

L-23-Z

CONSTRUCTION NOTES:

- 1.) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- 2.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- 3.) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4.) ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT FOR STORM RUN-OFF DURING CONSTRUCTION; HE SHALL INSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

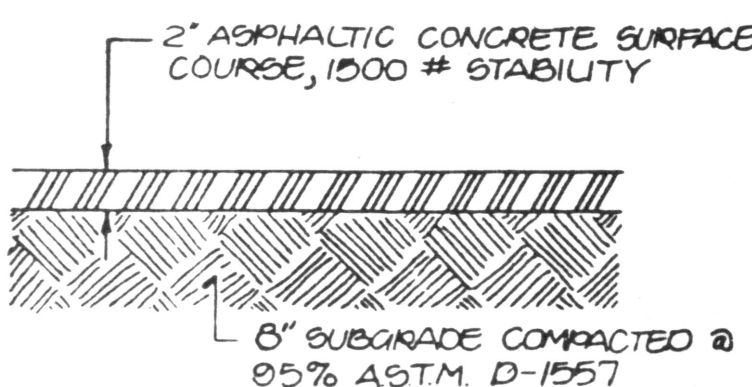
- 1.) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTIES.
- 2.) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREETS.
- 3.) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT WITHIN PUBLIC STREETS THAT HAS BEEN BRODDED FROM THE SITE AND DEPOSITED THERE.

LANDSCAPE PLAN LEGEND:

PROPOSED ARIZONA ASH TREE OR LOCUST TREE =

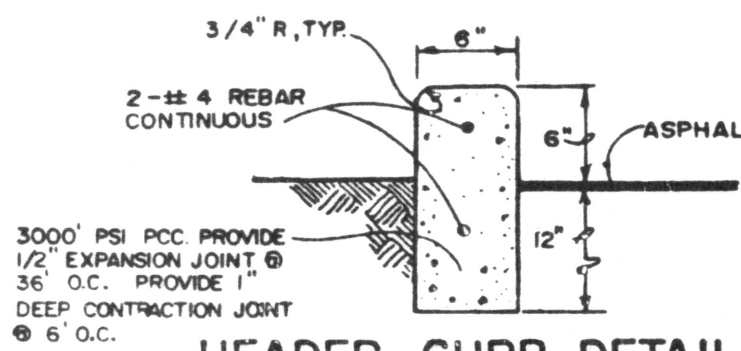
TAM JUNIPERS (LOW SPREADING EVERGREEN) (5 GAL. MIN., 36" SPREAD) =

YUCCA PENDULA =



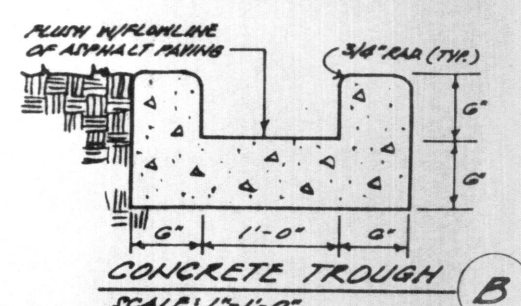
TYPICAL PAVEMENT SECTION

SCALE 1" = 1'-0"



HEADER CURB DETAIL

SCALE: 1" = 1'-0"



CONCRETE TROUGH

SCALE: 1" = 1'-0"

GENERAL NOTES:

- 1.) NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY; A BOUNDARY SURVEY TO ESTABLISH THE EASTERLY AND SOUTHERLY BOUNDARY LINE IN RELATION TO THE EXISTING IMPROVEMENTS IS RECOMMENDED SO TO AVOID SET-BACK VIOLATIONS.
- 2.) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD WITHIN THE SUBJECT SITE OTHER THAN MAY BE SHOWN ON THE PLAT OF RECORD.
- 3.) TOPOGRAPHY SURVEY PERFORMED BY TORRES SURVEYING COMPANY, ALBUQUERQUE, NEW MEXICO.

BENCH MARK REFERENCE:

ACS STATION "2-L23"; M.S.L.D. ELEVATION = 5756.82, (PROJECT BENCH MARK AS SHOWN ON THE PLAT HERBON).

LEGAL DESCRIPTION:

LOT NUMBERED FIVE (5) OF THE ORONA ADDITION, AN ADDITION TO THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

Zone	TABLE A-4. PEAK DISCHARGE (cfs/acre)			
	Treatment		100-YR [2-YR, 10-YR]	
1	1.29 [0.00, 0.24]	2.03 [0.03, 0.76]	2.87 [0.47, 1.49]	4.37 [1.89, 2.89]
2	1.58 [0.00, 0.38]	2.28 [0.06, 0.96]	3.14 [0.60, 1.71]	4.70 [1.86, 3.14]
3	1.87 [0.00, 0.58]	2.80 [0.21, 1.19]	3.45 [0.78, 2.00]	5.02 [2.04, 3.39]
4	2.20 [0.06, 0.87]	2.92 [0.38, 1.48]	3.73 [1.00, 2.26]	5.25 [2.17, 3.57]

