIRED
HC SPACE REQUIRED:	1 TO 25 SPACES = 1 HC SPACE
PROVIDED:	
REGULAR SPACES:	15
HANDICAP ACCESSIBLE SPACES:	2
TOTAL SPACES PROVIDED:	17

NEW BUILDING III PARKING REQUIREMENTS	
REQUIRED:	
ASSISTED LIVING HOME:	8 SPACES REQUIRED
HC SPACE REQUIRED:	1 TO 25 SPACES = 1 HC SPACE
PROVIDED:	
NO NEW SPACES ADDED DURING THIS PHASE.	

NEW BUILDING IV PARKING REQUIREMENTS	
REQUIRED:	
ASSISTED LIVING HOME:	8 SPACES REQUIRED
HC SPACE REQUIRED:	1 TO 25 SPACES = 1 HC SPACE
PROVIDED:	
REGULAR SPACES:	14
HANDICAP ACCESSIBLE SPACES:	2
TOTAL SPACES PROVIDED:	17

BUILDING 1, 2 & 3 PARKING REQUIREMENTS	
TOTAL PARKING REQUIRED:	
24 REGULAR SPACES	3 H.C. SPACES
PARKING PROVIDED:	
22 - 9'x20' SPACES	4 - 9'x20' H.C. SPACES
TOTAL PARKING PROVIDED:	26 SPACES



- LIFE SAFTY GENERAL NOTES
- A. PREMS IDENTIFICATION - SHALL BE MINIMUM 24 INCHES HIGH x 4 INCH WIDE AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.

B. NFPA R-13 FIRE SPRINKLER SYSTEM AND FIRE ALARM PLANS TO BE SUBMITTED UNDER SEPARATE PERMIT.

C. GENERAL CONTRACTOR TO PROVIDE AND INSTALL NOCK BOX. NOCK BOX TO BE INSTALLED IN AN ACCESSIBLE LOCATION AND BE MOUNTED NO HIGHER THAN 6'-0" ABOVE FINISH FLOOR. THE NOCK BOX SHALL BE OF AN APPROVED TYPE LISTED IN ACCORDANCE WITH UL 1037, AND SHALL CONTAIN KEYS TO GAIN ACCESS TO BUILDING AND FIRE RISER ROOM. FINAL LOCATION TO BE APPROVED BY THE FIRE MARSHALL.

D. G.C. TO PROVIDE FIRE EXTINGUISHERS 2A-10-BC, 1 PER EACH 3,000 S.F., REF: FLOOR PLANS FOR QUANTITY, LOCATIONS AND TYPE.

E. ALL PENETRATIONS THROUGH A FIRE RATED FLOOR OR FIRE RATED WALL ASSEMBLY TO BE FIRESTOPPED WITH THERMAFIBER AS MANUFACTURED BY THERMAFIBER, LLC, WABASH, 46992 OR OTHER APPROVED EQUAL.

F. ALL EXIT SIGNS AND EMERGENCY LIGHTING SHALL HAVE BATTERY BACK-UP, REF: ELECTRICAL.

TRAFFIC CIRCULATION LAYOUT APPROVED

Signed

4/26/17

Date

BEEHIVE HOMES - 4 HILS PH 4

TCL SITE PLAN

13450 WENONAH AVE SE

ALBUQUERQUE, NM

PROJECT #1651

REVISION DATE

STATE OF NEW MEXICO

RICHARD P. RICHARDS

No. 1240

4/27/17

REGISTERED ARCHITECT

RBA ARCHITECTURE, P.C.

