



February 26, 2026

James D. Hughes, P.E.  
City of Albuquerque, Development and Review Services  
600 2<sup>nd</sup> St. NW, Ste. 300  
Albuquerque, NM 87102

Re: Church of Christ– Erosion & Sediment Control Plan, COA Draft BMP Details

Dear Mr. Hughes,

E2RC, LLC acknowledges the City of Albuquerque (COA) is in the process of developing a series of design specifications it intends to enforce within its jurisdiction at construction sites subject to the 2022 Construction General Permit (CGP) and COA City Ordinance §14-5-6-6.

The design specifications for these best management practices (BMPs) are published on the COA *Stormwater Quality Section* website but are still draft status and not signed or stamped by the designing engineer.

Because these standards are still subject to revision, incorporating them into the project documents would be premature and could result in inconsistencies or required redesign once final standards are issued. Additionally, because they have not been signed and are not stamped by a NM P.E. or CPESC, they do not meet the CGP Part 9.1.c.iii requirements.

The design specifications provided by the specifications used by E2RC are accepted by the Environmental Protection Agency (EPA) and meet the 2022 CGP requirements. The drawings carry an engineer's stamp and the requirements of the licensing law of NM. Additionally, the SWPPP narrative thoroughly discusses the design specifications, construction specifications, maintenance requirements and inspection criteria for each BMP identified in the erosion control drawing, satisfying CGP Part 9.1.c.i.

For this reason, we have not included the draft BMP details in our plans.

Please contact us if further clarification is needed.



SWPPP  
Stormwater  
Erosion Control  
Reclamation  
Seeding

Sincerely,

A handwritten signature in blue ink, appearing to read 'Kelley Fetter', is written over a light blue circular watermark.

Kelley Fetter, P.E., CPSWQ, CPMSM  
President

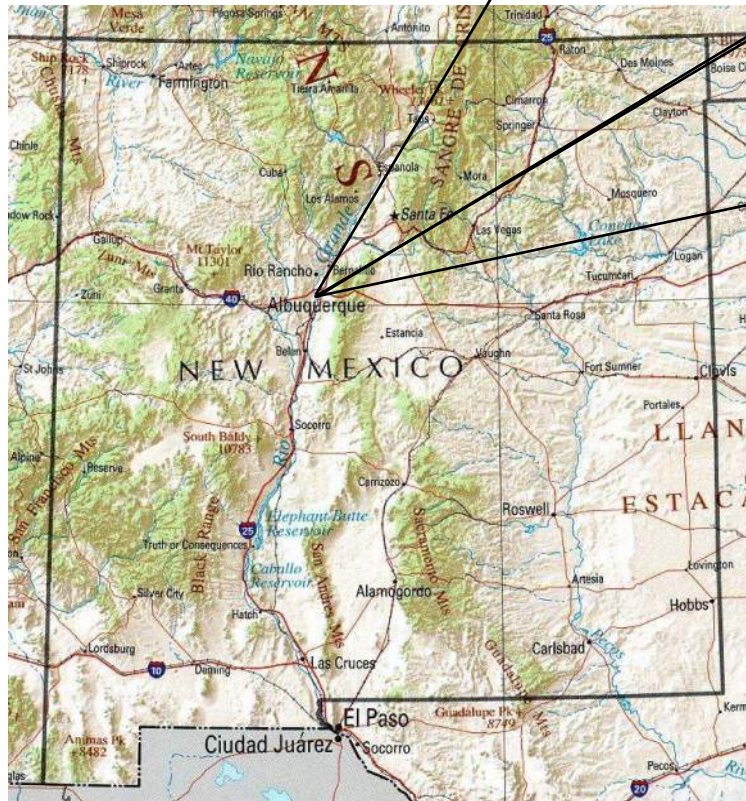
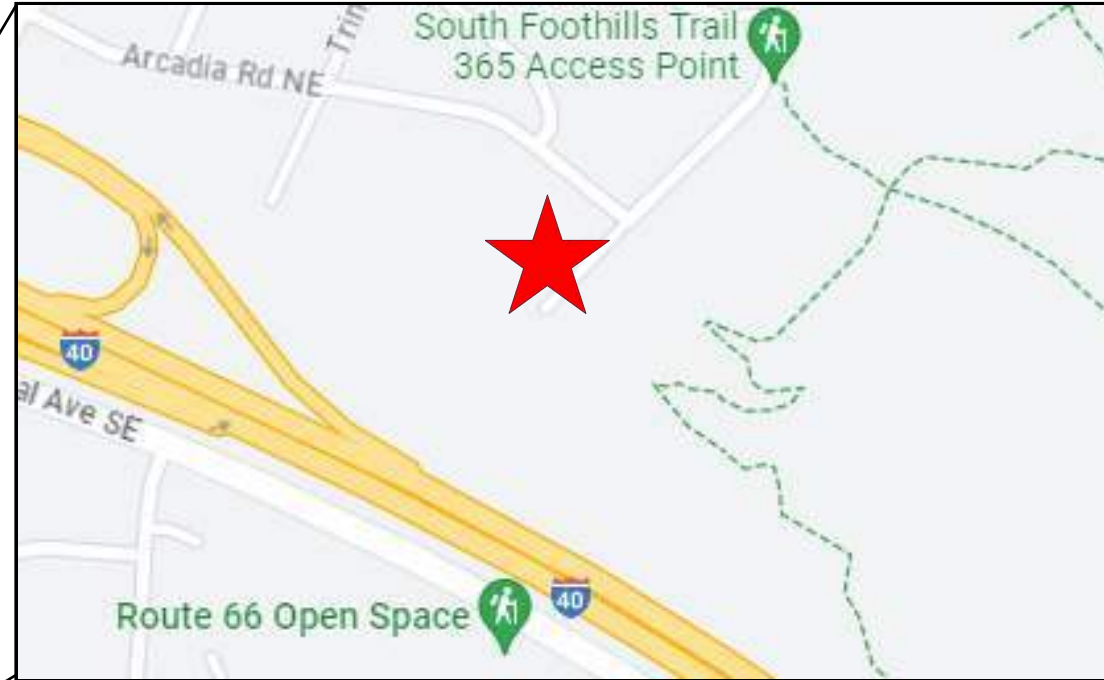
# CHURCH OF CHRIST

## TEMPORARY SEDIMENT AND EROSION CONTROL DRAWINGS

### ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

#### DRAWING INDEX

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VERMONT HILLS PROPERTIES, LLC  
CHURCH OF CHRIST  
ALBUQUERQUE, NM

DESIGNED BY:  
K. FETTER, P.E.  
DRAWN BY:  
S. FETTER

SHEET:  
**1 - COVER**



**GENERAL NOTES**

THE NPDES COMPLIANCE SWPPP DRAWING AND ASSOCIATED DOCUMENTATION IS AND SHALL BE CONSIDERED A LIVING DOCUMENT ALLOWING FOR MODIFICATIONS AS SITE CONDITIONS CHANGE OR DICTATE.

ALL SITE FEATURES (EXISTING/PROPOSED GRADES, EXISTING CONSTRUCTION, FUTURE CONSTRUCTION, ETC.) SHOWN IS PER INFORMATION FROM OTHERS.

MINIMUM REQUIREMENTS TO FURTHER DEVELOP OR MODIFY THIS STORMWATER POLLUTION PREVENTION PLAN (SWPPP) DRAWING SHALL BE BASED ON THE CURRENT EDITION OF THE NEW MEXICO STATE HIGHWAY AND TRANSPORTATION DEPARTMENT (NMSHTD), NPDES LAW AND CITY OF ALBUQUERQUE ORDINANCE § 14-5-2-11.

ALL OPERATORS SHALL SUBMIT A NOTICE OF INTENT (NOI). THE NOI SHALL BE ACTIVE AND POSTED ON THE EPA'S WEBSITE PRIOR TO COMMENCING EARTH DISTURBING ACTIVITIES.

LOCATE TEMPORARY WASHOUT, ANCHORED TOILETS, CONSTRUCTION ENTRANCE AND PARKING, STAGING, REFUELING, TRASH CONTAINMENT AREA TO MINIMIZE SITE DISTURBANCE DURING CONSTRUCTION ACTIVITY.

THE OPERATOR IS REQUIRED TO REGULARLY PERFORM STREET SWEEPING AND CLEAN - UP MEASURES IN THE EVENT OF SEDIMENT TRACK - OUT.

