

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

ACS MONUEMENT "8-L-22"
N1480177.419
E1566414.815
Ground to grid .999639
Navd88 5668.036

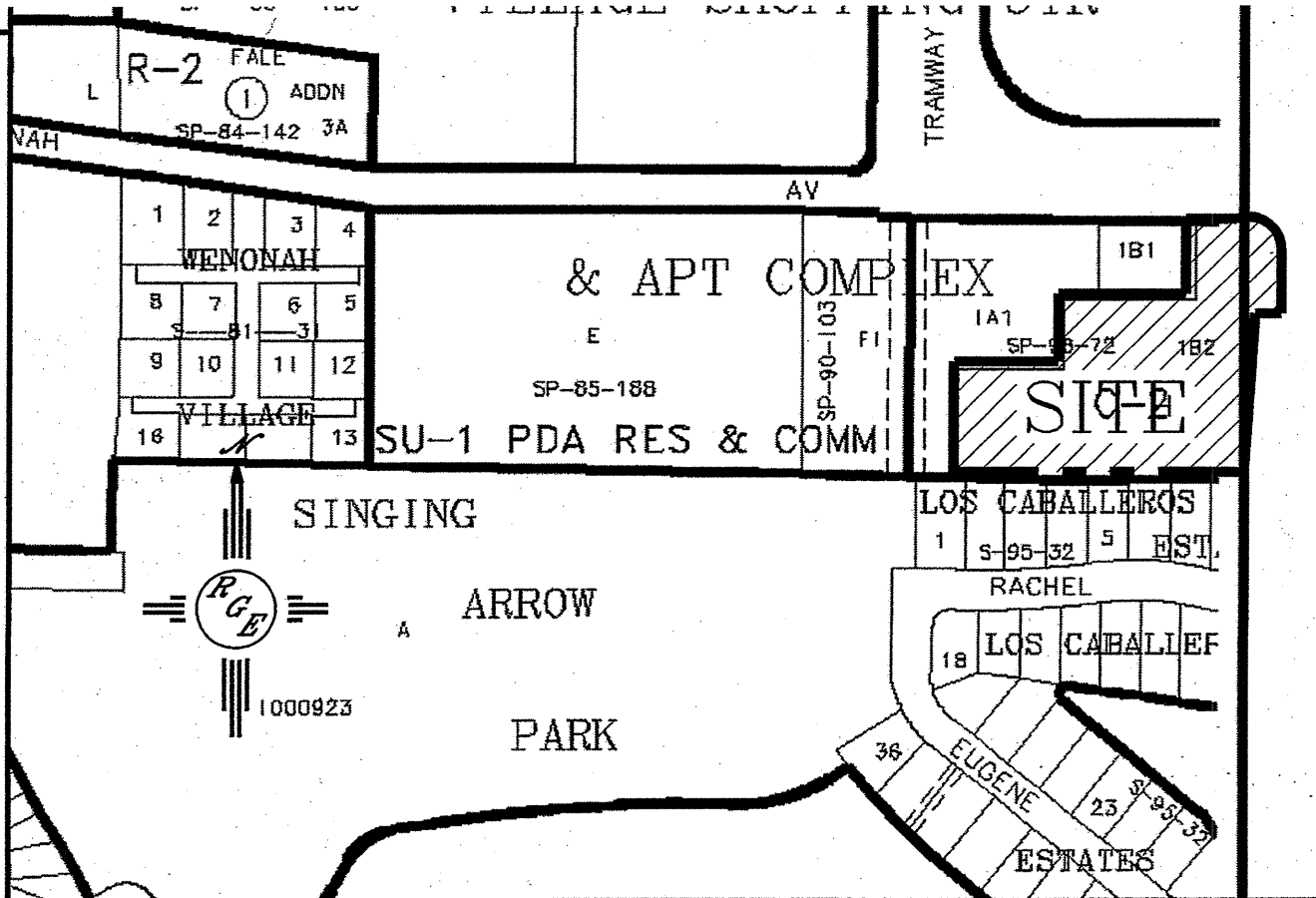
PRIVATE DRAINAGE IMPROVEMNET IN PUBLIC ROW