ARCHITECTURE

DESIGN

13450 WENONAH AVE SE, SUITE 100

ALBUQUERQUE, NM 87122

PH: 505.261.1000

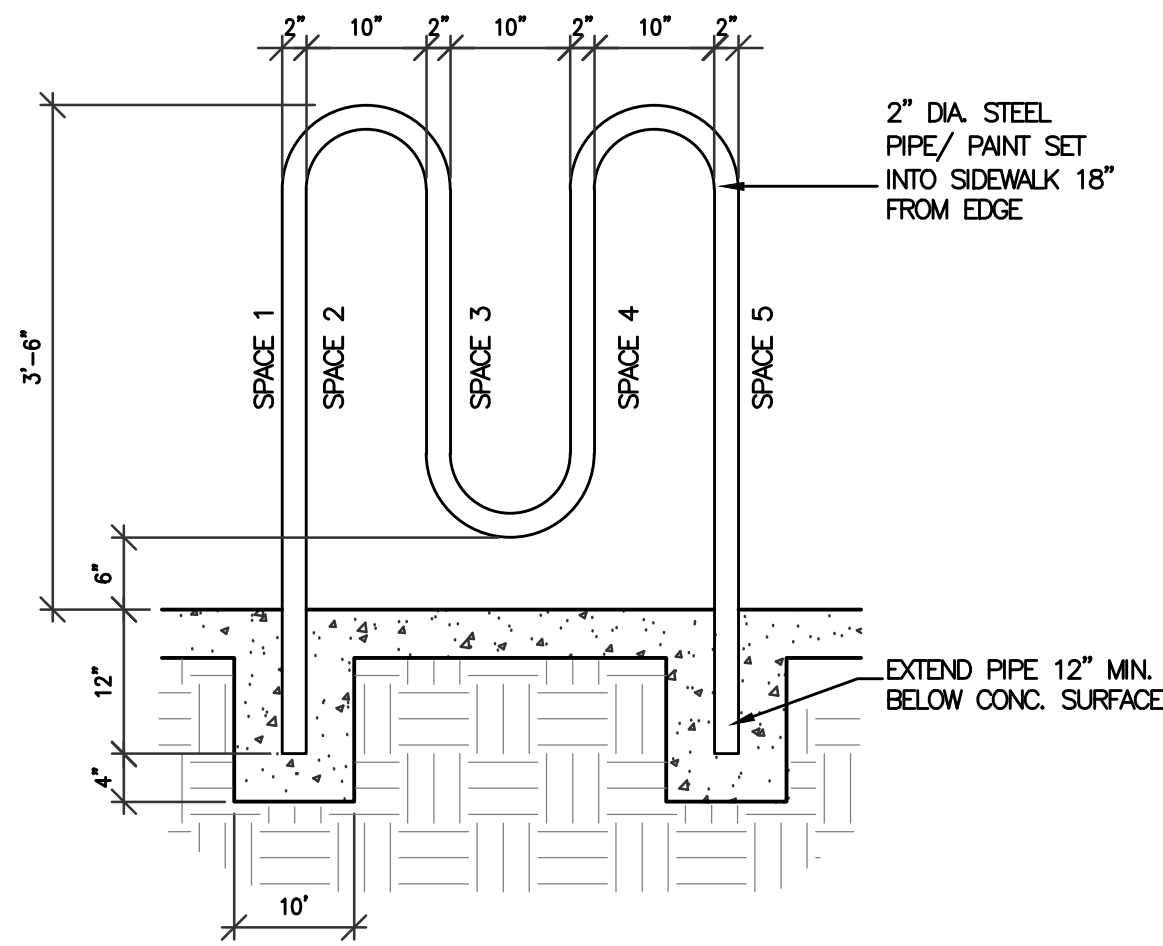
WWW.RBA-ARCH.COM