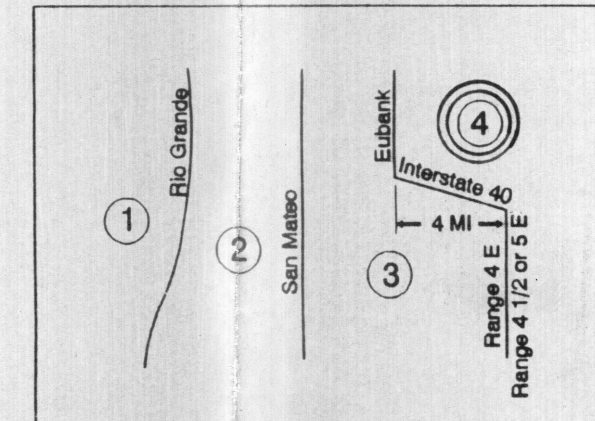
Zone	TABLE A-10. PEAK INTENSITY (IN/HR at $t_c = 0.2$ hour)	
	Intensity	100-YR [2-YR, 10-YR]
1	4.70	[1.84, 3.14]
2	5.05	[2.04, 3.41]
3	5.38	[2.21, 3.65]
4	5.81	[2.34, 3.83]

A.1 PRECIPITATION ZONES

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

TABLE A-1. PRECIPITATION ZONES	
Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40, and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40, and East of the East boundary of Range 4 East, South of Interstate 40

FIGURE A-1



Where a watershed extends across a zone boundary, use the zone which contains the largest portion of the watershed.

DPM SECTION 22.2 - HYDROLOGY
January, 1993 Page A-4

TABLE A-4. LAND TREATMENTS	
Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundcover and infiltration capacity. Croplands. Unlined arroyos.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil compacted by human activity. Minimal vegetation: Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (desert landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

Most watersheds contain a mix of land treatments. To determine proportional treatments, measure respective subareas. In lieu of specific measurement for treatment D, the areal percentages in TABLE A-5 may be employed.

DRAINAGE COMMENTS AND CALCULATIONS:

AS SHOWN ON THE PLAN HEREON, THE SUBJECT SITE IS LOCATED ON THE EAST SIDE OF MONTE ALTO PLACE N.E., NORTH OF INTERSTATE HIGHWAY NO. 40 (I-40), AND EAST OF TRAMWAY BLVD. N.E., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, (CITY ZONE ATLAS MAP NO. "L-23-Z").

THE SUBJECT SITE, 1.) IS NOT LOCATED WITHIN A DESIGNATED FLOODPLAIN (RE: F.E.M.A. PANEL MAP 37 OF 50), 2.) DOES NOT CONTRIBUTE TO THE OFFSITE FLOWS OF THE ADJACENT PROPERTIES, 3.) DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES, 4.) DOES NOT LIE ADJACENT TO A NATURAL OR ARTIFICIAL WATER COURSE, 5.) IS PRESENTLY PARTIALLY DEVELOPED WITH AN EXISTING FOUR-PLEX RESIDENTIAL STRUCTURE, 6.) IS TO HAVE A PROPOSED DUPLEX RESIDENCE UNIT WITH ASSOCIATED IMPROVEMENTS CONSTRUCTED.

CALCULATIONS:

PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2., DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED JANUARY, 1993.

SITE AREA: 0.26 ACRE

PRECIPITATION ZONE: FOUR (4)

PEAK INTENSITY: IN./HR. AT T_c = TWELVE (12) MINUTES, 100-YEAR = 5.61

EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.15	X 3.73	= 0.56
D	0.11	X 5.25	= 0.58

"Q_P" = 1.14 CFS

PROPOSED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.10	X 3.73	= 0.37
D	0.16	X 5.25	= 0.84

"Q_P" = 1.21 CFS

*** INCREASE = 0.07 CFS

NOTE:

- 1.) LANDSCAPED AREA'S ARE TO BE IRRIGATED BY HAND HELD HOSE/BIB.
- 2.) EXISTING TRASH COLLECTION IS BY ROLL-OUT CONTAINERS.
- 3.) THE PROPOSED LANDSCAPED AREA'S ARE 100% LOW WATER USE.

* LANDSCAPED AREA (1) = 4,350.0 SQ. FT.,
GRASS COVER TO BE GRAVEL OVER PLASTIC.

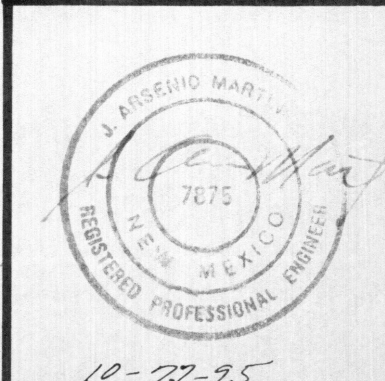
NOTICE TO CONTRACTOR:

- 1.) AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION OF THIS PERMIT.
- 2.) ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATION - PUBLIC WORKS CONSTRUCTION - 1985.
- 3.) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- 4.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS, SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 5.) BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- 6.) MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

APPROVALS:

Eduardo M. R.
CITY OF ALBUQUERQUE - ZONING DEPT. DATE 11-9-95
Eduardo M. R.
CITY OF ALBUQUERQUE - TRANS. DEVEL. DATE 11-9-95
NOV 13 1995

NOTE: PROVIDE CONCRETE SPLASH BOX AT EACH DOWNSPOUT SO AS TO DISSIPATE FLOW ENERGY.



ENGINEER'S SEAL

SITE PLAN AND
DRAINAGE PLAN
FOR JAY GOULD PROJECT
180 MONTE ALTO N.E.
ALBUQUERQUE, NEW MEXICO
OCTOBER, 1995