

CITY OF ALBUQUERQUE



December 10, 2019

Dennis Lorenz, P.E.
Lorenz Design + Consulting
2501 Rio Grande NE
Albuquerque, NM 87107

**Re: Beehive homes Phase 4,
13440 Wenonah Ave SE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 4-27-17 (L23D022)
Certification dated 12-6-19**

Dear Mr. Lorenz

Based upon the information provided in your submittal received 12-6-19, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

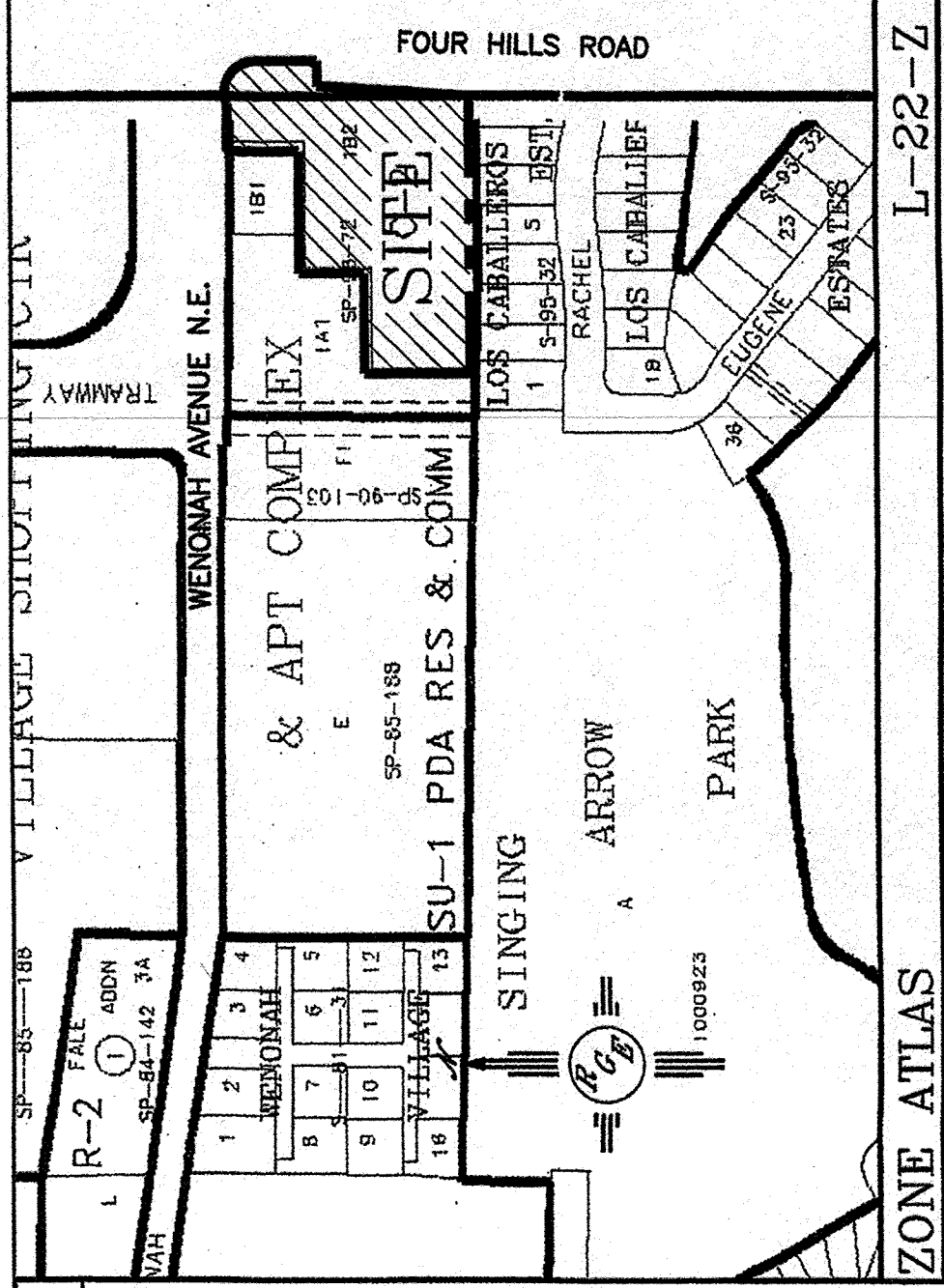
Sincerely,

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernest Armijo, P.E.
Senior Engineer, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

- SHEET INDEX**
1. MASTER SITE DEVELOPMENT PLAN
 2. MASTER SITE DEVELOPMENT PLAN DETAILS
 3. GRADING AND DRAINAGE PLAN
 4. MASTER UTILITY PLAN
 5. MASTER LANDSCAPE PLAN



LEGAL DESCRIPTION:

TRACT 1-B2, FOUR HILLS VILLAGE SHOPPING CENTER AND APT COMPLEX

GENERAL NOTES:

1. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
2. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS.
3. CROSS ACCESS & DRAINAGE EASEMENTS FOR ALL FUTURE PHASES WILL BE GRANTED WITH THE REPLAT.
4. ALL WHEELCHAIR RAMPS SHALL BE BUILT PER DETAIL SHEET 2
5. NO OFF PREMISE OR POLE MOUNTED SIGNAGE SHALL BE ALLOWED.
6. ALL WIRELESS TELECOMMUNICATION FACILITIES SHALL BE CONCEALED AND ARCHITECTURALLY INTEGRATED WITH THE SITE AND SURROUNDING AREA.
7. VINYL COATED, PLASTIC REFLECTIVE TYPE AWNINGS, FASCIA, BUILDING PANELS, SIGN RACEWAYS OR ROOFS SHALL NOT BE PERMITTED.
8. ALL METAL ROOFING SHALL BE CONSISTENT ON ALL BUILDINGS AND CANOPIES AND AND SHALL BE A GAVALUME FINISH.
9. LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
10. ALL CURBS SHALL BE 6" TALL UNLESS OTHERWISE NOTED SEE DETAIL SHEET.
11. ALL HANDICAP RAMPS SHALL BE ADA COMPLIANT.
12. ALL DRIVABLE SURFACES SHALL BE 2" THICK ASPHALT PAVING.