DATE

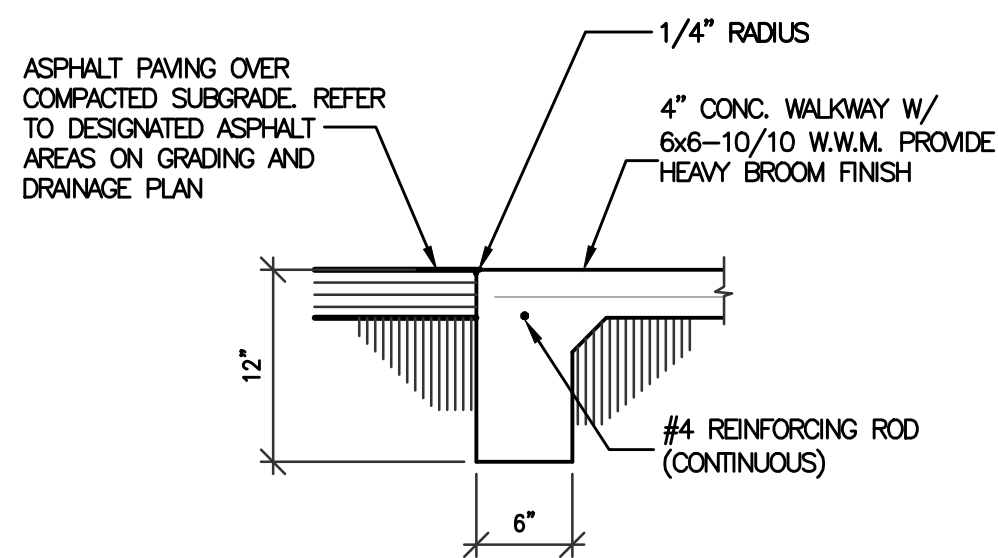
04-27-2017

SHEET NUMBER

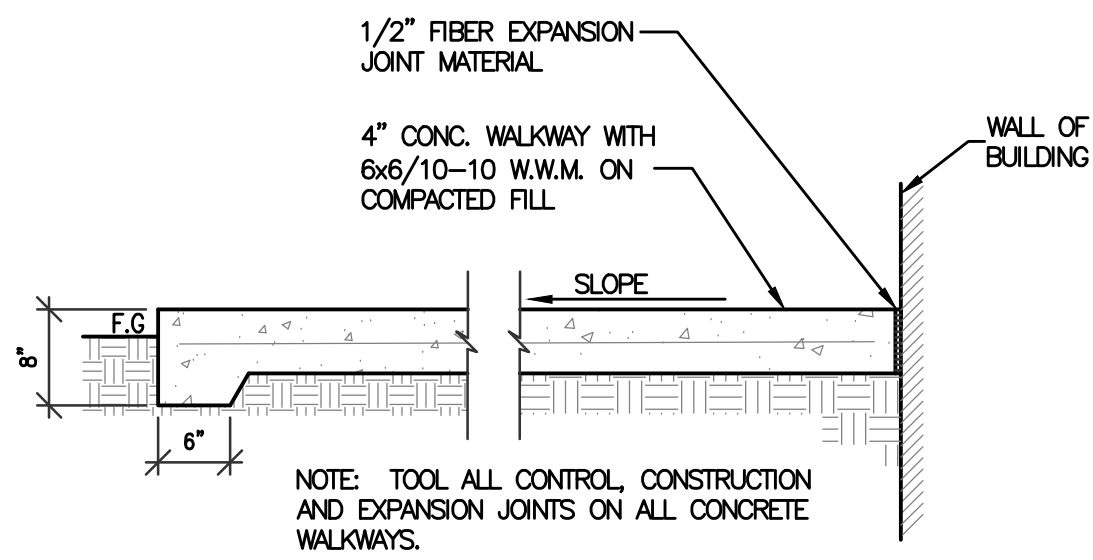
TCL-1.0



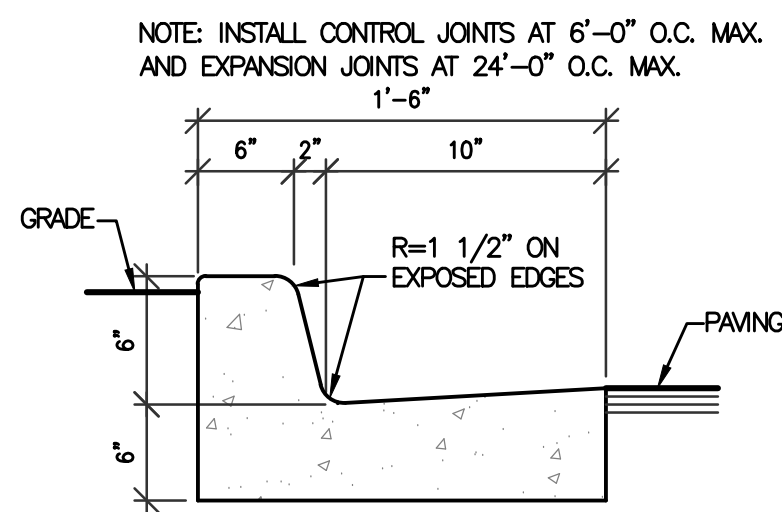