**THE FOLLOWING ARE STANDARD EROSION CONTROL REQUIREMENTS PER THE CITY OF ALBUQUERQUE STORMWATER QUALITY DEPARTMENT (FEBRUARY 2, 2026):**

ALL EROSION AND SEDIMENT CONTROL (ESC) WORK ON THESE PLANS, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON SHALL BE PERMITTED, CONSTRUCTED, INSPECTED, AND MAINTAINED IN ACCORDANCE WITH:

- THE CITY ORDINANCE § 14-5-6-6, THE ESC ORDINANCE;
- THE EPA'S 2022 CONSTRUCTION GENERAL PERMIT (CGP); AND
- THE CITY OF ALBUQUERQUE CONSTRUCTION BMP MANUAL AND BMP DETAILS (CBC, CE, CFS, DC, SWSF, AND SB & ST) \*

ALL BEST MANAGEMENT PRACTICES (BMPs) MUST BE INSTALLED PRIOR TO ANY EARTH-MOVING ACTIVITIES EXCEPT AS SPECIFIED IN THE PHASING PLAN. CONSTRUCTION OF EARTHEN BMPs SUCH AS SEDIMENT TRAPS, SEDIMENT BASINS, AND DIVERSION CHANNELS SHALL BE COMPLETED AND INSPECTED PRIOR TO ANY OTHER CONSTRUCTION OR EARTHWORK. SELF-INSPECTION IS REQUIRED AFTER INSTALLATION OF THE BMPs AND BEFORE CONSTRUCTION BEGINS. .

SEE SECTION 3.5 OF THE SWPPP NARRATIVE OR THE CONTRACTOR'S SCHEDULE FOR BMP SCHEDULING OR PHASING.

SELF-INSPECTIONS - IN ACCORDANCE WITH CITY ORDINANCE § 14-5-6-6(C)(1), "AT A MINIMUM, A ROUTINE SELF-INSPECTION IS REQUIRED TO REVIEW THE PROJECT FOR COMPLIANCE WITH THE CONSTRUCTION GENERAL PERMIT ONCE EVERY 14 DAYS AND AFTER ANY PRECIPITATION EVENT OF 1/4 INCH OR GREATER UNTIL THE SITE CONSTRUCTION HAS BEEN COMPLETED AND THE SITE DETERMINED AS STABILIZED BY THE CITY. REPORTS OF THESE INSPECTIONS SHALL BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST.

CORRECTIVE ACTION REPORTS MUST BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST.

FINAL STABILIZATION AND NOTICE OF TERMINATION (NOT) - IN ACCORDANCE WITH CITY ORDINANCE § 14-5-6-6(C)(2), SELF-INSPECTIONS MUST CONTINUE UNTIL THE SITE IS "DETERMINED AS STABILIZED BY THE CITY." THE PROPERTY OWNER/OPERATOR IS RESPONSIBLE FOR DETERMINING WHEN THE "CONDITIONS FOR TERMINATING CGP COVERAGE" PER CGP PART 8.2 ARE SATISFIED AND THEN FOR FILING THEIR NOTICE OF TERMINATION (NOT) WITH THE EPA. EACH OPERATOR MAY TERMINATE CGP COVERAGE ONLY IF ONE OR MORE OF THE CONDITIONS IN PART 8.2.1, 8.2.2, OR 8.2.3 HAS OCCURRED. AFTER FILING THE NOTICE WITH THE EPA, THE PROPERTY OWNER IS RESPONSIBLE FOR REQUESTING A DETERMINATION OF STABILIZATION FROM THE CITY.

WHEN DOING WORK IN THE CITY RIGHT-OF-WAY (E.G., SIDEWALK, DRIVE PADS, UTILITIES, ETC.) PREVENT SEDIMENT FROM ENTERING THE STREET. IF SEDIMENT IS PRESENT IN THE STREET, THE STREET SHOULD BE SWEEPED DAILY OR PRIOR TO A RAIN EVENT OR CONTRACTOR INDUCED WATER EVENT (E.G. CURB CUT OR WATER TEST).

WHEN CUTTING THE STREET FOR UTILITIES, THE SEDIMENT SHALL BE PLACED ON THE UPHILL SIDE OF THE STREET CUT AND THE AREA SWEEPED AFTER WORK IS COMPLETE. A WATTLE OR MULCH SOCK MAY BE PLACED AT THE TOE OF THE EXCAVATED DIRT PILE IF SITE CONSTRAINTS DO NOT ALLOW PLACING THE EXCAVATED DIRT ON THE UPHILL SIDE OF THE STREET CUT.

STORMWATER CONTROLS MUST BE DESIGNED IN ACCORDANCE WITH GOOD ENGINEERING PRACTICES BY A QUALIFIED NMPE OR CPESC ACCORDING TO CGP 9.6.1.C. THE CERTIFICATION OF THE PROFESSIONAL RESPONSIBLE FOR THE DESIGN MUST BE SIGNED AND DATED ON THE EROSION AND SEDIMENT CONTROL (ESC) PLAN MAINTAINED IN THE SWPPP AND AVAILABLE ONSITE. MAJOR CHANGES TO THE ESC PLAN AFTER CITY APPROVAL MUST BE RECERTIFIED BY THE PROFESSIONAL AND RESUBMITTED TO THE CITY FOR APPROVAL BEFORE MODIFYING THE STORMWATER CONTROLS. THE OPERATOR(S) MUST IMPLEMENT AND MAINTAIN BMPs IN THE MANNER SPECIFIED ON THE APPROVED ESC PLAN.

IF ANY PART OF THE PROPERTY IS SOLD TO A NEW OWNER OR LEASED TO A NEW TENANT BEFORE CONSTRUCTION IS FINISHED, THE NEW OWNER OR TENANT MUST SUBMIT A NEW ESC PLAN AND NOI TO THE CITY FOR APPROVAL 14 DAYS PRIOR TO THE TRANSFER OF PROPERTY RIGHTS, IN ACCORDANCE WITH CITY ORDINANCE § 14-5-6-6(A). IF NEW LAND-DISTURBING ACTIVITIES ARE ADDED, THE PROPERTY OWNER MUST SUBMIT A REVISED ESC PLAN TO THE CITY FOR APPROVAL 14 DAYS BEFORE BEGINNING CONSTRUCTION IN THE NEW AREAS.

OFF-SITE CONSTRUCTION SUPPORT ACTIVITIES MUST BE SHOWN ON THE ESC PLAN WITH STORMWATER CONTROLS DESIGNED BY A PROFESSIONAL AND APPROVED BY ALBUQUERQUE'S STORMWATER QUALITY (SWQ) SECTION. THE OFF-SITE PROPERTY OWNER'S NOI MUST ALSO BE SUBMITTED TO THE CITY FOR APPROVAL. THE DEVELOPER MUST STABILIZE OFF-SITE PROPERTY DISTURBED BY CONSTRUCTION ACTIVITIES ASSOCIATED WITH HIS DEVELOPMENT USING "NATIVE SEED AND AGGREGATE MULCH PER COA STD 1012" OR AN EQUIVALENT, IN COMPLIANCE WITH THE FINAL STABILIZATION CRITERIA IN CGP 2.2.14.C AND AS APPROVED BY THE OFFSITE PROPERTY OWNER.

FROM MAY 1 THROUGH OCTOBER 31, ANY GRADING WITHIN OR ADJACENT TO A FACILITY THAT CONVEYS A 100-YEAR FLOW RATE OF 50 CFS OR RECEIVES A 100-YEAR 24-HOUR VOLUME OF 2.0 ACRE-FEET OR MORE MUST PROVIDE STORMWATER CONTROL, EROSION CONTROL, AND SAFE PASSAGE OF THE 10-YEAR DESIGN STORM RUNOFF DURING CONSTRUCTION. THE ESC PLAN MUST INCLUDE DESIGN CALCULATIONS AND CONSTRUCTION SPECIFICATIONS WITH AN ENGINEER'S STAMP FOR TEMPORARY FACILITIES THAT ENSURE SAFE, NON-EROSIVE PASSAGE OF THE 10 YEAR STORM TO PREVENT SEDIMENT DISCHARGE INTO THE CITY'S MS4, IN ACCORDANCE WITH CITY ORDINANCE § 14-5-2-12(B)(3). THE ESC PLAN, INCLUDING THIS INFORMATION, MUST BE SUBMITTED TO THE SWQ SECTION OF THE PLANNING DEPARTMENT OF THE CITY OF ALBUQUERQUE FOR APPROVAL AT LEAST 14 DAYS PRIOR TO ANY LAND DISTURBANCE OR CONSTRUCTION ACTIVITIES IN OR NEXT TO THE FACILITY DURING THE RESTRICTED PERIOD.