NOTICE TO CONTRACTORS

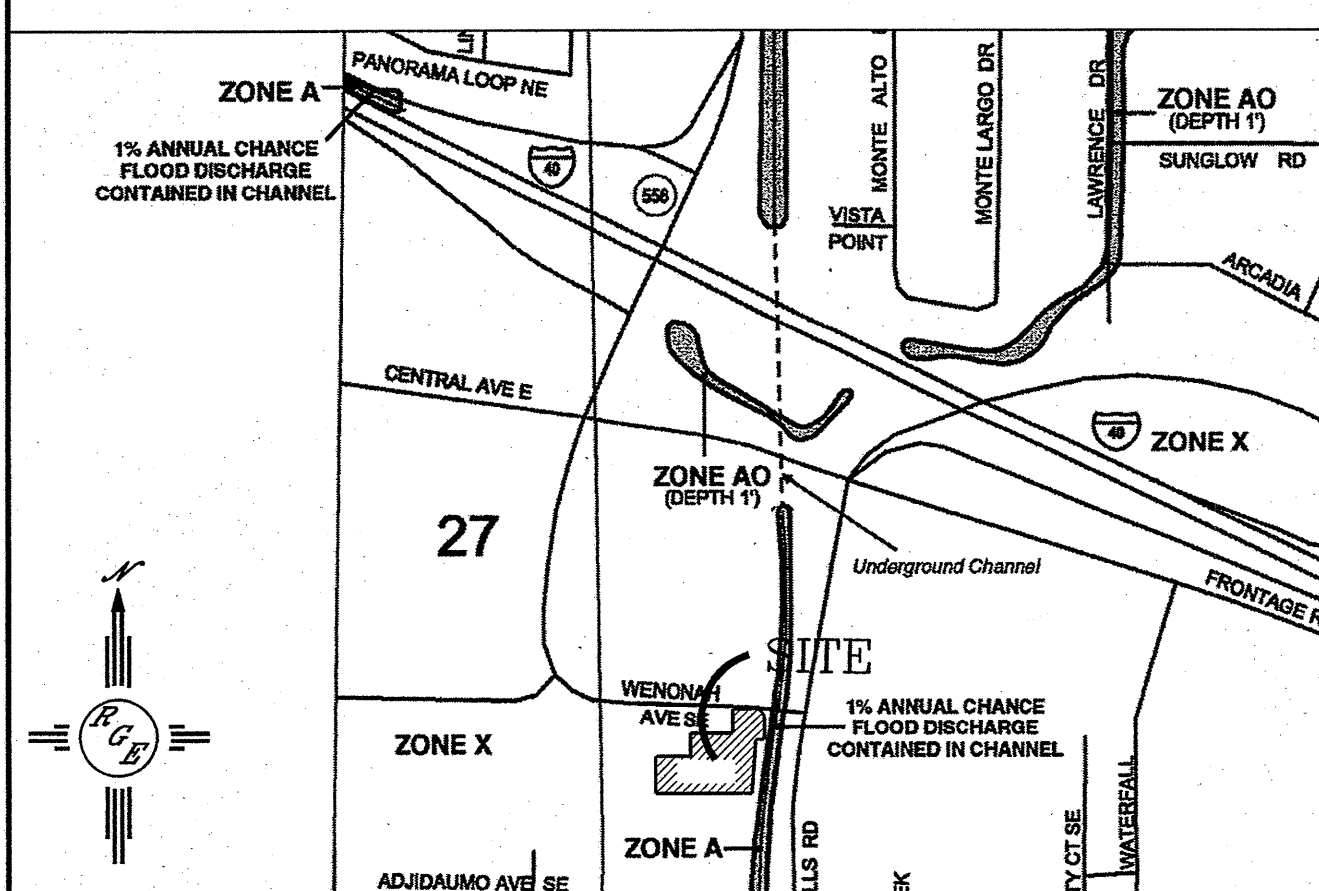
Notice to Contractor
(Special Order 19 ~ "SO-19")

1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" [or (505) 260-1990] for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets shall be performed on a 24-hour basis.
8. Prior to cutting wall, pouring concrete, contractor shall notify the storm drain inspector, Jason Rodriguez-857-8074, to inspect work in progress.