6 TYP. BICYCLE RACK DETAIL
3/4"=1'-0"



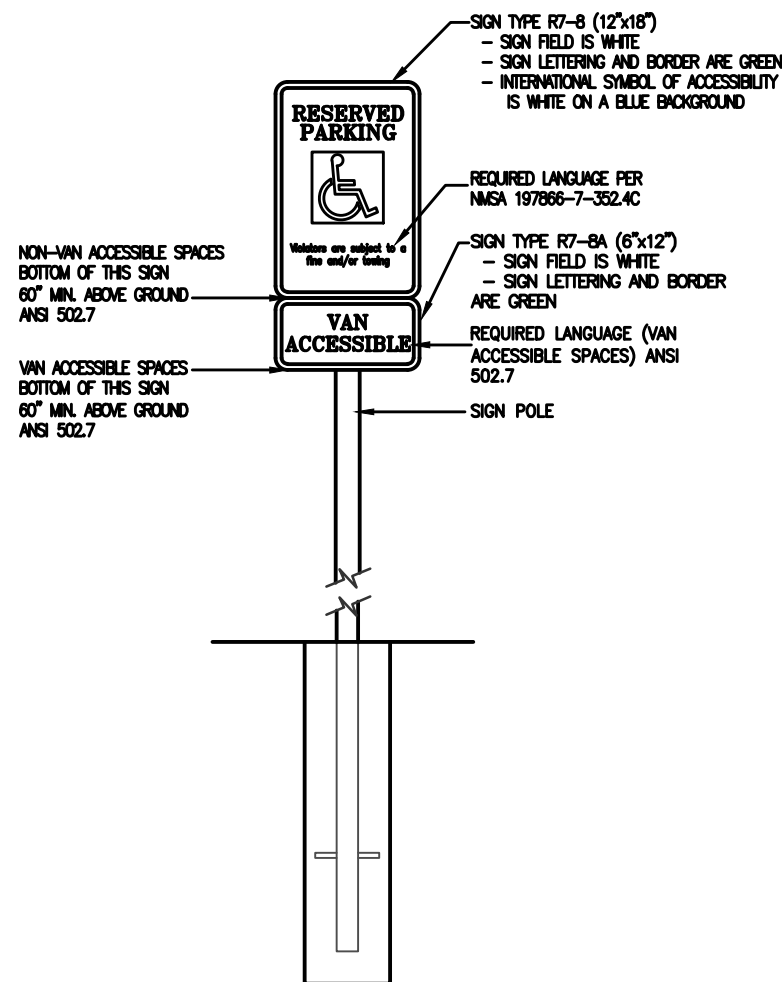
4 TYP. CONCRETE CURB AND SIDEWALK DETAIL
1"=1'-0"