\*THE CITY OF ALBUQUERQUE BMP DETAILS HAVE NOT BEEN FINALIZED AS OF THE ENGINEER'S STAMP DATE AND ARE SUBJECT TO POSSIBLE REVISION AND CHANGE.



- SWPPP
- Stormwater
- Erosion Control
- Reclamation
- Seeding

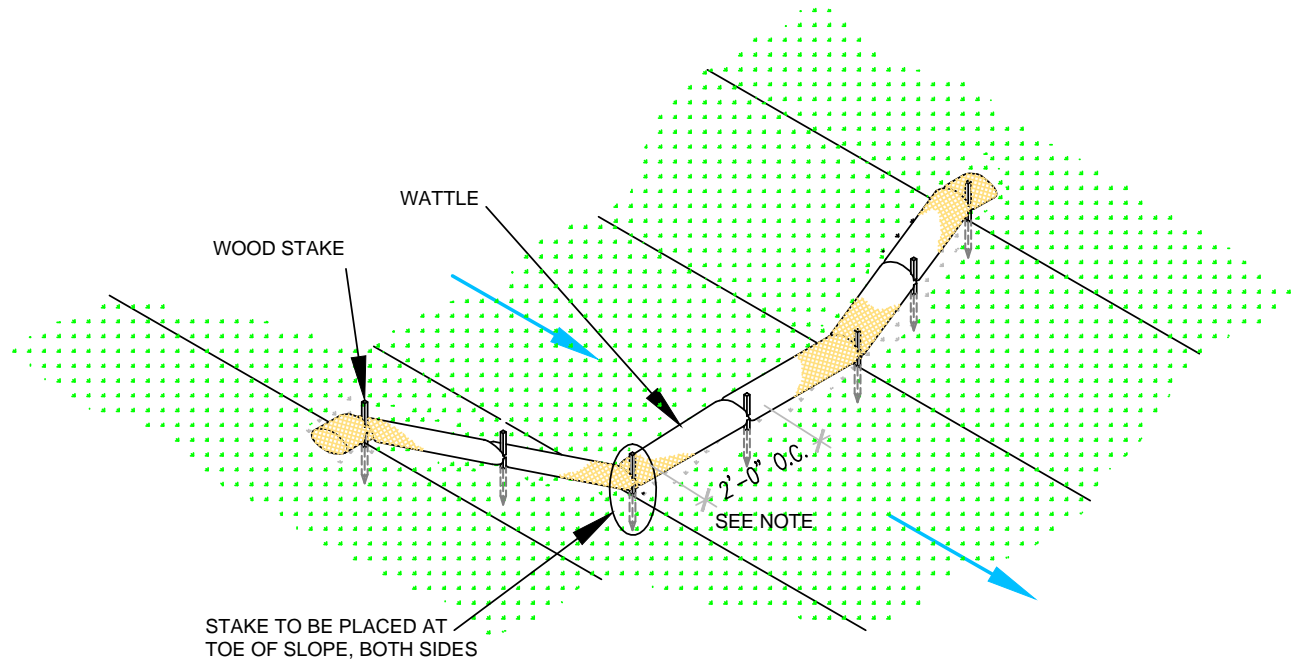


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					#

**VERMONT HILLS PROPERTIES, LLC  
 CHURCH OF CHRIST  
 CITY OF ALBUQUERQUE  
 STANDARD EROSION & SEDIMENT  
 CONTROL NOTES**

DESIGNED BY:  
K. FETTER, P.E.  
DRAWN BY:  
S. FETTER

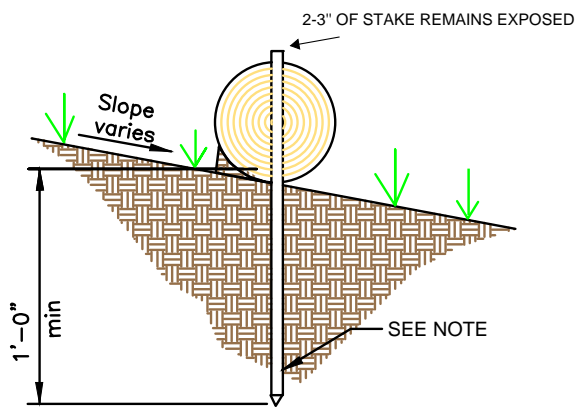
SHEET:



**WATTLE WITHOUT BLANKET**

NTS

2' FOR DRAWING ONLY. 8' MAX SPACING BETWEEN STAKES



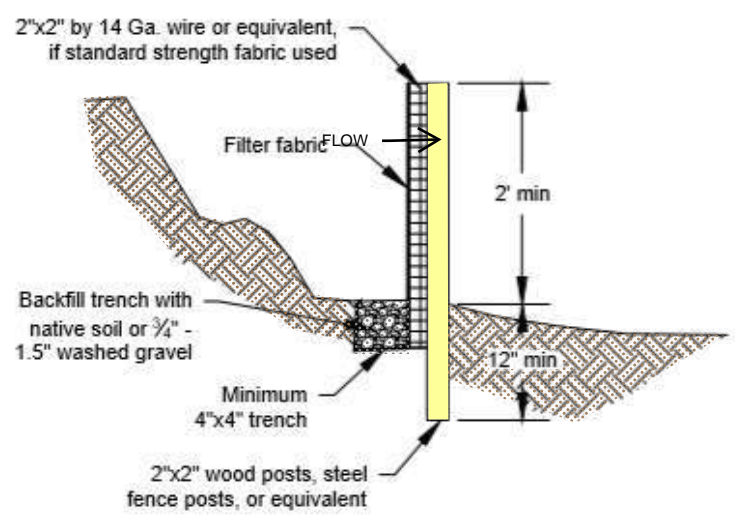
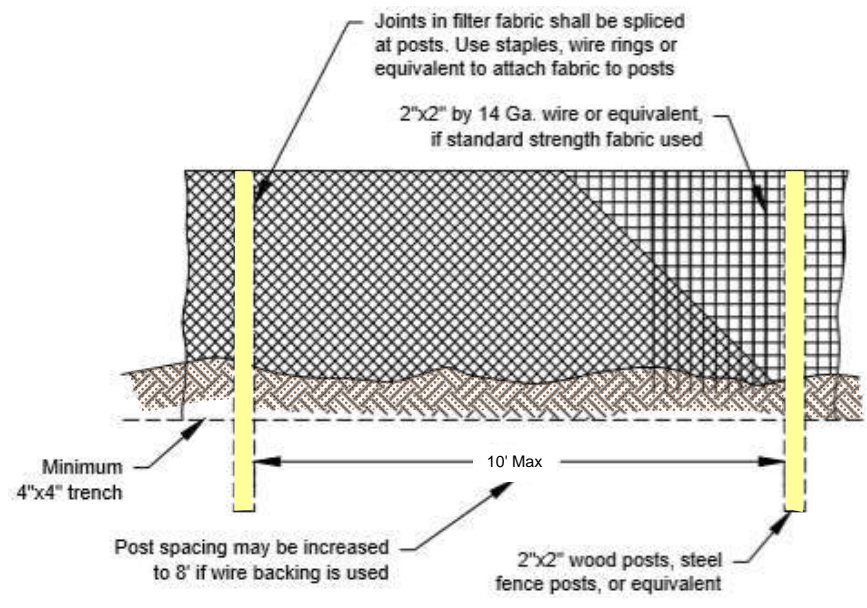
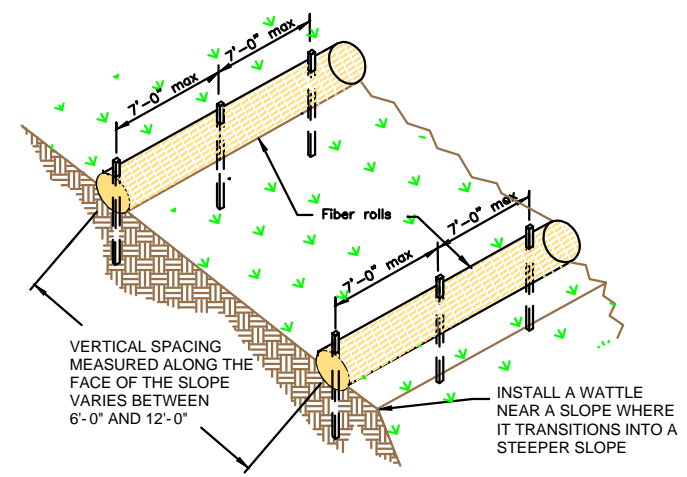
**WATTLE**

NTS

SECURE WATTLE WITH 18-24" STAKES EVERY 3-4' AND STAKES ON EACH END OF THE WATTLE.