13. Paint curb red - Fire line

14. SPEED HUMP PAINTED OPTIC YELLOW

15. CONCRETE TIRE STOP. TIP.

LEGEND

- EXISTING CURB & GUTTER
- PROPOSED 6" HEADER CURB
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- PROPOSED SIDEWALK
- FUTURE SIDEWALK
- PROPOSED 2" ASPHALT PAVING
- FUTURE 6" HEADER CURB
- PROPOSED BUILDING
- FUTURE BUILDING
- CENTERLINE
- RIGHT-OF-WAY
- PROPOSED STEM WALL
- FUTURE STEM WALL
- PHASE LINE
- HC SIGNAGE
- PROPOSED 5' WROUGHT IRON FENCE

CITY OF ALBUQUERQUE
BUILDING & SAFETY
OCT 03 2013
LAND DEVELOPMENT SECTION

BEEHIVE HOMES

TRAFFIC CIRCULATION PLAN

ENGINEER'S SEAL

DAVID SOULE
P.E. #14522

DATE
10-02-13

21227-LAYOUT-7-13-12

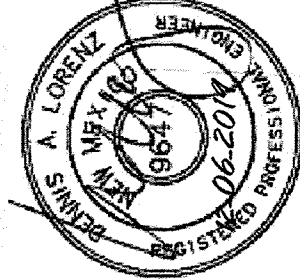
SHEET #
1

JOB #
21227

1606 COUNTRY AVENUE SE
SUITE 201
ALBUQUERQUE, NM 87106
(505) 872-0889

Rio Grande Engineering

FOUR HILLS ROAD



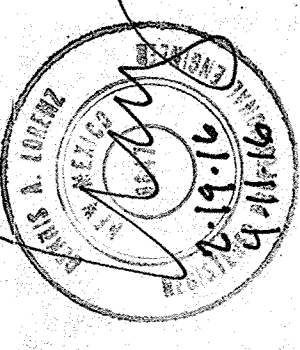
Phase 4 Certification

BEEHIVE HOMES PHASE 2
ENGINEERS CERTIFICATION (TRAFFIC CIRCULATION LAYOUT) FOR PERMANENT CERTIFICATE OF OCCUPANCY

I, Dennis A. Lorenz, NMPE 9847, of the firm Lorenz Design & Consulting, LLC, hereby certify that this project has been constructed in substantial compliance with and in accordance with the design intent of the approved Traffic Circulation Layout prepared by Rio Grande Engineering.

The record information edited onto the original design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.

The record information presented herein is not necessarily complete and is intended only to verify substantial compliance with the traffic aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

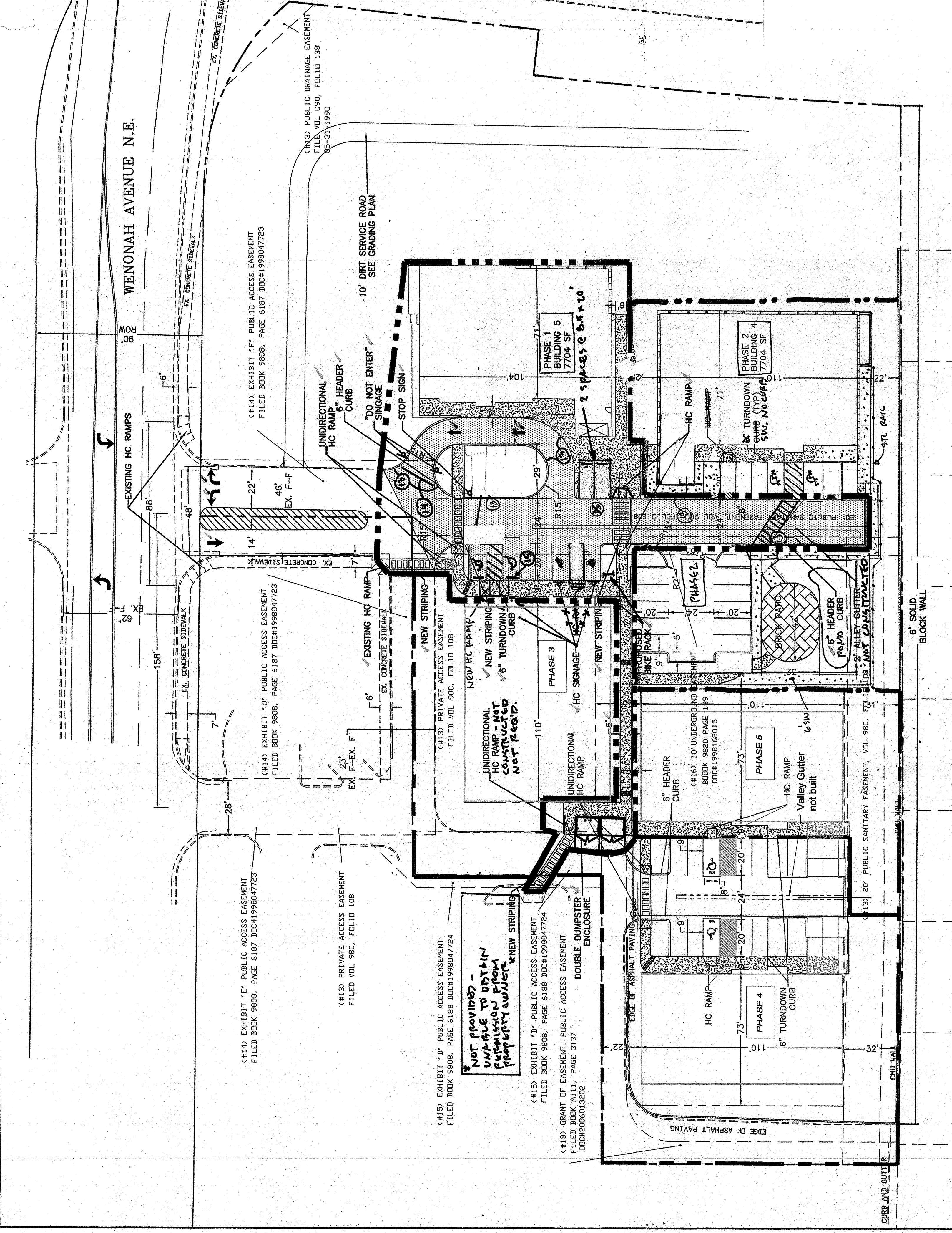
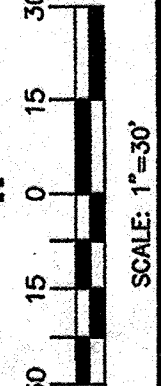


Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY MUST HAVE TRUNCATED DOMES.

TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: *[Signature]* Date: 10/9/13

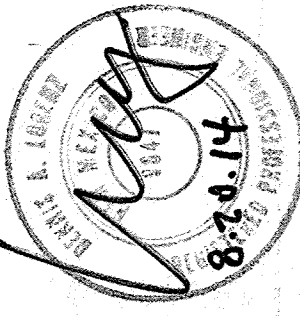


BEEHIVE HOMES - PHASE 1
ENGINEERS CERTIFICATION (TRAFFIC CIRCULATION LAYOUT) FOR PERMANENT CERTIFICATE OF OCCUPANCY

I, Dennis A. Lorenz, NMPE 9847, of the firm Lorenz Design & Consulting, LLC, hereby certify that this project has been constructed in substantial compliance with and in accordance with the design intent of the approved Traffic Circulation Layout prepared by Rio Grande Engineering.

The record information edited onto the original design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.

The record information presented herein is not necessarily complete and is intended only to verify substantial compliance with the traffic aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



SITE DATA			
	PHASE 1	PHASE 2	PHASES 3, 4 & 5
TOTAL ACREAGE:	-	-	3.8704 AC±
DENSITY UNITS:	-	-	2.25 DU/S (AT MAXIMUM BUILD OUT)
EXISTING ZONING:	SU-2	SU-2	SU-2
PROPOSED ZONING:	SU-2	SU-2	SU-2
PROPOSED USE:	NURSING HOME	NURSING HOME	NURSING HOME
REQUIRED PARKING:	8 SPACES (1 SPACE PER 2 BEDS)	16 SPACES (1 SPACE PER 2 BEDS)	40 SPACES (1 SPACE PER 2 BEDS)
PROVIDED PARKING:	9 SPACES ✓	17 SPACES ✓	43 SPACES ✓
HC PROVIDED PARKING:	1 SPACE ✓	2 SPACES ✓	5 SPACES ✓
REQUIRED BI-CYCLE SPOTS:	2 SPACES ✓	3 SPACES ✓	7 SPACES ✓
PROVIDED BI-CYCLE SPOTS:	2 SPACES ✓	3 SPACES ✓	7 SPACES ✓
LANDSCAPE REQUIRED:	SEE LANDSCAPE PLAN	SEE LANDSCAPE PLAN	SEE LANDSCAPE PLAN
LANDSCAPE PROVIDED:	SEE LANDSCAPE PLAN	SEE LANDSCAPE PLAN	SEE LANDSCAPE PLAN