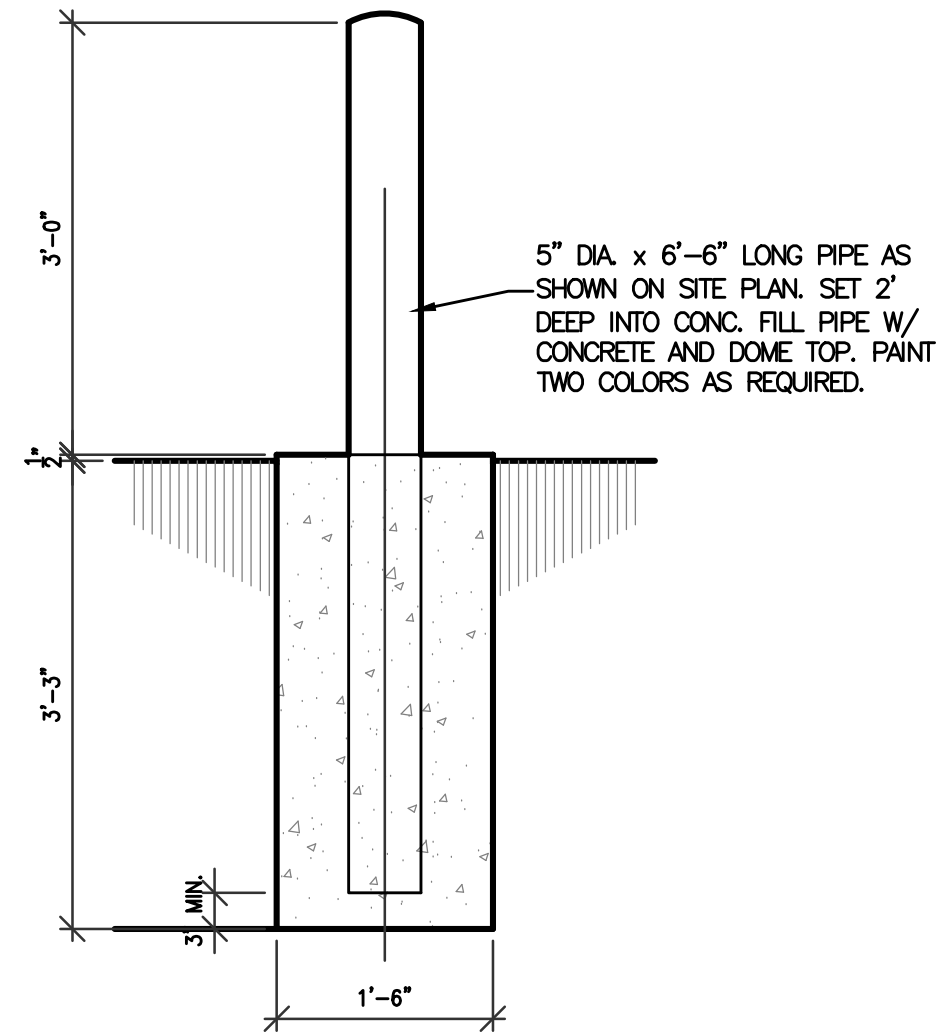
5 TYP. CONCRETE SIDEWALK DETAIL
3/4"=1'-0"