DRIVE STAKES PERPENDICULAR TO THE SLOPE FACE AND THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2-3" OF THE STAKE ABOVE THE WATTLE.

VERTICAL SPACING DEPENDENT ON SLOPE GRADIENT.



**SILT FENCE**

NTS

SILT FENCE IS TO BE PLACED PERPENDICULAR TO THE SLOPE OF THE SITE.

DIG A 4"X4" MINIMUM TRENCH UPSTREAM OF THE SILT FENCE. DRIVE STAKES AT LEAST 1' DEEP ON THE DOWNSTREAM EDGE.

RUN THE SILT FENCE ON THE INSIDE OF THE STAKES AND SECURE WITH HOG RINGS, WIRE, ZIP TIES OR STAPLES.

IF ONE CONTINUOUS PIECE OF FABRIC IS NOT AVAILABLE, OVERLAP THE FABRIC AT LEAST THE WIDTH OF THE STAKE AND SECURE WITH HOG RINGS, WIRE, ZIP TIES OR STAPLES.

COVER TRENCH WITH BACKFILLED COMPACTED SOIL, GRAVEL OR ROCK.



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VERMONT HILLS PROPERTIES, LLC  
CHURCH OF CHRIST  
BMP DETAILS

DESIGNED BY:  
K. FETTER, P.E.  
DRAWN BY:  
S. FETTER

SHEET:

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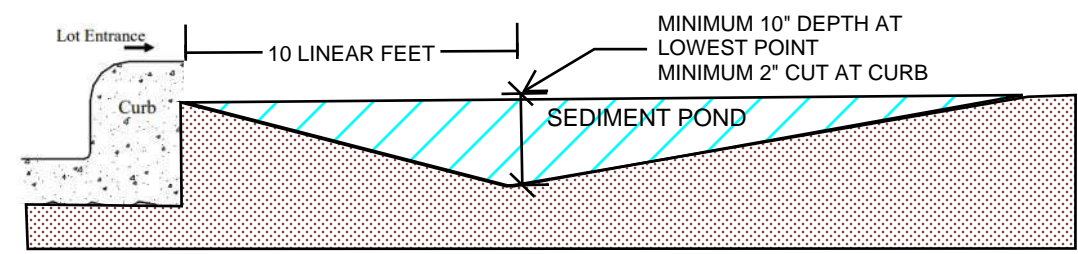


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DRAWN BY:  
S. FETTER

SHEET:  
**6**



**CUTBACK CURB**

NTS

CUTBACK CURBS SHOULD TYPICALLY BE INSTALLED AT THE SITE ENTRANCE WHEN ACCESS IS NEEDED.

SOIL SHOULD BE CUT BACK FROM BEHIND THE CURB, SIDEWALK OR ROADWAY A MINIMUM 2" DOWN FROM THE TOP OF THE HARDSCAPE.

BRING THE SOIL BACK >10 FEET FT FROM THE HARDSCAPE TO FORM THE SEDIMENT TRAP.

THE LOWEST POINT OF THE SEDIMENT POND SHALL BE AT LEAST 10 INCHES.

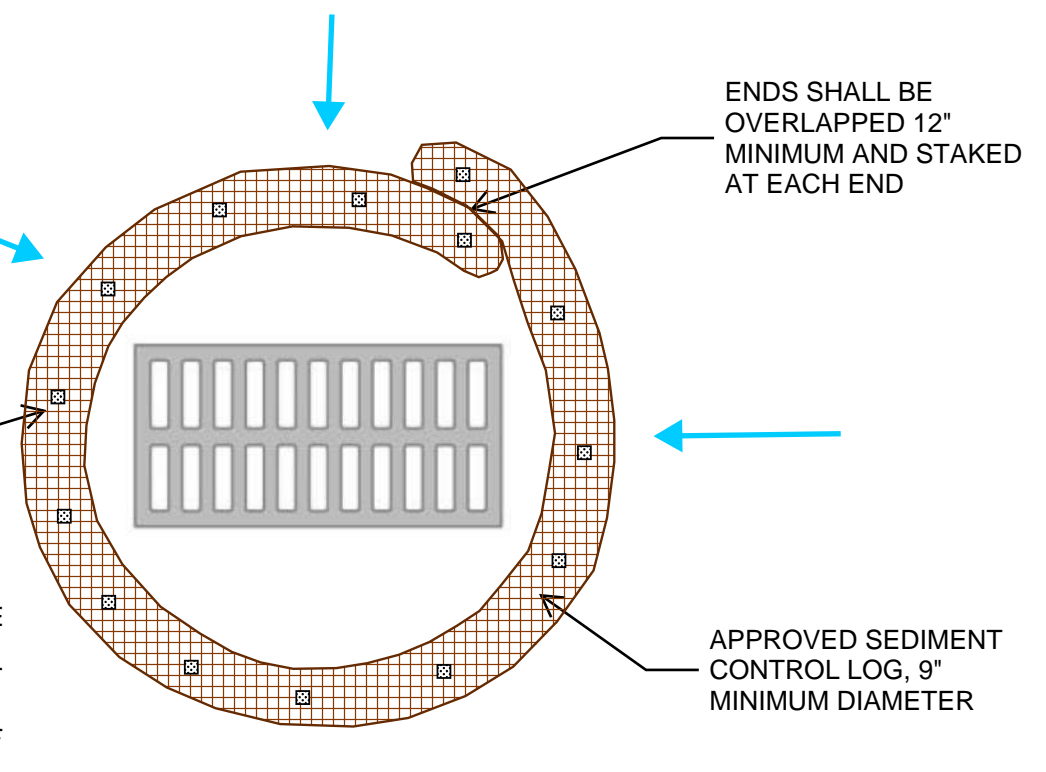
IF THE HOUSE PAD HAS BEEN STABILIZED, THE DEPTH OF THE SEDIMENT POND MAY BE REDUCED TO 4 INCHES.

THE DEPTH AND LENGTH OF THE EXCAVATED AREA CAN BE INCREASED IF MORE STORAGE IS NEEDED.

INSPECT BMPs PRIOR TO FORCAST PRICIPITATION, DAILY DURING PRECIPITATION EVENTS, AFTER PRECIPITATION EVENTS AND THROUGH THE LIFE OF THE PROJECT.

MAINTAIN PROPER DEPTH AND LENGTH OF THE CUTBACK FOR THE DURATION OF THE PROJECT.

KEEP CUTBACK AREA CLEAN AND FREE OF TRASH AND DEBRIS.



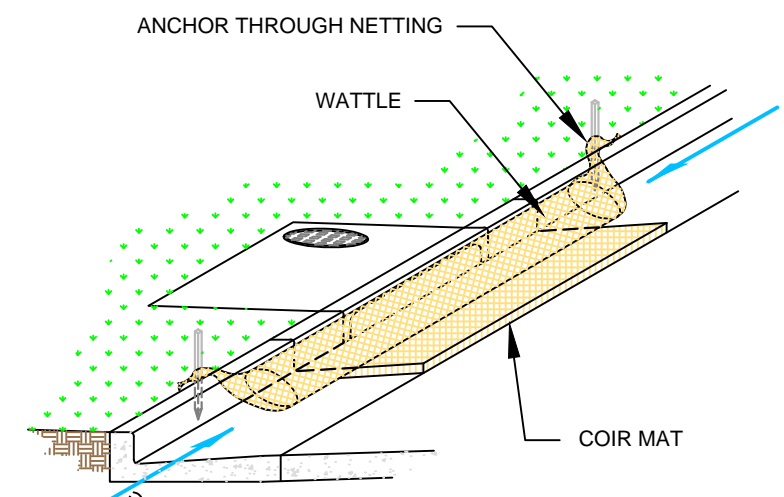
**AREA INLET PROTECTION**

NTS

1"X2"X18" WOOD STAKE AT MAXIMUM 2' INTERVALS SUCH THAT NO MORE THAN 2" REMAIN ABOVE TOP OF SCL. ANCHOR WITH TIE WIRE OR SANDBAGS IF ON IMPERVIOUS SURFACE

ENDS SHALL BE OVERLAPPED 12" MINIMUM AND STAKED AT EACH END

APPROVED SEDIMENT CONTROL LOG, 9" MINIMUM DIAMETER



**CURB INLET PROTECTION**

NTS

THE MAT SHOULD EXTEND A MINIMUM OF 1" PAST ALL EDGES OF THE INLET. PLACE MAT AGAINST THE CURB INLET.