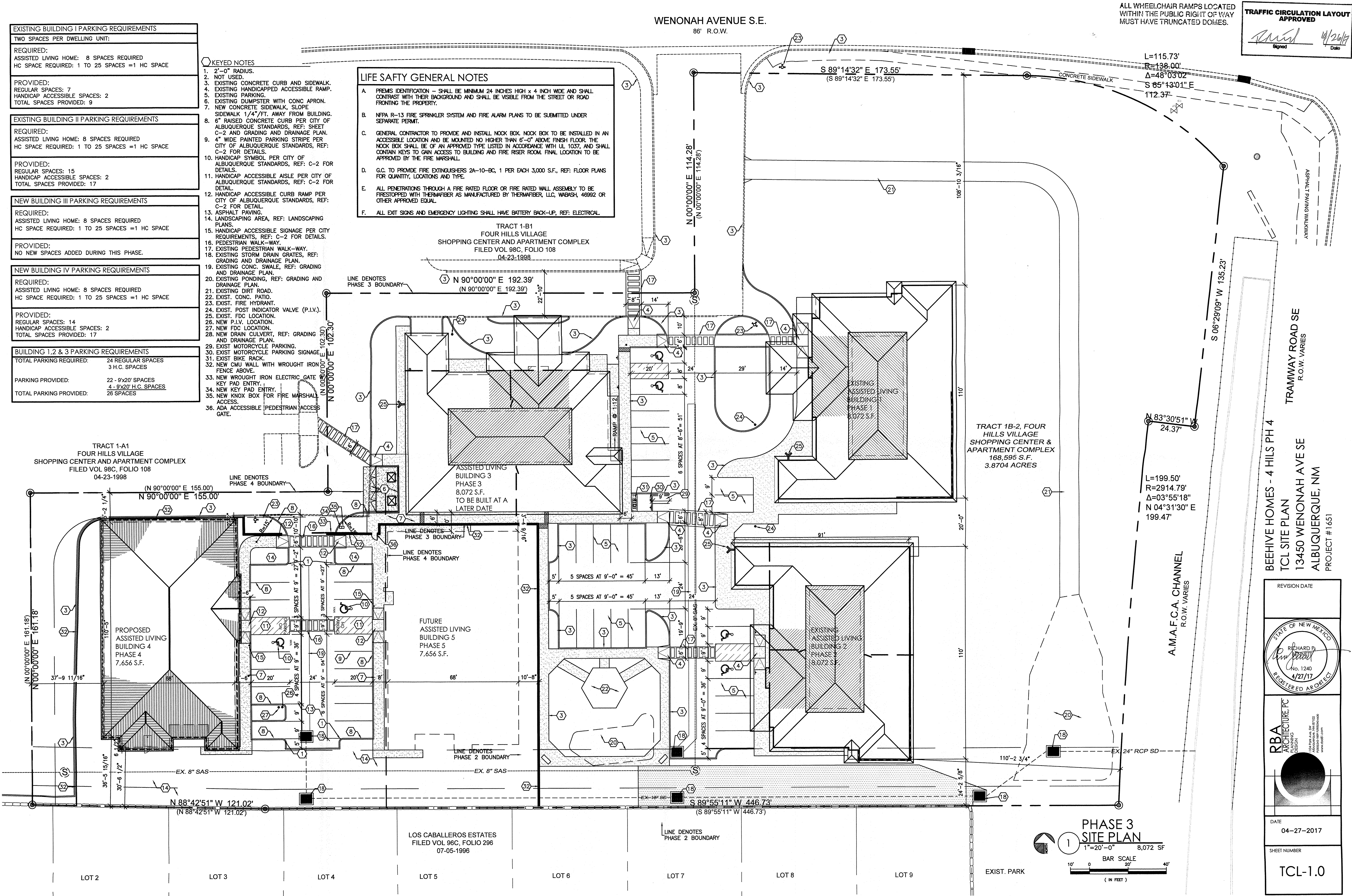
EXISTING BUILDING I PARKING REQUIREMENTS	
TWO SPACES PER DWELLING UNIT:	
REQUIRED:	
ASSISTED LIVING HOME:	8 SPACES REQUIRED
HC SPACE REQUIRED:	1 TO 25 SPACES = 1 HC SPACE
PROVIDED:	
REGULAR SPACES:	7
HANDICAP ACCESSIBLE SPACES:	2
TOTAL SPACES PROVIDED:	9

EXISTING BUILDING II PARKING REQUIREMENTS	
REQUIRED:	
ASSISTED LIVING HOME:	8 SPACES REQUIRED
HC SPACE REQUIRED:	1 TO 25 SPACES = 1 HC SPACE
PROVIDED:	
REGULAR SPACES:	15
HANDICAP ACCESSIBLE SPACES:	2
TOTAL SPACES PROVIDED:	17

NEW BUILDING III PARKING REQUIREMENTS	
REQUIRED:	
ASSISTED LIVING HOME:	8 SPACES REQUIRED
HC SPACE REQUIRED:	1 TO 25 SPACES = 1 HC SPACE
PROVIDED:	
NO NEW SPACES ADDED DURING THIS PHASE.	

NEW BUILDING IV PARKING REQUIREMENTS	
REQUIRED:	
ASSISTED LIVING HOME:	8 SPACES REQUIRED
HC SPACE REQUIRED:	1 TO 25 SPACES = 1 HC SPACE
PROVIDED:	
REGULAR SPACES:	14
HANDICAP ACCESSIBLE SPACES:	2
TOTAL SPACES PROVIDED:	17

BUILDING 1, 2 & 3 PARKING REQUIREMENTS	
TOTAL PARKING REQUIRED:	
24 REGULAR SPACES	3 H.C. SPACES
PARKING PROVIDED:	
22 - 9'x20' SPACES	4 - 9'x20' H.C. SPACES
TOTAL PARKING PROVIDED:	26 SPACES



- LIFE SAFTY GENERAL NOTES
- A. PREMS IDENTIFICATION - SHALL BE MINIMUM 24 INCHES HIGH x 4 INCH WIDE AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.

B. NFPA R-13 FIRE SPRINKLER SYSTEM AND FIRE ALARM PLANS TO BE SUBMITTED UNDER SEPARATE PERMIT.

C. GENERAL CONTRACTOR TO PROVIDE AND INSTALL NOCK BOX. NOCK BOX TO BE INSTALLED IN AN ACCESSIBLE LOCATION AND BE MOUNTED NO HIGHER THAN 6'-0" ABOVE FINISH FLOOR. THE NOCK BOX SHALL BE OF AN APPROVED TYPE LISTED IN ACCORDANCE WITH UL 1037, AND SHALL CONTAIN KEYS TO GAIN ACCESS TO BUILDING AND FIRE RISER ROOM. FINAL LOCATION TO BE APPROVED BY THE FIRE MARSHALL.

D. G.C. TO PROVIDE FIRE EXTINGUISHERS 2A-10-BC, 1 PER EACH 3,000 S.F., REF: FLOOR PLANS FOR QUANTITY, LOCATIONS AND TYPE.

E. ALL PENETRATIONS THROUGH A FIRE RATED FLOOR OR FIRE RATED WALL ASSEMBLY TO BE FIRESTOPPED WITH THERMAFIBER AS MANUFACTURED BY THERMAFIBER, LLC, WABASH, 46992 OR OTHER APPROVED EQUAL.