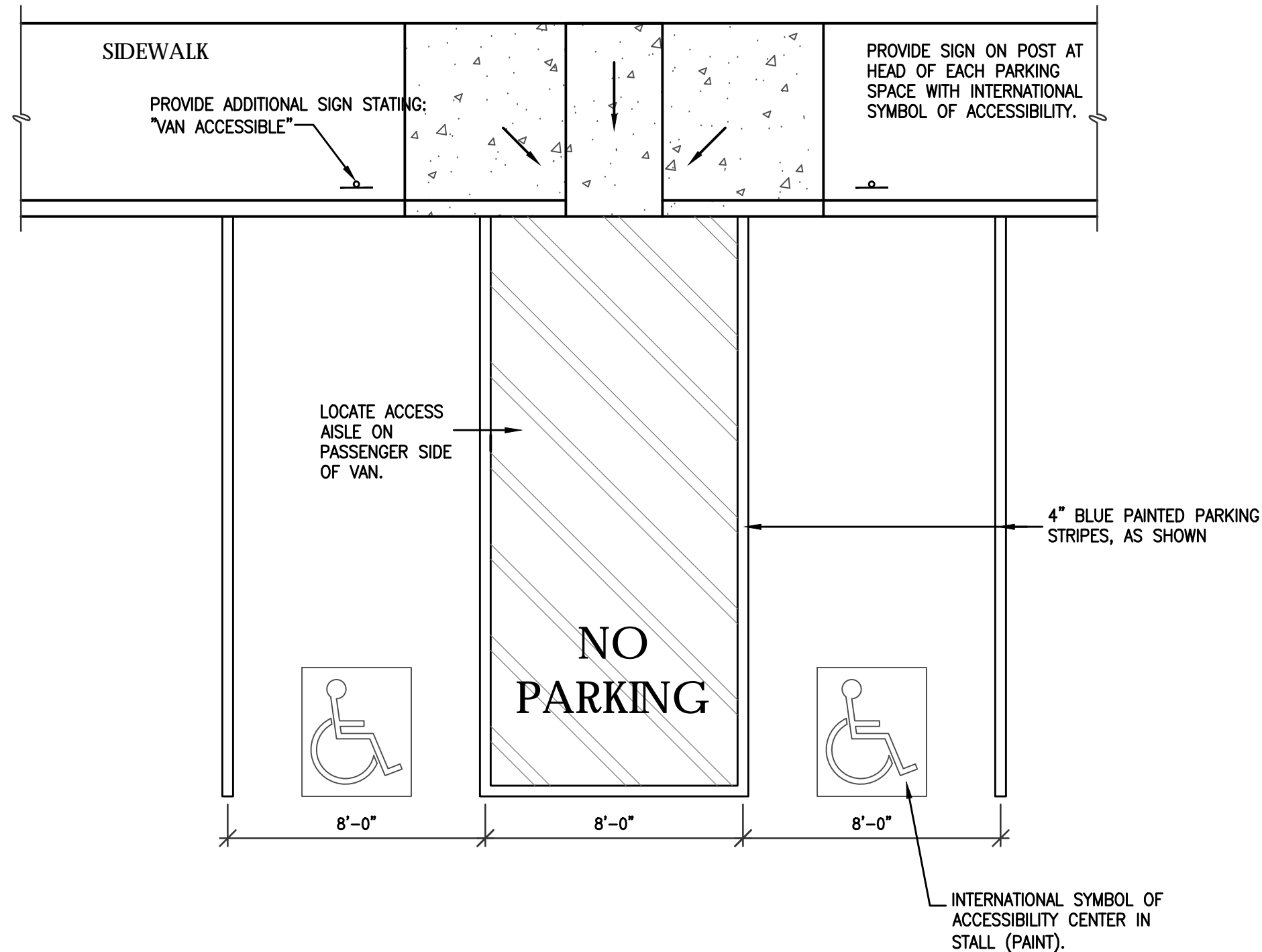
3 TYP. CONCRETE CURB AND GUTTER DETAIL
1"=1'-0"