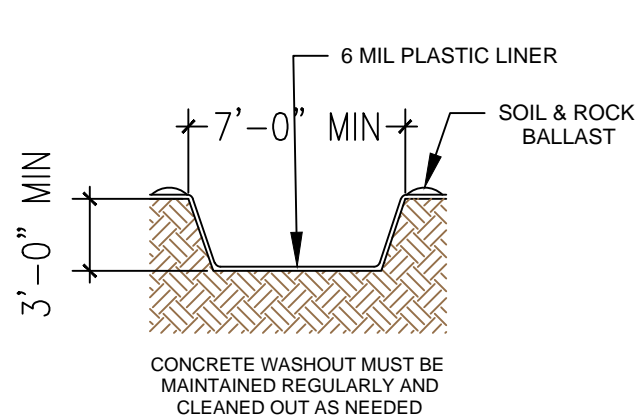
PLACE WATTLES ON TOP OF THE MAT CLOSEST TO THE INLET OPENING AND CURB.

THE MAXIMUM HEIGHT OF THE PROTECTIVE BARRIER MUST BE LOWER THAN THE TOP OF THE CURB OPENING. THIS ALLOWS OVERFLOW INTO THE INLET DURING LARGE PRECIPITATION EVENTS.

ANCHOR THE BARRIER NETTING OVER THE CURB WITH WOODEN STAKES IF ABLE. IF UNABLE TO DO THAT ANCHOR THE WATTLE WITH SAND BAGS ON EACH END.



- SWPPP
- Stormwater
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### CONCRETE WASHOUT

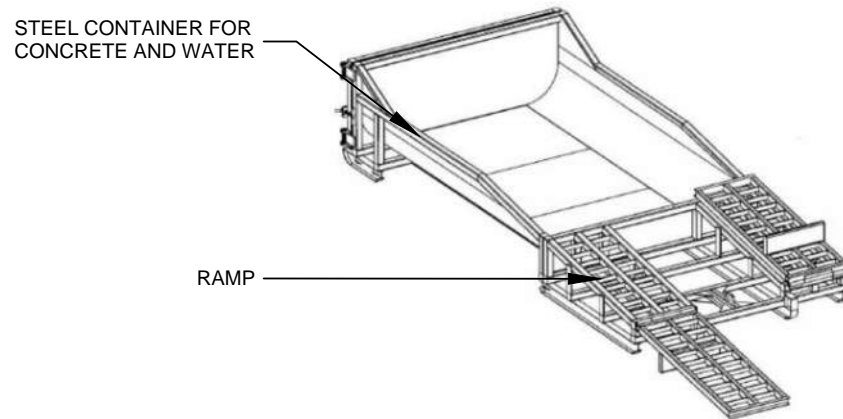
NTS

LOCATE WASHOUT AT LEAST 50 FT FROM STORMDRAINS, OPEN DITCHES, WATER BODIES OR PROJECT PERIMETER. A SIGN SHOULD BE INSTALLED ADJACENTLY TO THE WASHOUT.

WASH OUT WASTE INTO THE WASHOUT WHERE THE CONCRETE CAN SET, BE BROKEN UP AND DISPOSED OF CORRECTLY.

DO NOT CREATE RUNOFF BY DRAINING WATER TO BERMED AREA OR BY COLLECTING THE WATER WASTE WHEN WASHING CONCRETE TO REMOVE PARTICLES AND EXPOSE THE AGGREGATE.

DO NOT WASH SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE INTO THE STREET, STORMDRAIN SYSTEMS OR OFF THE PROJECT SITE.



### MODULAR CONCRETE WASHOUT

NTS

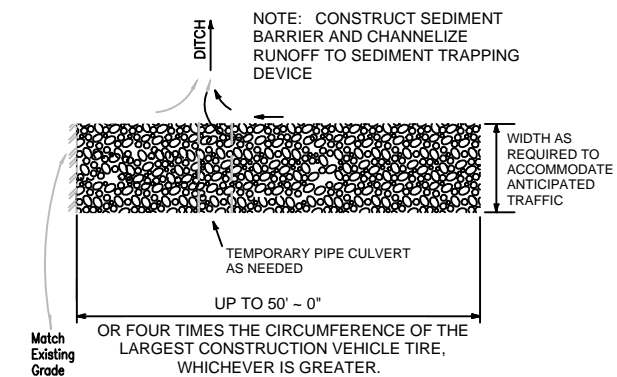
CRUSHED AGGREGATE GREATER THAN 75 MM (3 IN.) BUT SMALLER THAN 150 MM (6 IN.)



300 MM (12 IN), UNLESS OTHERWISE SPECIFIED BY A SOILS ENGINEER

### SECTION B-B

NTS



### STABILIZED CONSTRUCTION ENTRANCE

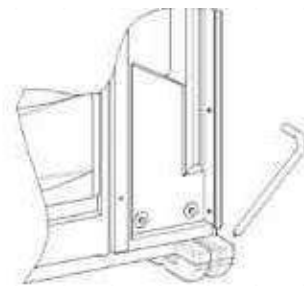
NTS

CONSTRUCT THE ENTRANCE ON A LEVEL SURFACE WHERE AN UNPAVED ROAD MEETS A PAVED ROAD. TYPICALLY AT PROJECTS ACCESS AREA.

GRADE THE ENTRANCE TOWARD THE CONSTRUCTION SITE TO PREVENT RUNOFF.

INSPECT THE ENTRANCE TO KEEP TRASH AND DEBRIS OUT OF THE WAY.

AFTER PRECIPITATION EVENTS, INSPECT THE ENTRANCE FOR ANY REPAIRS THAT MAY BE NEEDED.

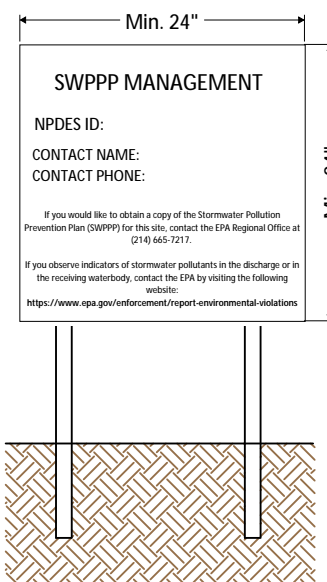


### PORTABLE TOILET STAKING

NTS

PLACE THE PORTABLE TOILET ON LEVEL GROUND. A FLAT PAVED SURFACE IS BEST IF AVAILABLE.