F. ALL EXIT SIGNS AND EMERGENCY LIGHTING SHALL HAVE BATTERY BACK-UP, REF: ELECTRICAL.

TRAFFIC CIRCULATION LAYOUT APPROVED

[Signature]

4/26/17

BEESHIVE HOMES - 4 HILLS PH 4

TCL SITE PLAN

13450 WENONAH AVE SE

ALBUQUERQUE, NM

PROJECT #1651

REVISION DATE

STATE OF NEW MEXICO

RICHARD P. RBA

No. 1240

4/27/17

REGISTERED ARCHITECT

RBA ARCHITECTURE, P.C.

ARCHITECTURAL DESIGN

13450 WENONAH AVE SE, SUITE 100

ALBUQUERQUE, NM 87122

PH: 505.261.1000 FAX: 505.261.1001

DATE

04-27-2017

SHEET NUMBER

TCL-1.0

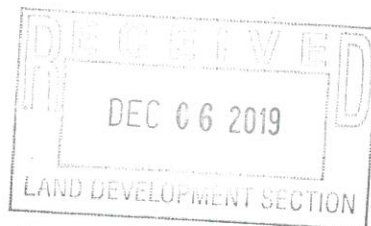
BEEHIVE HOMES PHASE 4
TRAFFIC CERTIFICATION
PERMANENT CERTIFICATE OF OCCUPANCY

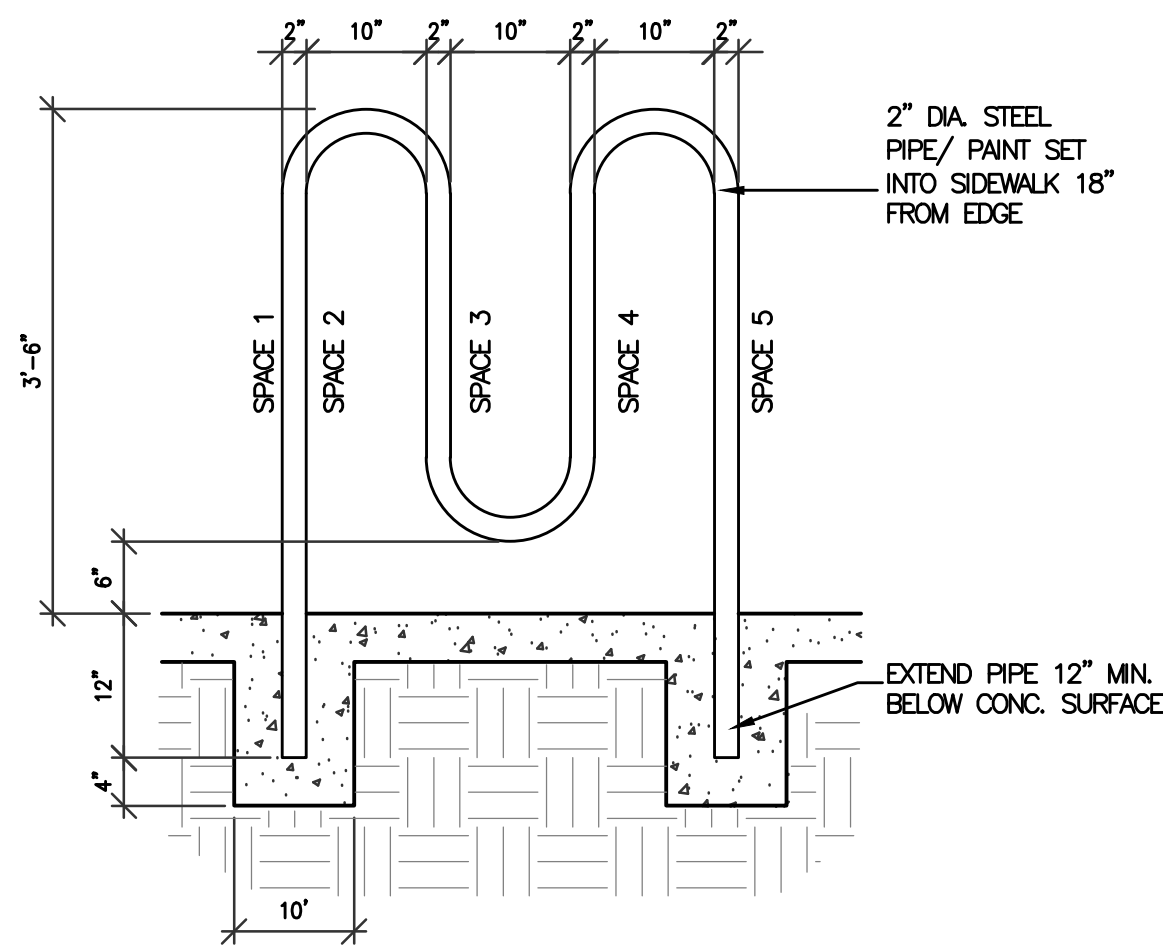
I, DENNIS A. LORENZ, NMPE, OF THE FIRM LORENZ DESIGN & CONSULTING, LLC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE PLAN PREPARED BY RIO GRANDE ENGINEERING, APPROVED 10-04-2013. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY EAST MOUNTAIN SURVEYING, LLC, AND DENNIS A. LORENZ, NMPE, OF THE FIRM LORENZ DESIGN & CONSULTING, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12-04-2019 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

