

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

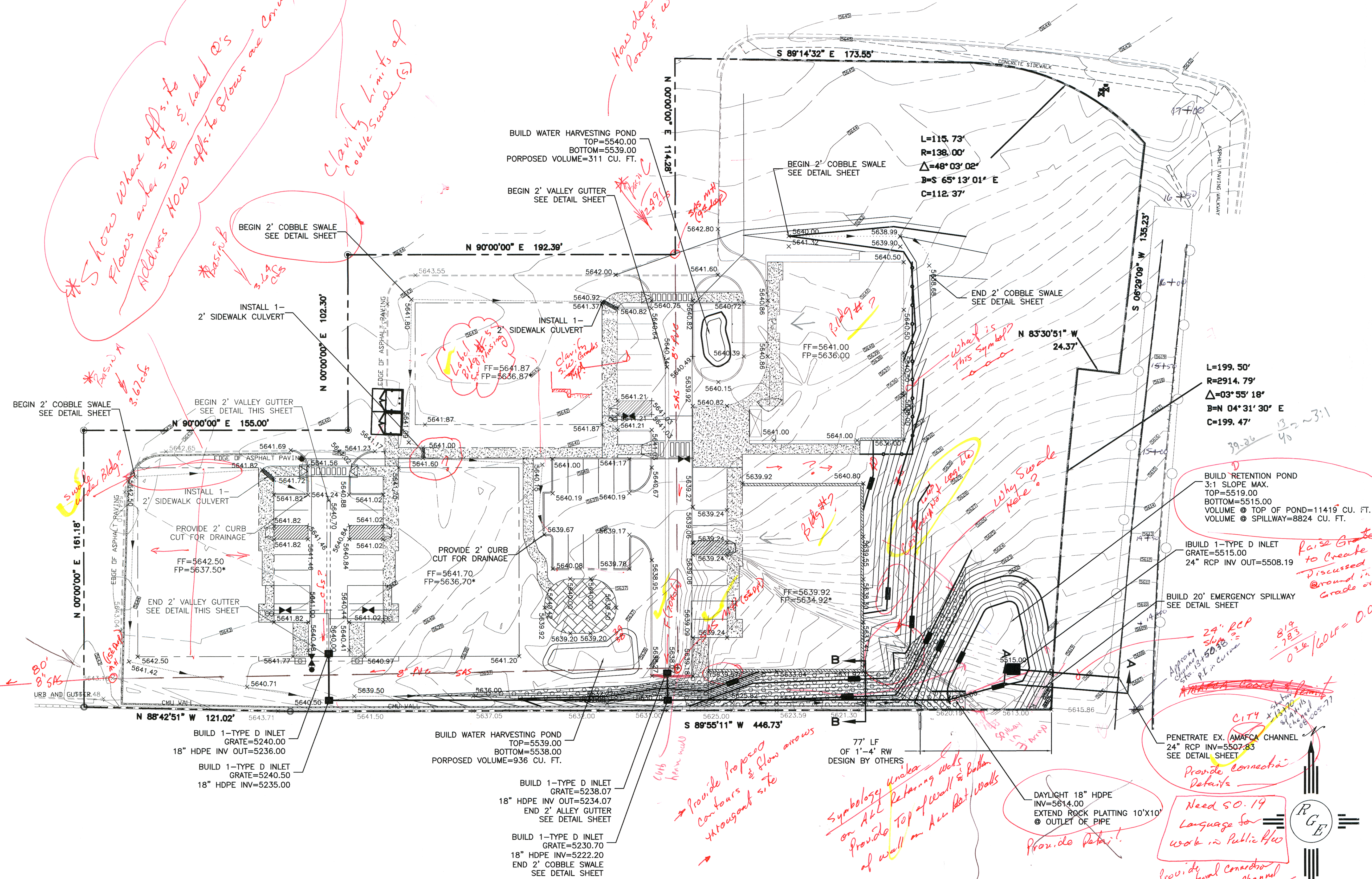
Show where roof drainage packages 1, Typoed

How does water get into ponds & where is overflow?