2 TYP. ACCESSIBLE SIGNAGE DETAIL
3/4"=1'-0"



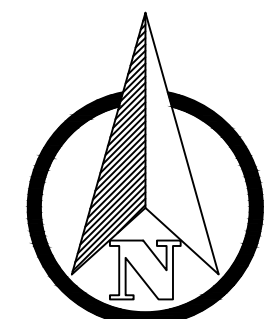
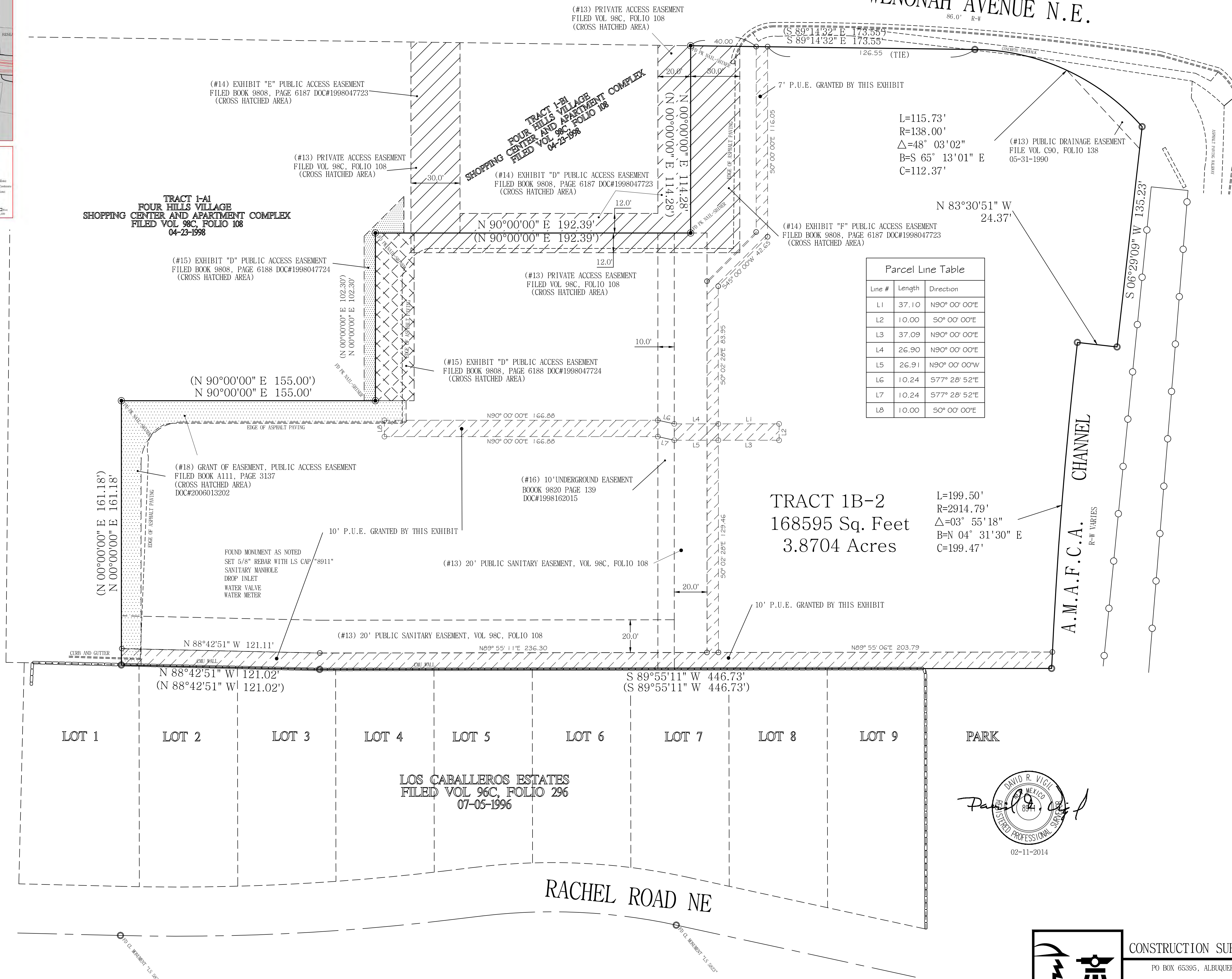
7 TYP. BOLLARD DETAIL
3/4"=1'-0"



1 ACCESSIBLE PARKING
1/4"=1'-0"

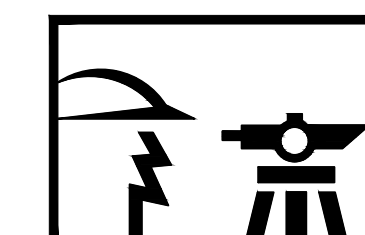
[illegible]

TRACT "1-B2", PLAT OF TRACTS 1-A1, 1-B1 AND 1-B2, FOUR HILLS VILLAGE SHOPPING CENTER & APARTMENT COMPLEX, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 23, 1998, IN PLAT BOOK 98C, FOLIO 108.



0 30 60 Feet

RACHEL ROAD NE



PO BOX 65395, ALBUQUERQUE, NM 87193 505-917-8921