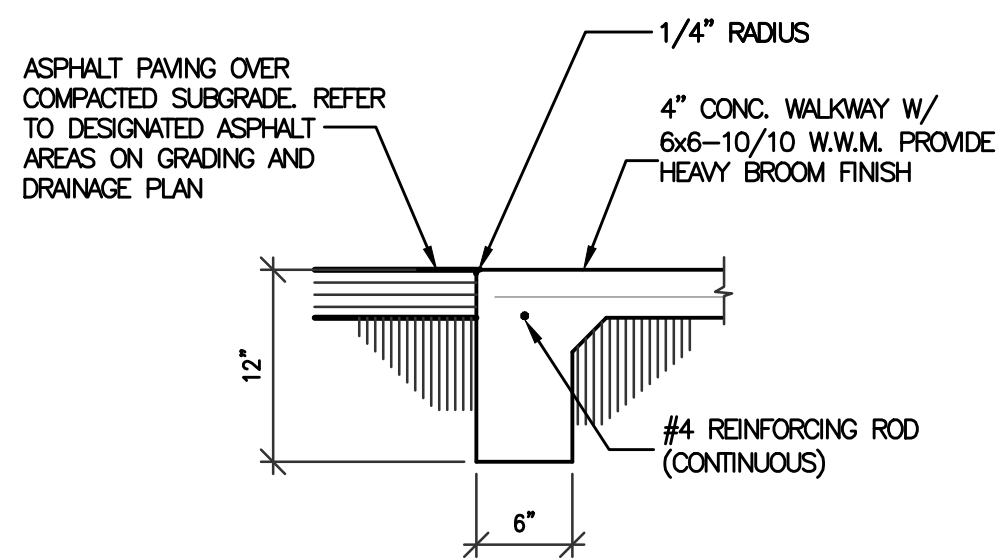


DENNIS A. LORENZ, NMPE 9647

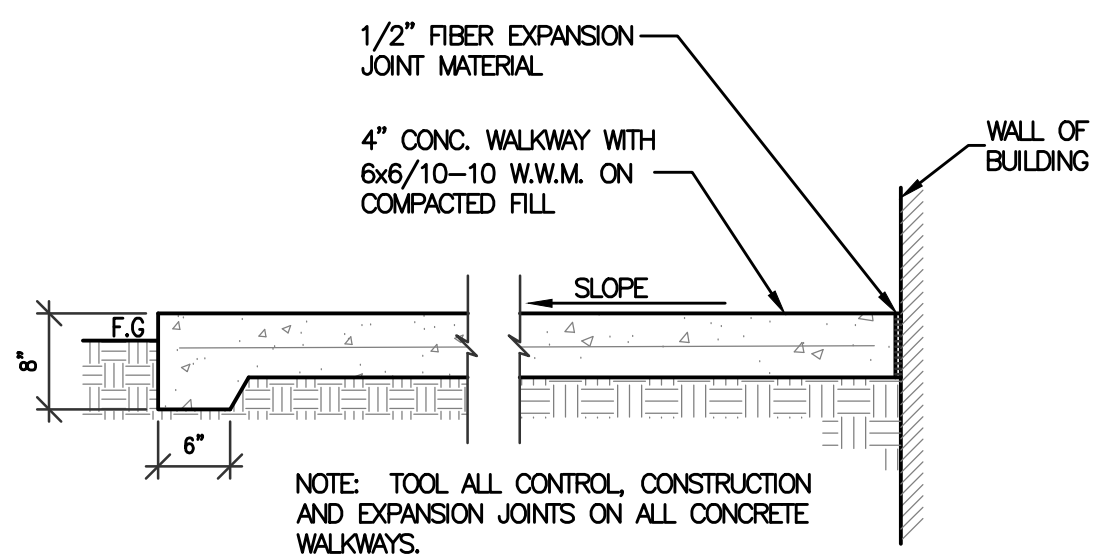




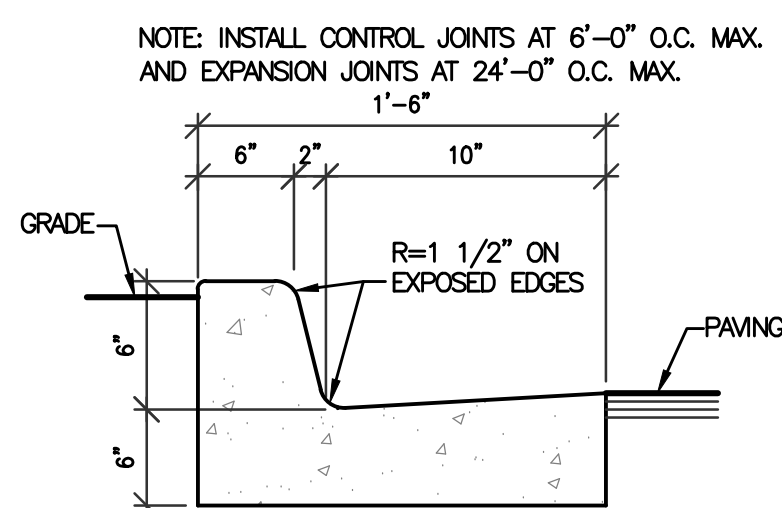
6 TYP. BICYCLE RACK DETAIL
3/4"=1'-0"