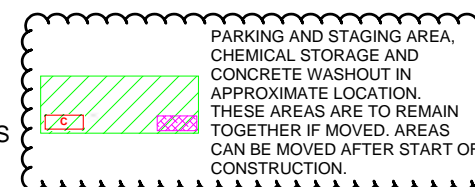
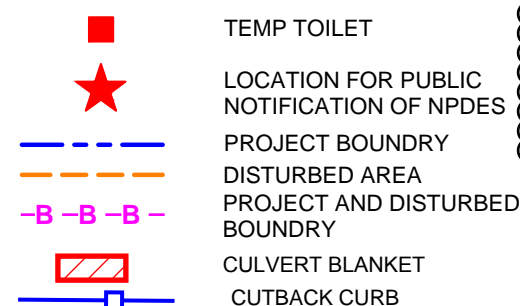
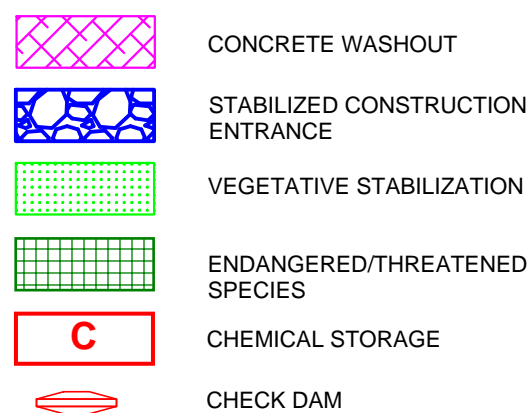
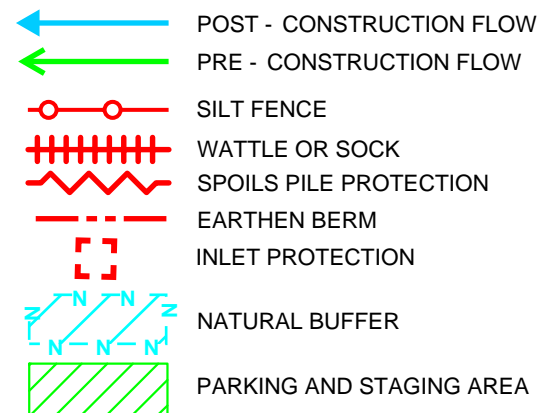
DRIVE THE STAKES OVER THE SKIDS OF THE PORTABLE TOILET, AROUND ALL SIDES.



NPDES Permit must be positioned at the most active part of the project where it can be viewed by the public (e.g. project entrance).

### NPDES POSTING BOARD

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### DRAWING KEY



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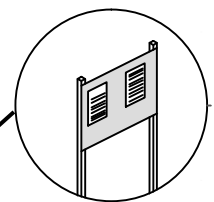
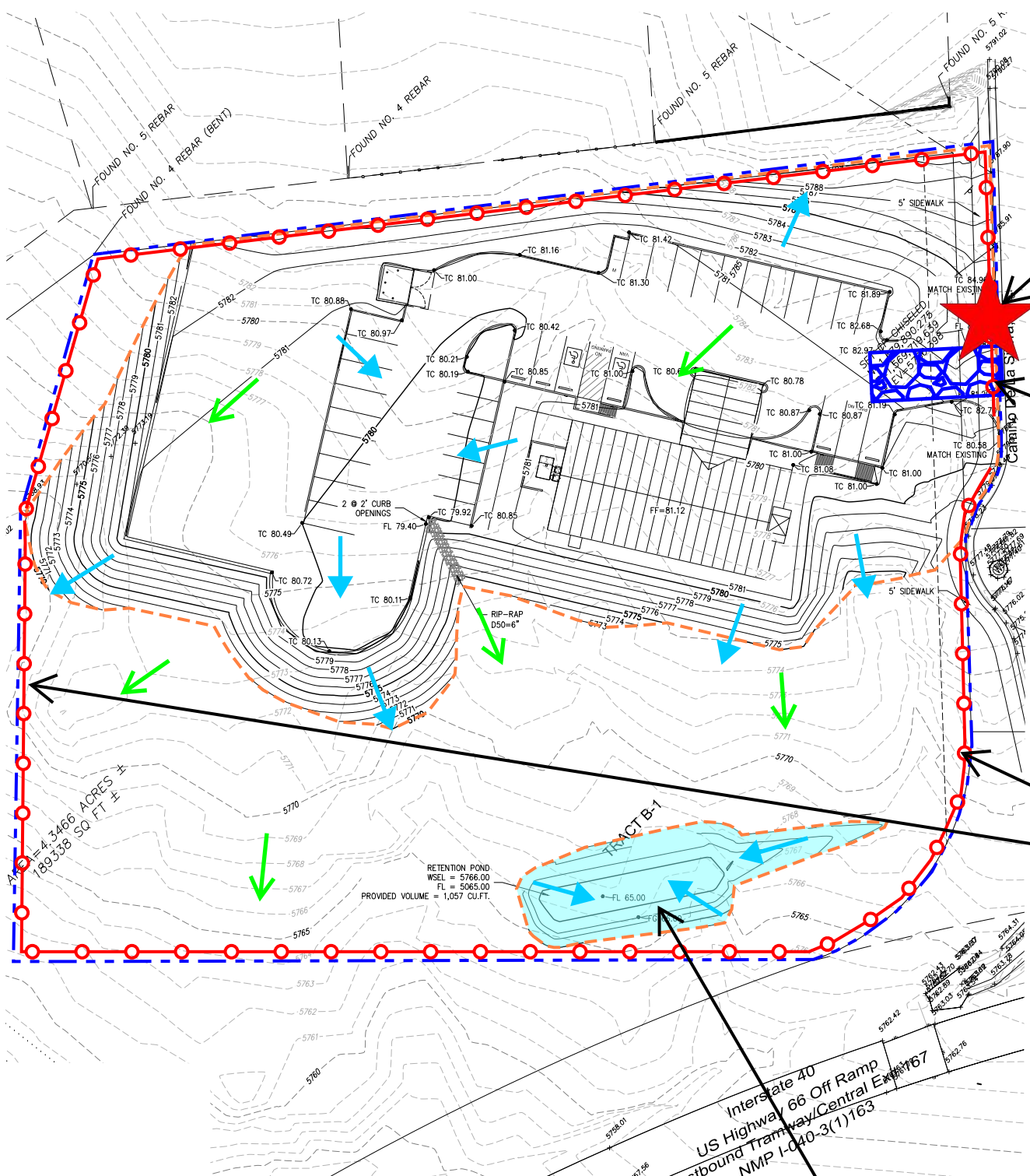
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VERMONT HILLS PROPERTIES, LLC  
CHURCH OF CHRIST  
BMP DETAILS

DESIGNED BY:  
K. FETTER, P.E.  
DRAWN BY:  
S. FETTER

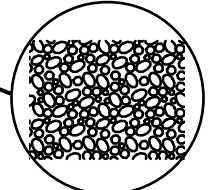
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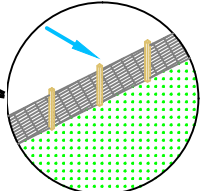
NPDES PERMITTING