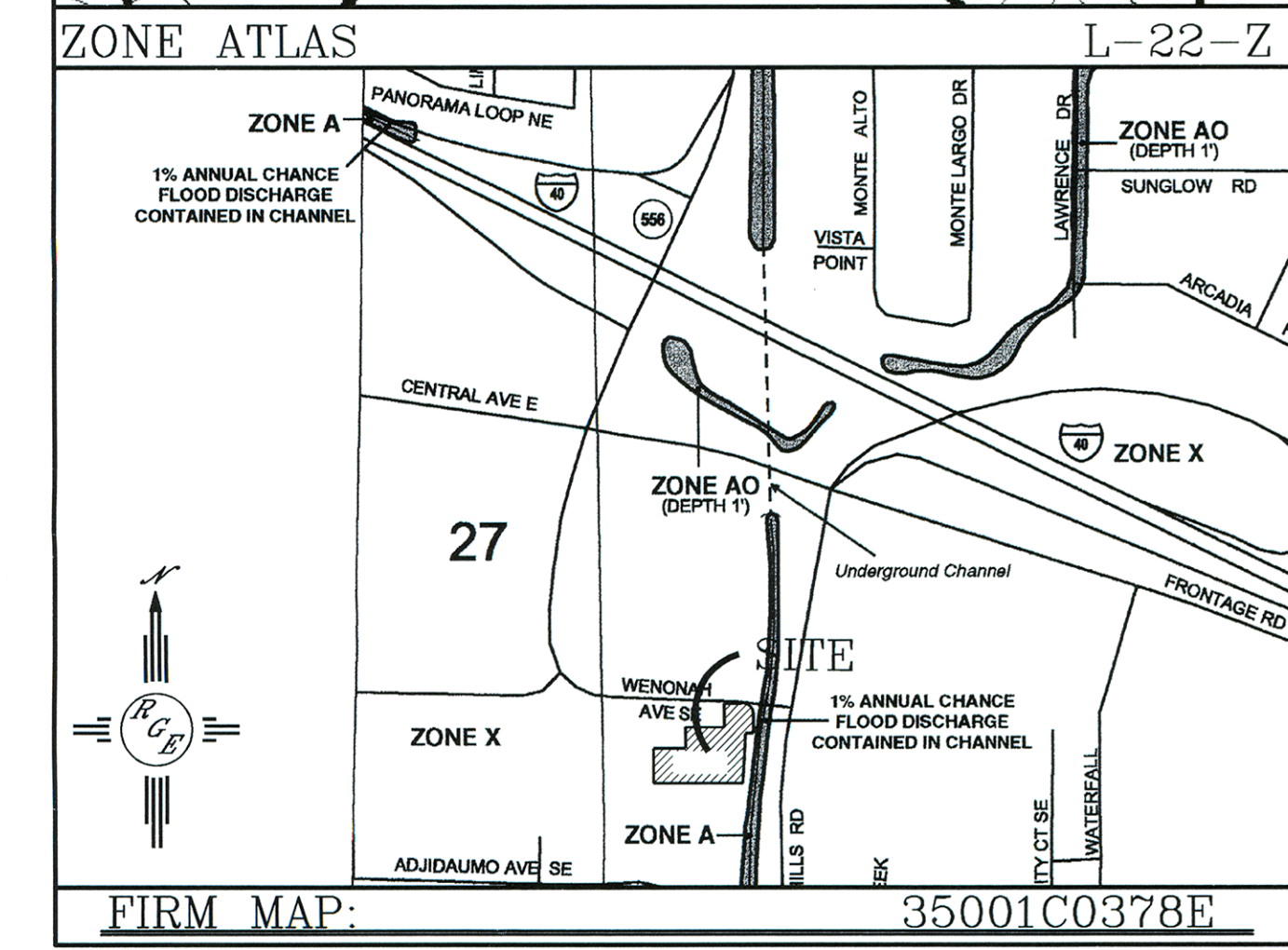
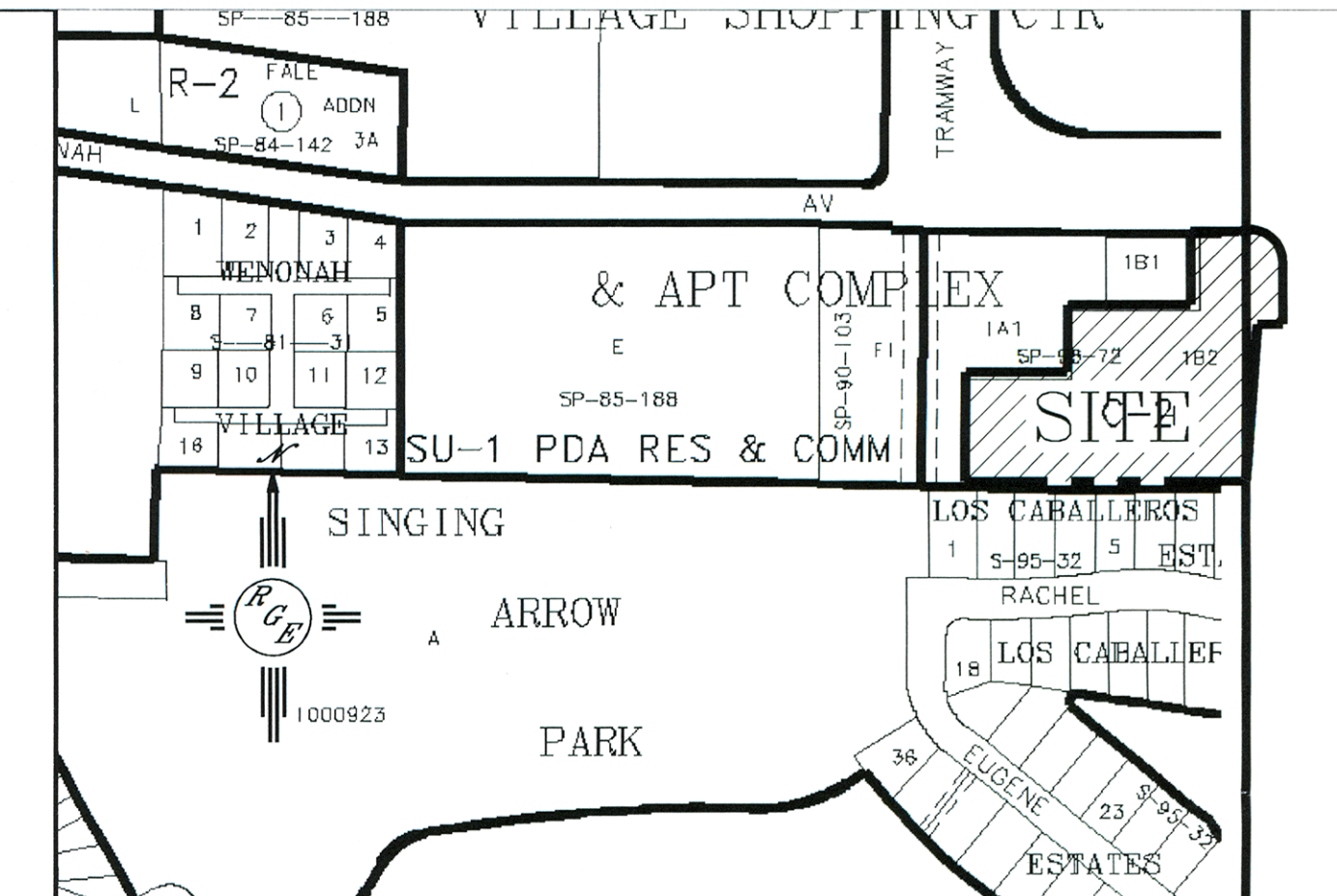
Show where off-site flows enter site & label Q's Address HOW off-site flows are conveyed