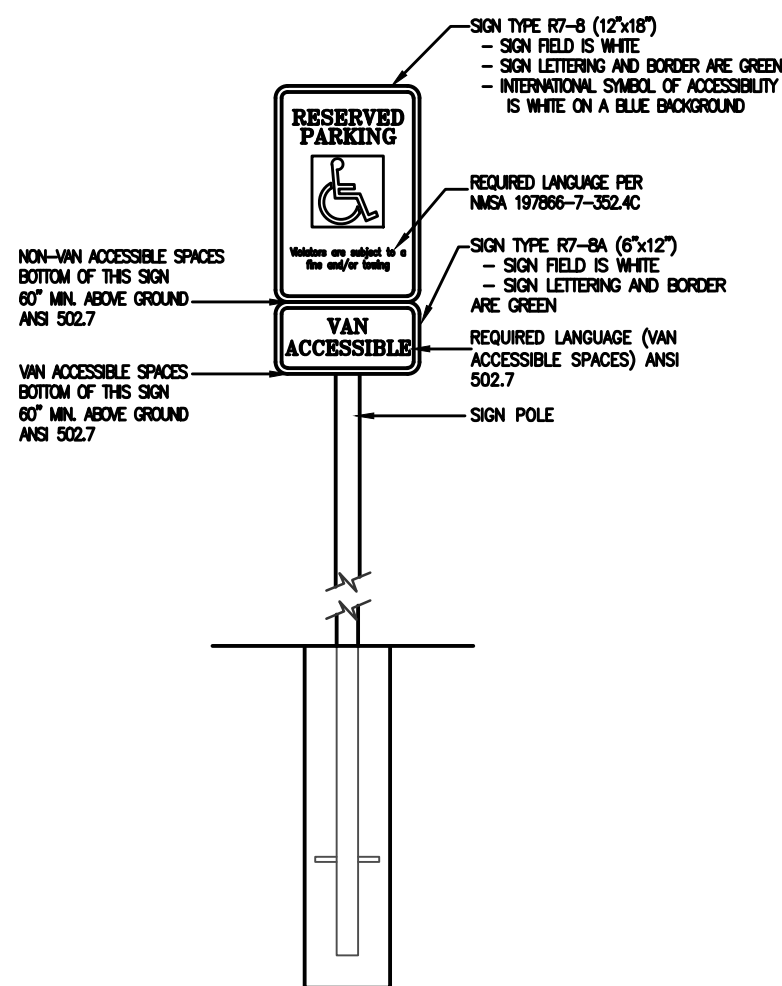
4 TYP. CONCRETE CURB AND SIDEWALK DETAIL
1"=1'-0"



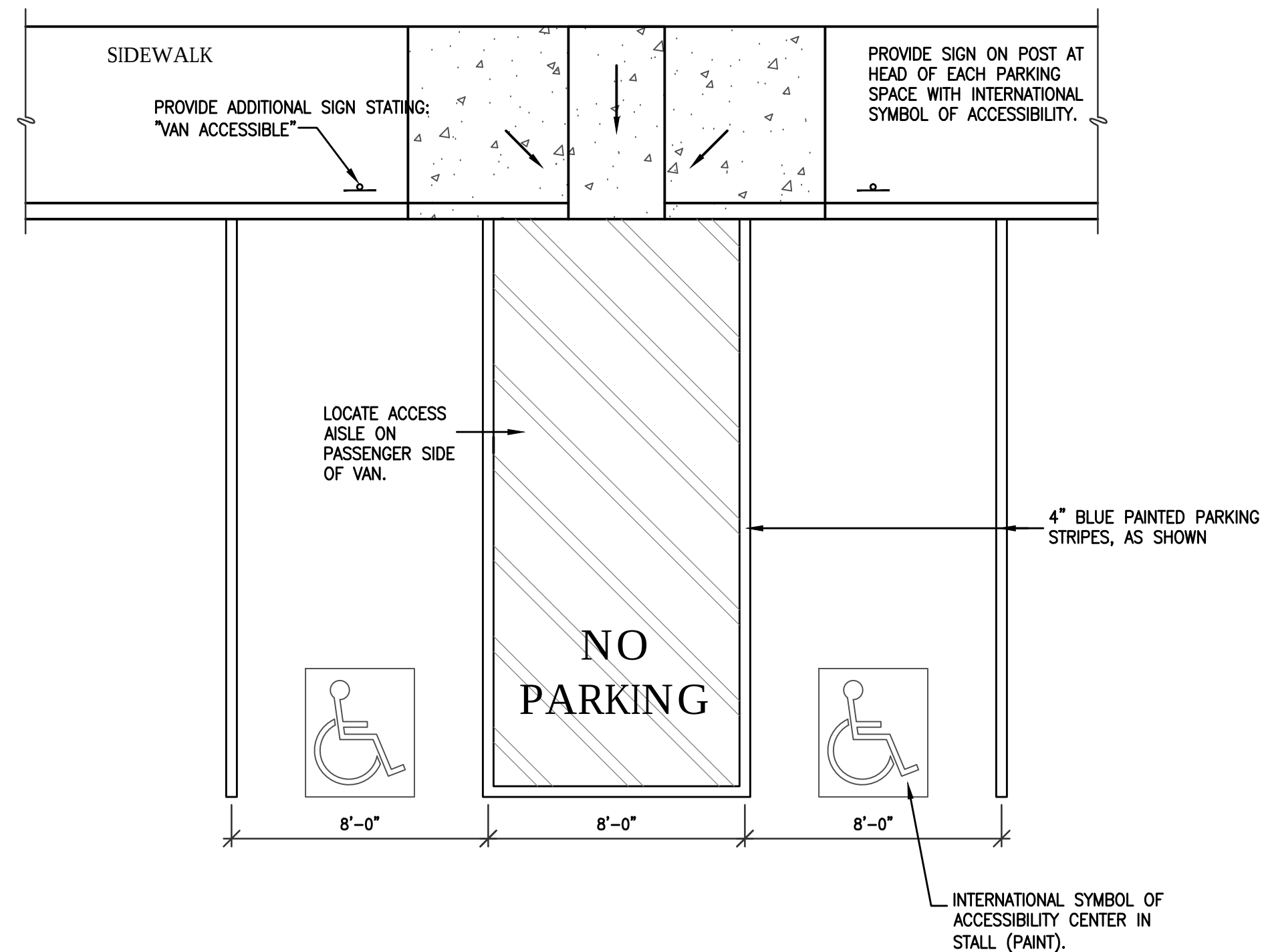
5 TYP. CONCRETE SIDEWALK DETAIL
3/4"=1'-0"