IMPLEMENTATION	
BMP INSTALL	BMP REMOVE



STABILIZED CONSTRUCTION ENTRANCE

IMPLEMENTATION	
BMP INSTALL	BMP REMOVE



SILT FENCE

IMPLEMENTATION	
BMP INSTALL	BMP REMOVE

RETENTION POND

IMPLEMENTATION	
BMP INSTALL	BMP REMOVE

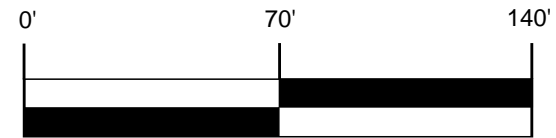


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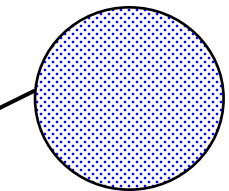
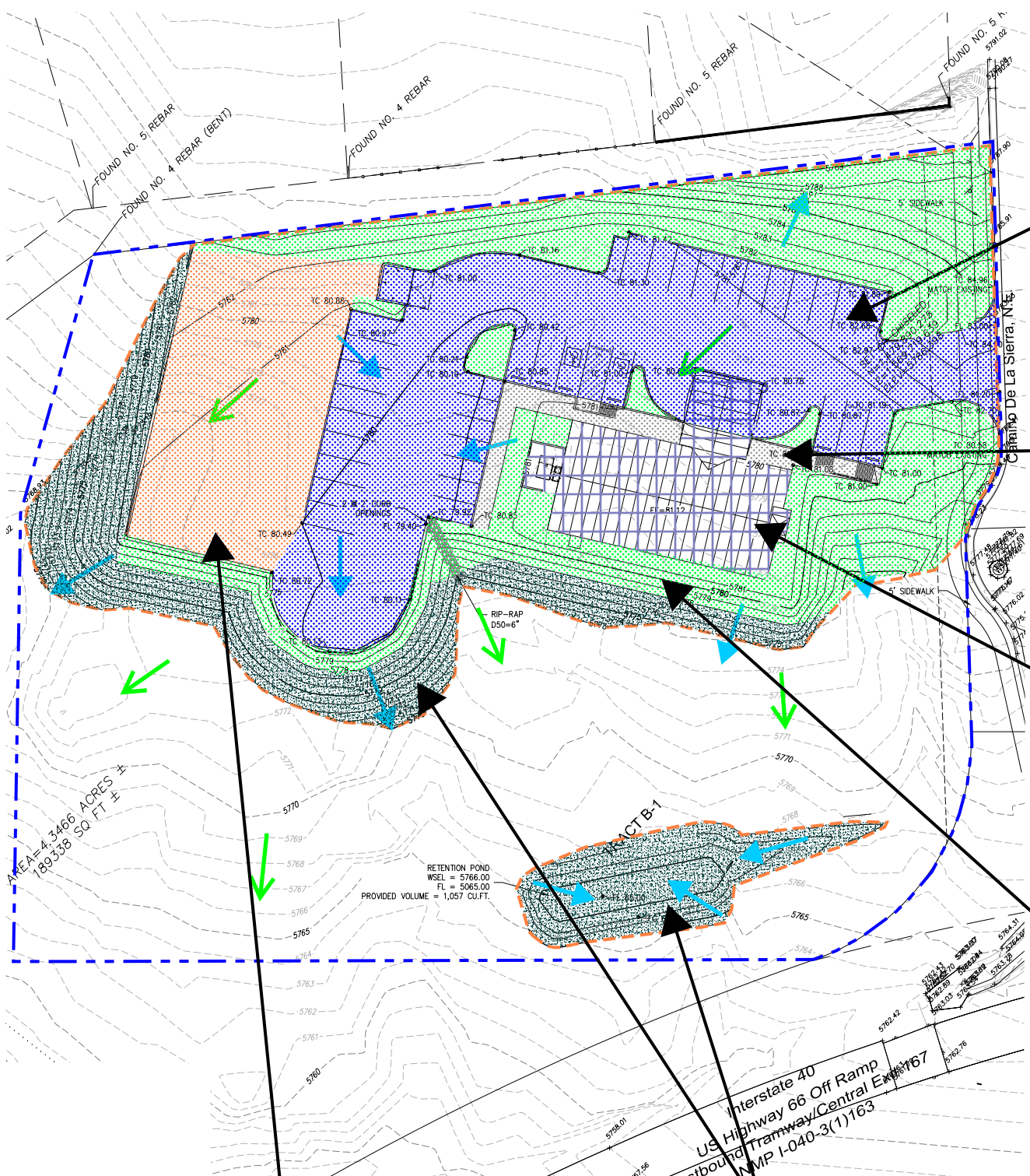
VERMONT HILLS PROPERTIES, LLC  
 CHURCH OF CHRIST  
 TESCP

DESIGNED BY:  
K. FETTER, P.E.  
 DRAWN BY:  
O. CHAVEZ

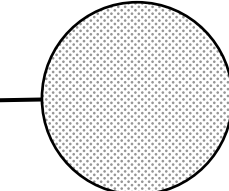
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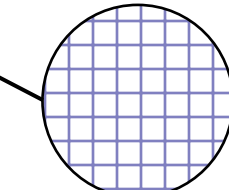
- SWPPP
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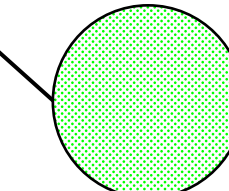
ASPHALT PAVING  
FINAL STABILIZATION



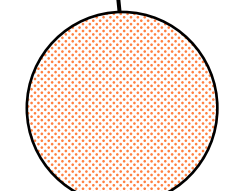
CONCRETE PAVING  
FINAL STABILIZATION



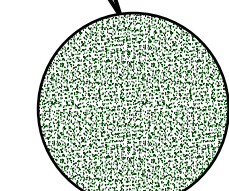
VERTICAL STRUCTURE  
FINAL STABILIZATION