Basin

Clarify limits of Cobble Swale(s)



CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



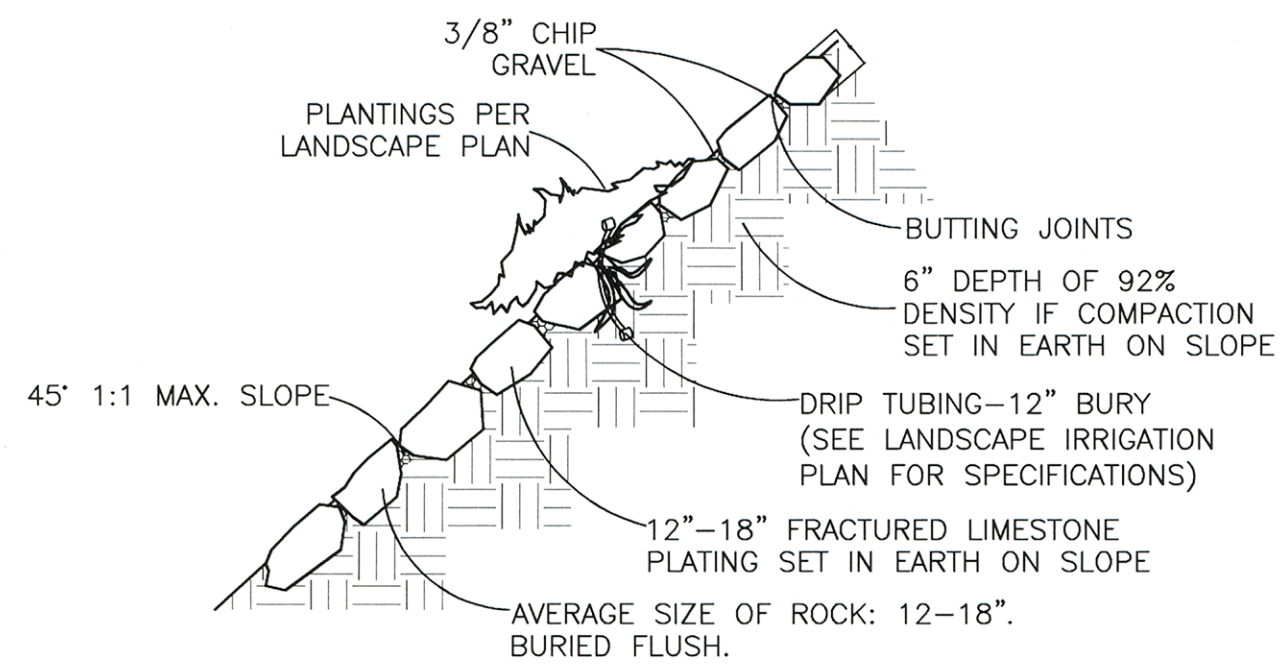
LEGAL DESCRIPTION:
TRACT 1-B2, FOUR HILLS VILLAGE SHOPPING CENTER AND APT COMPLEX

- NOTES:**
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. * DENOTES THAT FOR MASS GRADING FINISHED PAD SHALL BE FINISHED FLOOR MINUS 1'. AT THE TIME OF FINAL CONSTRUCTION PAD EXCAVATION SHALL BE TO DESIGN PAD ELEVATION. *Clarify how this will work with extension over excavation discussed by contractor 8/28/13.*