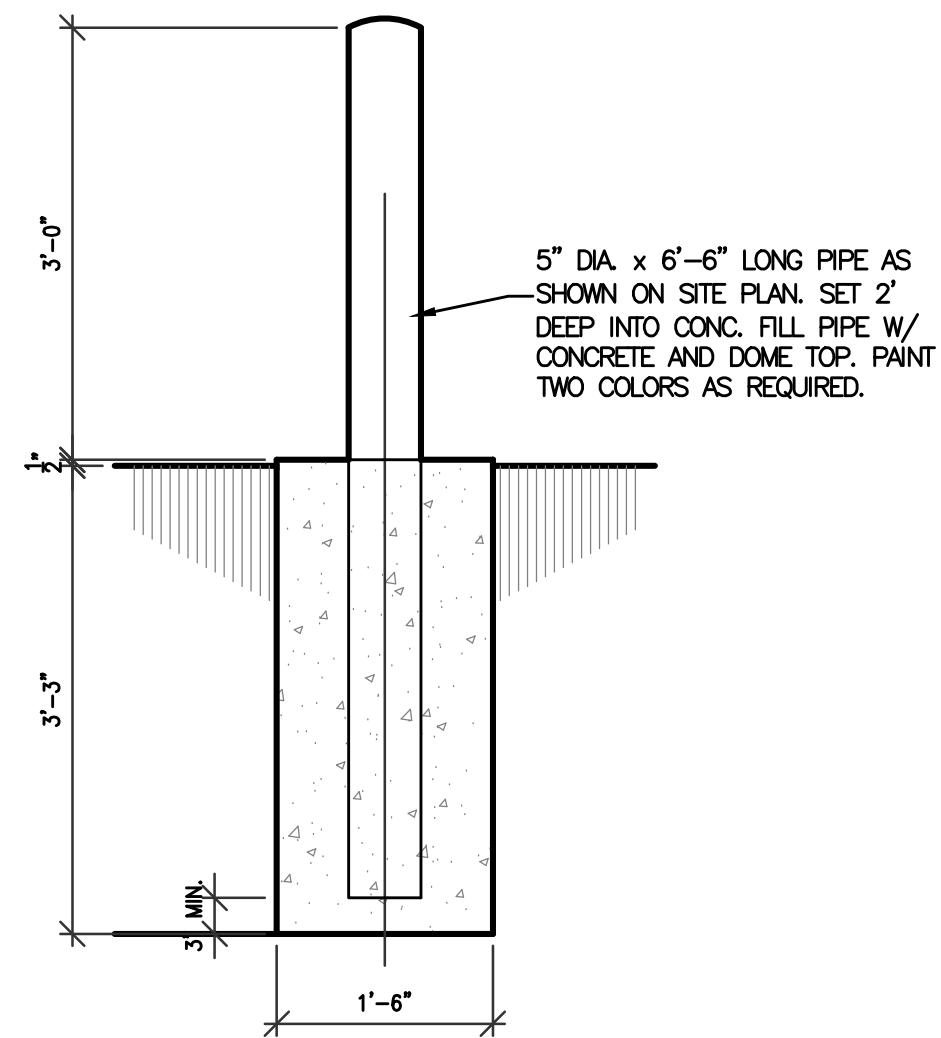
3 TYP. CONCRETE CURB AND GUTTER DETAIL
1"=1'-0"



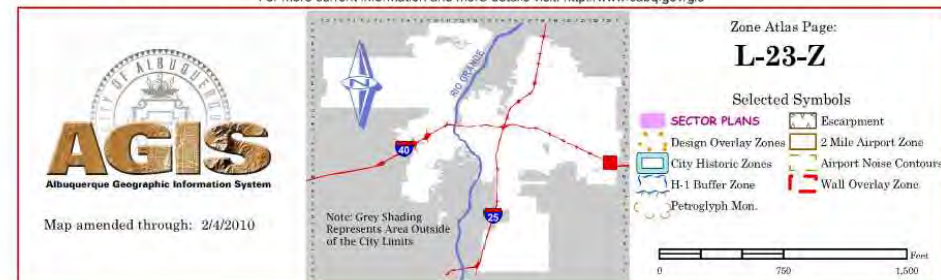
2 TYP. ACCESSIBLE SIGNAGE DETAIL
3/4"=1'-0"



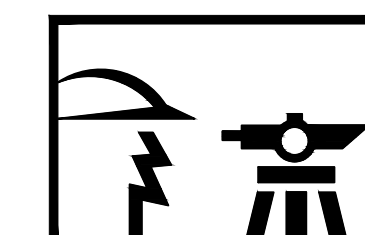
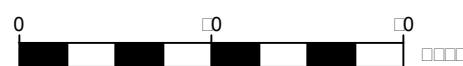
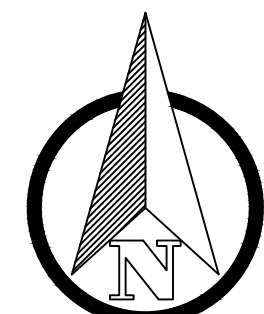
1 ACCESSIBLE PARKING
1/4"=1'-0"



7 TYP. BOLLARD DETAIL
3/4"=1'-0"



TRACT "1"2" PLAT O TRACTS 1 A1 1 AND 1 2 O R ILLS ILLAGE S OOPING CENTER A PARTMENT COMPLEX CITY
O AL O O ER I E I ERNALILLO CO NTY NE I MEXICO AS T E SAME IS S O N AND DESIGNATED ON T E PLAT T ERO O
ILED IN T E O ICE O T E CO NTY CLERK O ERNALILLO CO NTY NE I MEXICO ON APRIL 2 1 I IN PLAT OOK I C
OLIO 10 I



PO BOX 65395, ALBUQUERQUE, NM 87193 505-917-8921