APPROVAL	NAME	DATE
INSPECTOR		



ZONE ATLAS L-22-Z



FIRM MAP: 35001C0378E

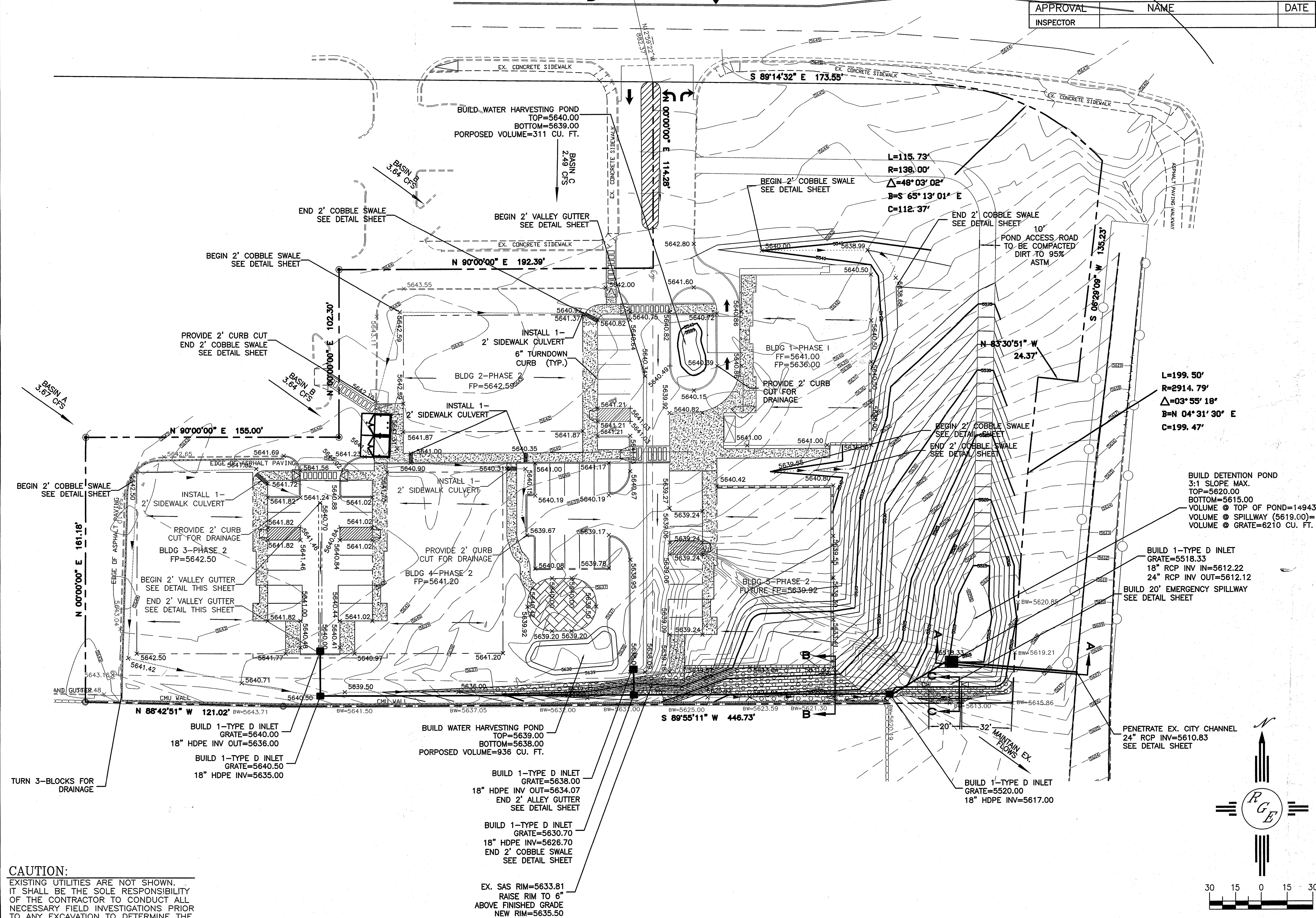
LEGAL DESCRIPTION:
TRACT 1-B2, FOUR HILLS VILLAGE SHOPPING CENTER AND APT COMPLEX

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

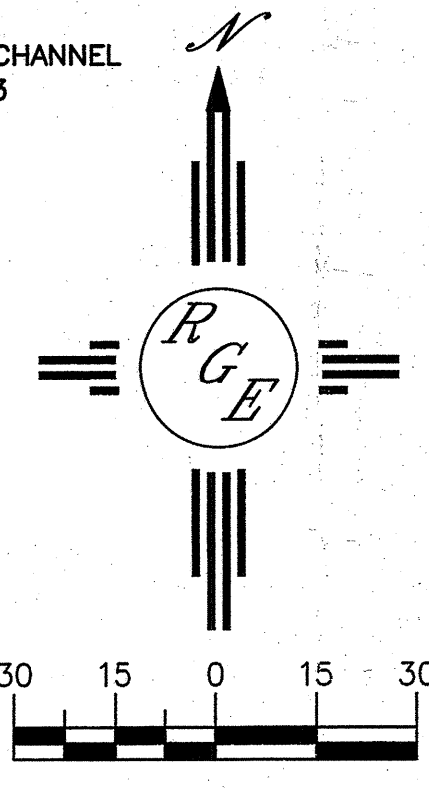
LEGEND

- 5414 --- EXISTING CONTOUR
- 5415 --- EXISTING INDEX CONTOUR
- 5414 --- PROPOSED CONTOUR
- 5415 --- PROPOSED INDEX CONTOUR
- 3:1 SLOPE TIE MAX.
- x 4048.25 EXISTING SPOT ELEVATION
- x 4048.25 PROPOSED SPOT ELEVATION
- BOUNDARY
- COBBLE SWALE
- FLOW
- RIGHT-OF-WAY
- EXISTING FENCE
- PROPOSED CURB
- FUTURE CURB
- EXISTING CURB
- PROPOSED ROCK PLATTING SEE DETAIL SHEET
- PROPOSED SCREEN WALL
- PROPOSED EXTENDED STEM WALL SEE ARCH PLANS FOR DETAILS
- FUTURE EXTENDED STEM WALL SEE ARCH PLANS FOR DETAILS
- PROPOSED CONCRETE SIDEWALK
- FUTURE CONCRETE SIDEWALK
- EXISTING 8" SAS



CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.

DRAINAGE FILE L23-D022



ENGINEER'S SEAL	BEEHIVE HOMES	DRAWN BY WCUJ
DAVID SOULE NEW MEXICO REGISTERED PROFESSIONAL ENGINEER 14522	GRADING AND DRAINAGE PLAN	DATE 10-02-13
	Rio Grande Engineering 1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	21227-AYOUT-7-13-12
		SHEET # 1
		JOB # 21227