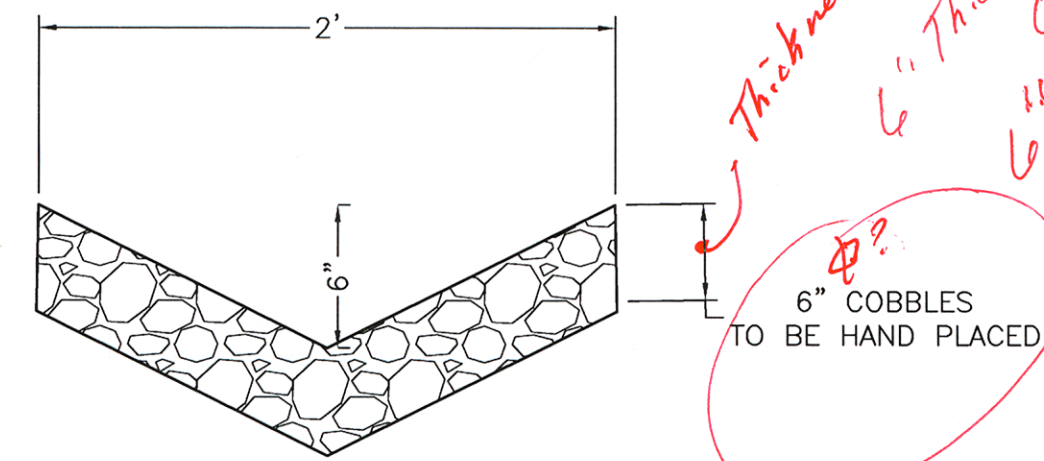
LEGEND	
---	EXISTING CONTOUR
---	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED INDEX CONTOUR
---	3:1 SLOPE TIE MAX.
---	EXISTING SPOT ELEVATION
---	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	FLOWLINE (Cobble Swale)
---	RIGHT-OF-WAY
---	EXISTING FENCE
---	PROPOSED CURB
---	EXISTING CURB
---	PROPOSED ROCK PLATTING SEE DETAIL SHEET
---	PROPOSED EXTENDED STEM WALL SEE ARCH PLANS FOR DETAILS
---	PROPOSED RETAINING WALL DESIGN BY OTHERS

Differentiate Symbols

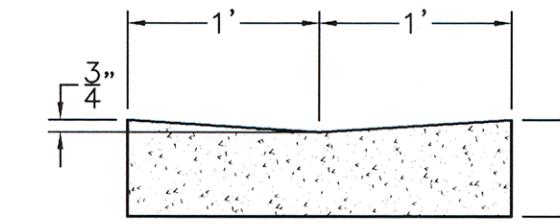
	ENGINEER'S SEAL	BEEHIVE HOMES	DRAWN BY WCVJ
		GRADING AND DRAINAGE PLAN	DATE 6-13-13
			21227-LAYOUT-7-13-12
DAVID SOULE P.E. #14522		1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0989	SHEET # 1
			JOB # 21227