LANDSCAPING - SEE  
APPROVED LANDSCAPING  
PLAN  
FINAL STABILIZATION



BASE COURSE OR  
GRAVEL  
FINAL STABILIZATION

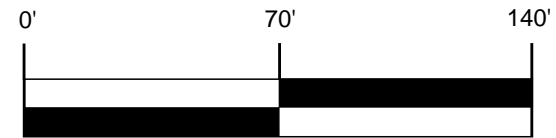


NM APWA 1012 SEEDING -  
HYDROMULCH IN LIEU OF STRAW  
FINAL STABILIZATION



DATE	REVISION ITEM	#

VERMONT HILLS PROPERTIES, LLC  
CHURCH OF CHRIST  
TESCP

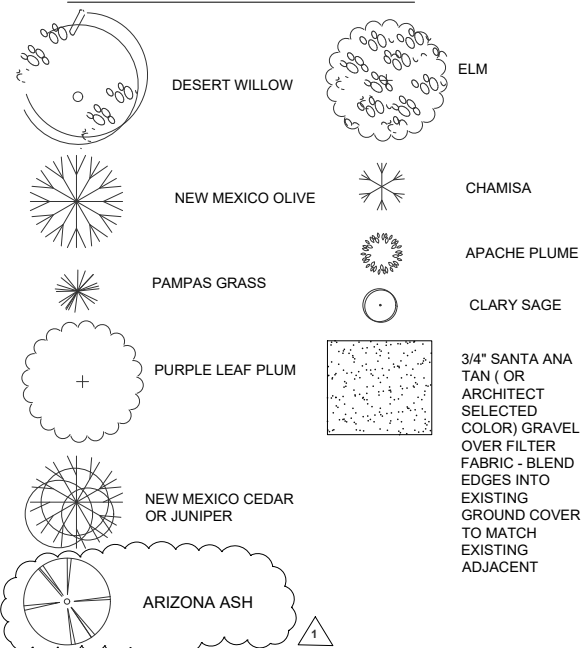


- SWPPP
- Stormwater
- Erosion Control
- Reclamation
- Seeding

DESIGNED BY:  
K. FETTER, P.E.  
DRAWN BY:  
O. CHAVEZ

SHEET:  
**8**

# LANDSCAPE LEGEND

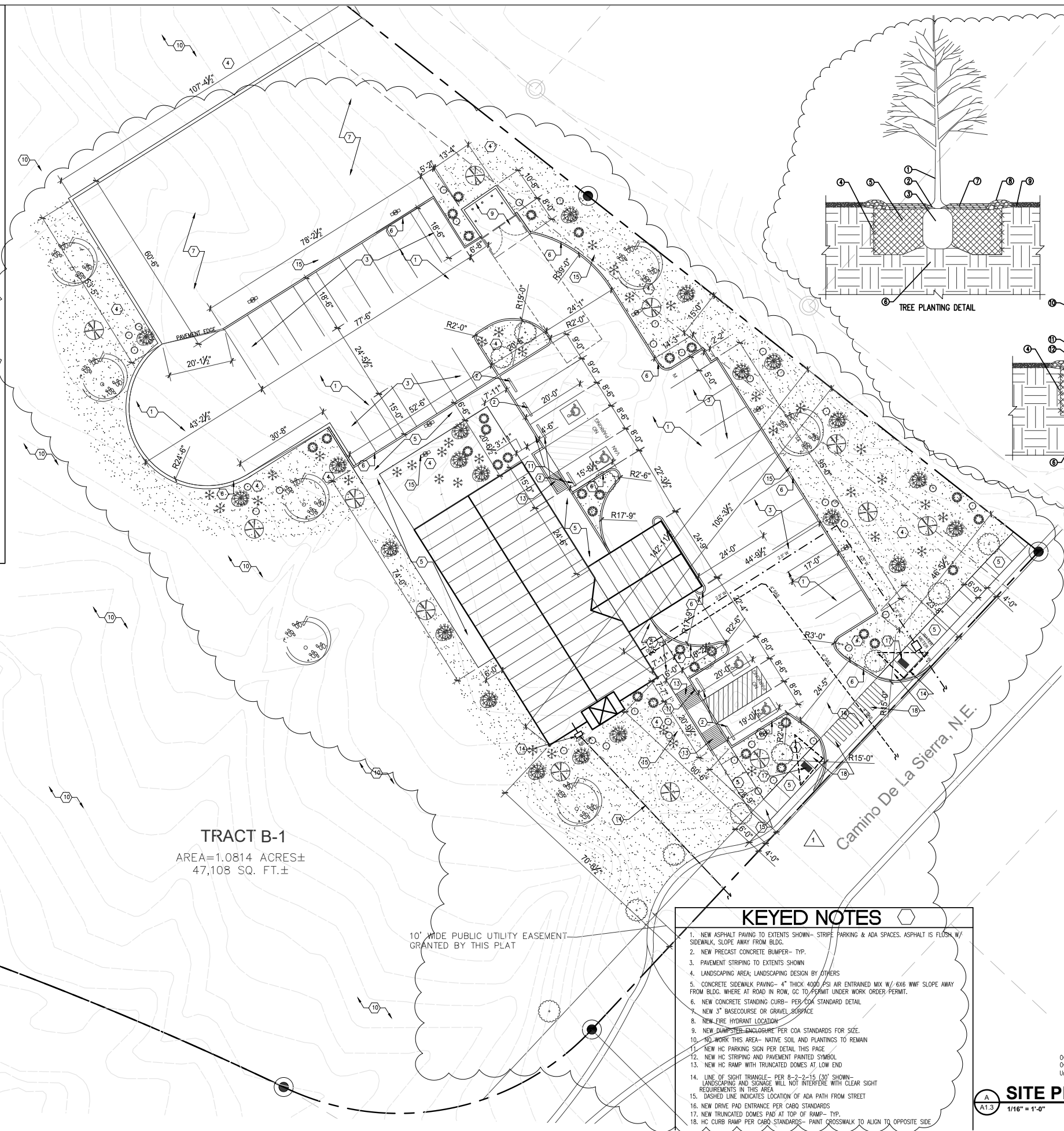


**DESIGN NOTE:**  
75% OF ALL TREES ON THIS PLAN SHALL BE DECIDUOUS AND HAVE A MATURE HEIGHT OF 25' OR HIGHER. ALL SHRUBS AND PLANTS ARE A MINIMUM 1 GALLON POT IN SIZE.

**MAINTENANCE NOTE:**  
OWNER TO MAINTAIN THE LANDSCAPE AT ALL TIMES. DRIP IRRIGATION WILL BE INSTALLED WITH THIS PERMIT. CONTRACTOR TO SUBMIT A SHOP DRAWING FOR REVIEW. SET TIMER NEAR BACK DOOR OR AT OWNER'S DIRECTION.

## LANDSCAPE CALCULATIONS

LOT AREA:	189,596 S.F.
BUILDING AREA TOTAL:	3,856 S.F.
NET LOT AREA:	185,740 S.F.
LANDSCAPE AREA REQUIRED (15%):	27,861 S.F.
<b>PAVED AREAS:</b>	
NET LANDSCAPED AREA (NEW/EXIST):	168,604 S.F.
STREET TREES:	30' O.C.
NET LANDSCAPED AREA (NEW/EXIST):	168,604 S.F.
(INCLUDES UNDISTURBED NATURAL STATE)	
LANDSCAPING AREA PERCENTAGE:	
(168,604 / 189,596) X 100 =	88.9%



**TRACT B-1**  
AREA=1.0814 ACRES±  
47,108 SQ. FT.±

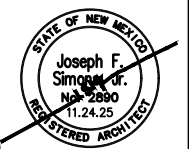
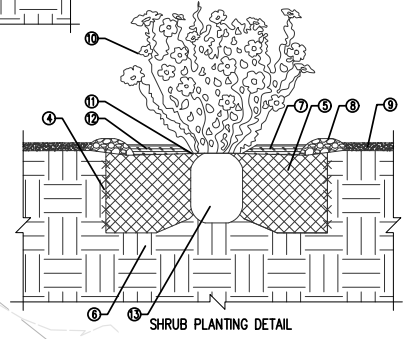
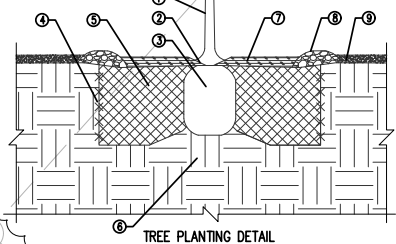
10' WIDE PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT

## KEYED NOTES

- NEW ASPHALT PAVING TO EXTENTS SHOWN- STRIPE PARKING & ADA SPACES. ASPHALT IS FLUSH W/ SIDEWALK, SLOPE AWAY FROM BLDG.
- NEW PRECAST CONCRETE BUMPER- TYP.
- PAVEMENT STRIPING TO EXTENTS SHOWN
- LANDSCAPING AREA; LANDSCAPING DESIGN BY OTHERS
- CONCRETE SIDEWALK PAVING- 4" THICK 4000 PSI AIR ENTRAINED MIX W/ 6X6 WWF SLOPE AWAY FROM BLDG. WHERE AT ROAD IN ROW, GC TO PERMIT UNDER WORK ORDER PERMIT.
- NEW CONCRETE STANDING CURB- PER COA STANDARD DETAIL
- NEW 3" BASECOURSE OR GRAVEL SURFACE
- NEW FIRE HYDRANT LOCATION
- NEW DUMPSTER ENCLOSURE PER COA STANDARDS FOR SIZE
- NO WORK THIS AREA- NATIVE SOIL AND PLANTINGS TO REMAIN
- NEW HC PARKING SIGN PER DETAIL THIS PAGE
- NEW HC STRIPING AND PAVEMENT PAINTED SYMBOL
- NEW HC RAMP WITH TRUNCATED DOMES AT LOW END
- LINE OF SIGHT TRIANGLE- PER 8-2-15 (30' SHOWN)- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS IN THIS AREA
- DASHED LINE INDICATES LOCATION OF ADA PATH FROM STREET
- NEW DRIVE PAD ENTRANCE PER CABO STANDARDS
- NEW TRUNCATED DOMES PAD AT TOP OF RAMP- TYP.
- HC CURB RAMP PER CABO STANDARDS- PAINT CROSSWALK TO ALIGN TO OPPOSITE SIDE

## TREE & SHRUB PLANTING KEYNOTES

- TREE LOCATION, SPECIES, AND CONDITION AS PER PLAN
- REMOVING EXISTING SOIL (FROM NURSERY) AS NEEDED TO EXPOSE ROOT FLARE, INSTALL WITH ROOT FLARE FLUSH WITH SUBGRADE (BOTTOM MULCH)
- INSTALL TREE PLUMB, REMOVE WIRE BASKET, WOOD BOX, PLASTIC, TWINE AND OR ROPE PRIOR TO BACKFILL. REMOVED BURLAP EXCEPT FROM BOTTOM OF ROOT WALL
- SCAFFRY AND LOOSEN EDGES OF PLANTING PIT. BACK FILL PER SPECIFICATIONS, LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
- UNDISTURBED NATIVE SOIL UNDER ROOT BALL TO PREVENT SETTLING
- INSTALL WOOD CHIPS OR ORGANIC MULCH OVER ROOT BALL AND BELOW DRIP LINE. GENERALLY MULCH SHOULD BE HELD 4" BACK FROM TREE TRUNK
- 4" HIGH X 16" WIDE COBBLE BERN AT DRIP LINE. MULCH- SEE PLANTING PLAN
- SHRUB LOCATION ON SPECIES AND CONDITION AS PER PLAN
- INSTALL WITH TOP OF ROOT BALL FLUSH WITH SUBGRADE (BOTTOM OF MULCH)
- USE WOOD CHIP MULCH OVER ROOTBALL. FEATHERED TO 2" DEPTH AND HELD BACK 2" FROM TRUNKS AND STEMS
- INSTALL SHRUB PLUMB, REMOVE PLASTIC BUCKET, TWINE AND OR BURLAP EXCEPT FROM BOTTOM OF ROOT BALL PRIOR TO BACKFILL



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CHURCH OF CHRIST  
102 CAMINO DE LA SIERRA NE  
ALBUQUERQUE, NM 87123  
BERNALILLO COUNTY

JOB NUMBER	COC-001
DATE	11.24.25

REVISIONS	02.09.26
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DESIGNED & DRAWN BY  
JFS

Owner Name: VERMONT HILLS PROPERTIES LLC  
Owner Address: 4601 CUMBERLAND DR NW ALBUQUERQUE NM 87123  
Uniform Property Code (UPC): 102305630037010101

**SITE PLAN- LANDSCAPING**

**A1.3**

1/16" = 1'-0"