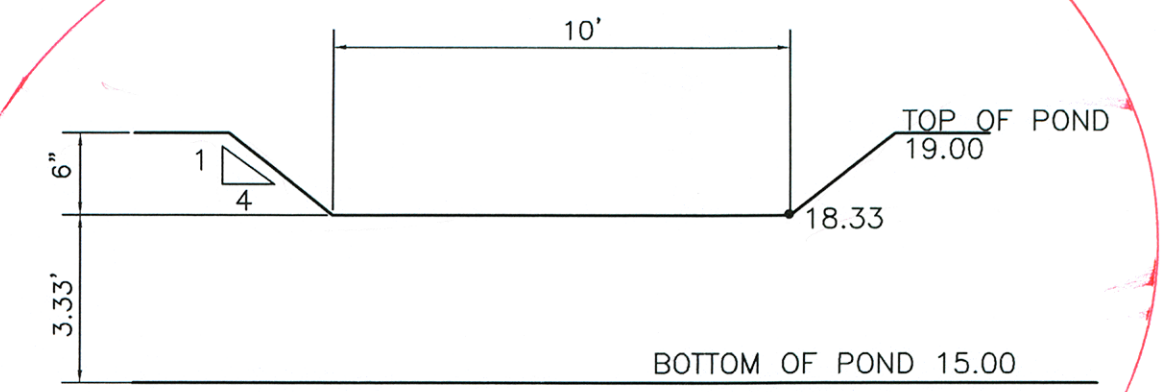
ROCK PLATING DETAIL
NTS



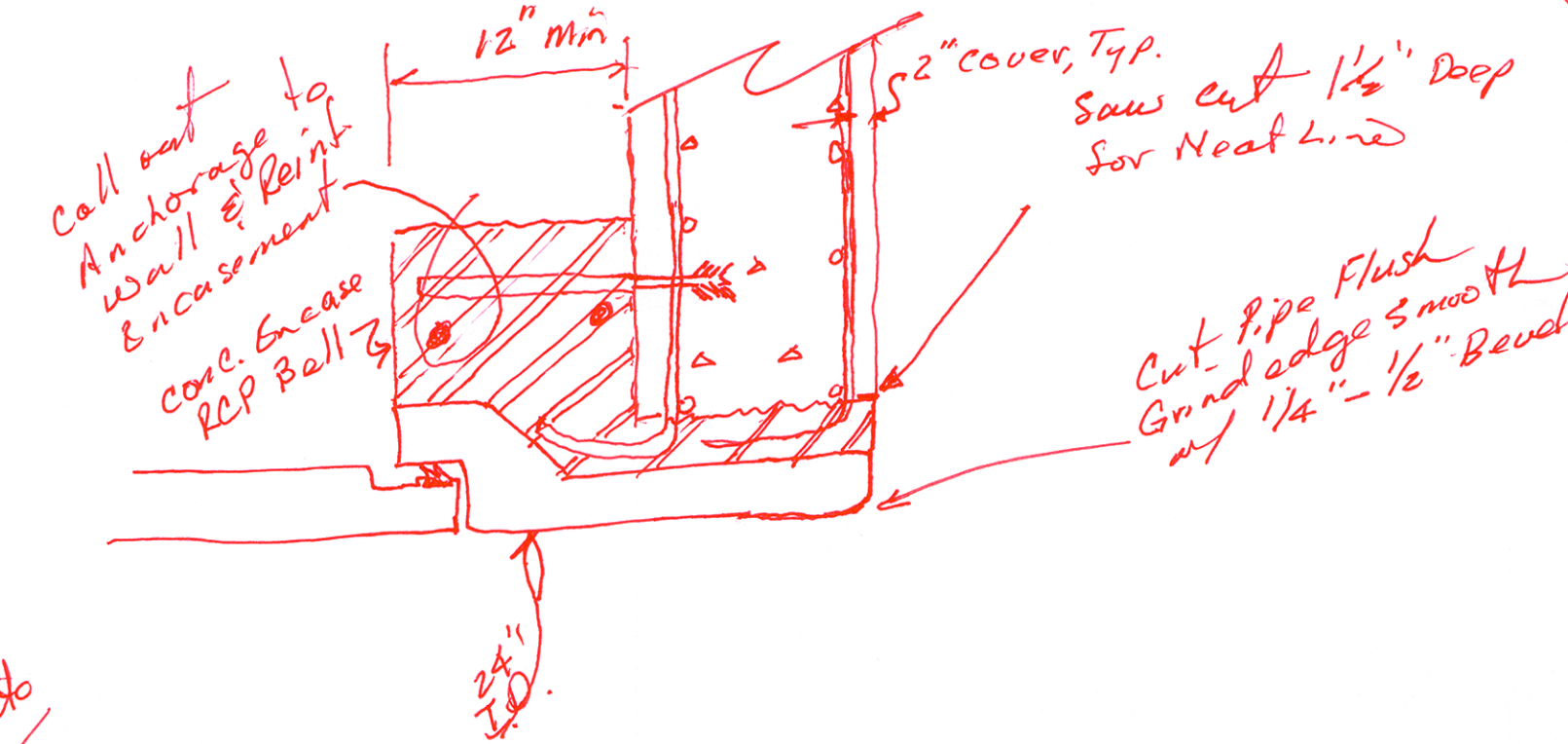
COBBLE SWALE DETAIL
NTS



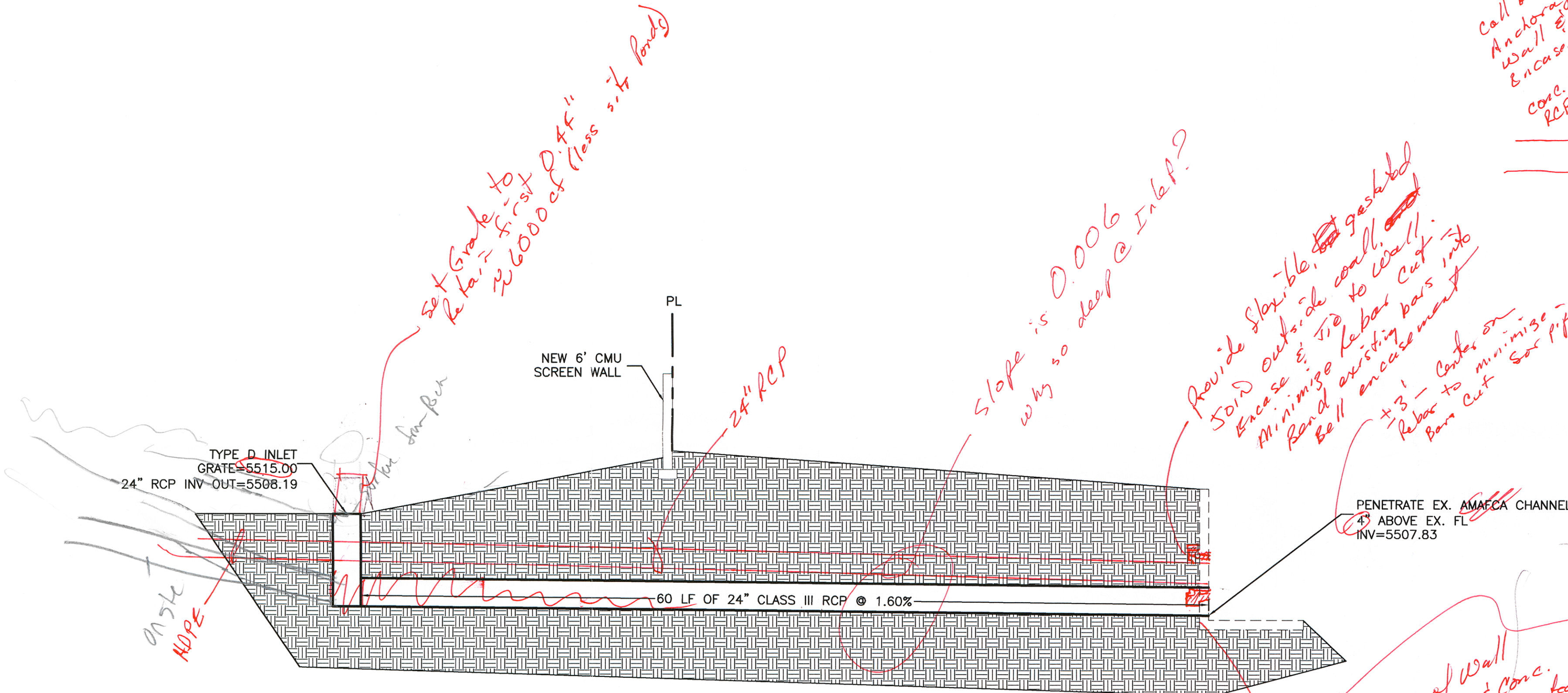
CONCRETE ALLEY GUTTER DETAIL
NTS



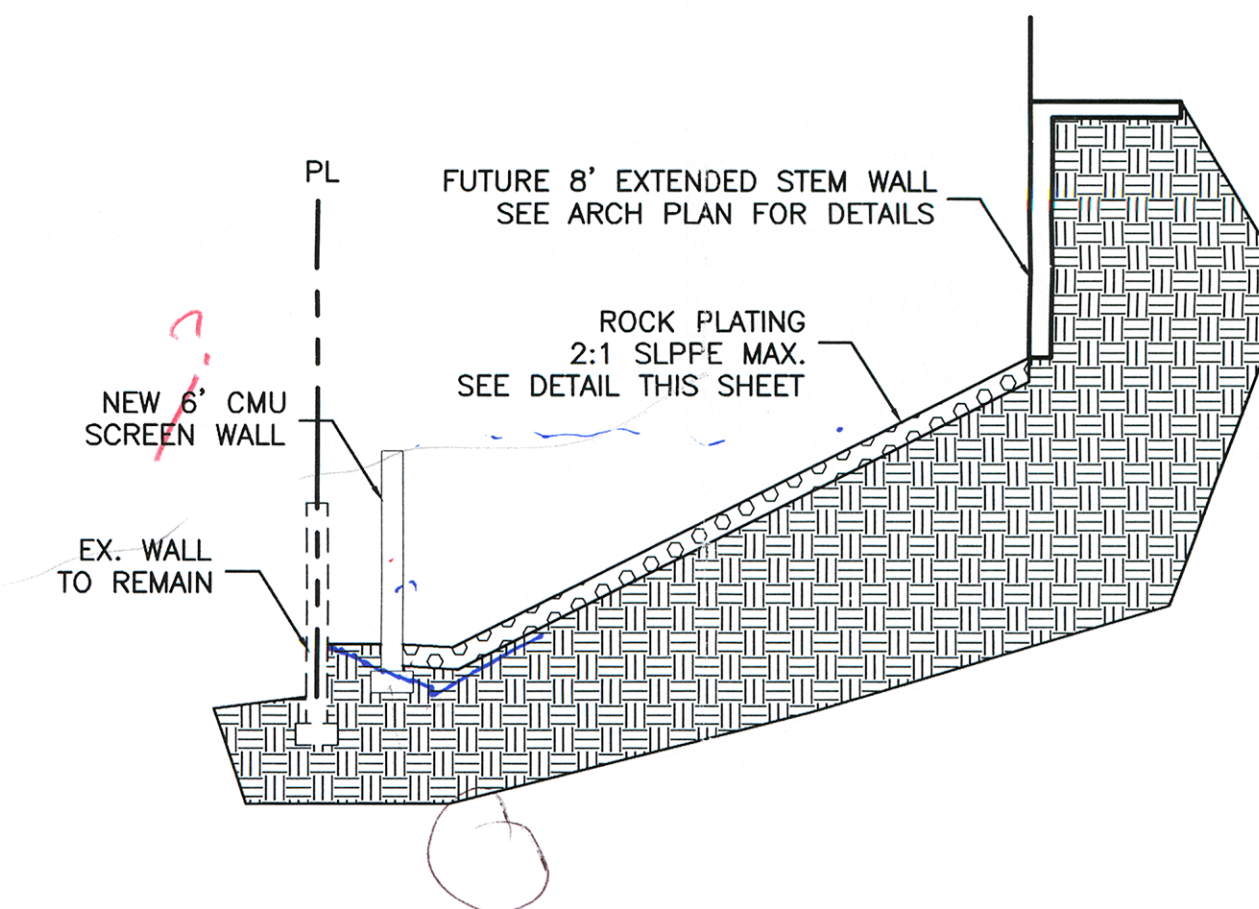
EMERGENCY SPILLWAY DETAIL
NTS



Revised per Pond changes & reduced Q. Direct spillway to match existing concrete south from Pond location.



SECTION A-A
NTS

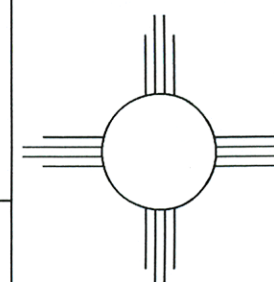


SECTION B-B
NTS

Cutting of Wall & Rein & Conc. must be inspected by Storm Drain Maint. by Jason Rodriguez 857-8074



L23-2022

ENGINEER'S SEAL  DAVID SOULE P.E. #14522	BEEHIVE HOMES	DRAWN BY: WCWJ
	GRADING AND DRAINAGE DETAILS	DATE: 6-13-13
	 Rio Grande Engineering 1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	21227-LAYOUT-7-13-12
		SHEET # 2
		JOB # 21227