CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Interim Director

Mayor Timothy M. Keller

January 13, 2022

Rudy Archuleta, PE
M-Art Building Co, LLC
P.O. Box 105
Tome, NM 87060

RE: 213 Wells Dr. NE
Permanent C.O. - Approved
Engineer's Certification Date: 1/10/22
Engineer's Stamp Date: 5/14/21
Hydrology File: L23D036

Dear Mr. Archuleta:

Based on the certification received 1/13/22 and a site visit on 12/22/21, this certification is approved for Permanent Certificate of Occupancy by Hydrology.

If you have any questions, please contact me at 924-3986 or earmijo@cabq.gov.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: _____ Building Permit #: BP2021-09282 Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lot 2 Block 12 Wells Sandia Manor

City Address: 213 Wells Dr NE

Applicant: M-Art Building Co, LLC Contact: Rudy Archuleta, PE

Address: P.O. Box 105 Tome, NM 87060

Phone#: (505) 720-4987 Fax#: _____ E-mail: rudy.p.archuleta@gmail.com

Other Contact: M-Art Building Co, LLC Contact: Tony Rivera

Address: _____

Phone#: (505) 507-0390 Fax#: _____ E-mail: tarivera1015@gmail.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) X RESIDENCE _____ DRB SITE ___ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes X No

DEPARTMENT _____ TRANSPORTATION X HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

X ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE REPORT
____ DRAINAGE MASTER PLAN
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ STREET LIGHT LAYOUT
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

____ BUILDING PERMIT APPROVAL
X CERTIFICATE OF OCCUPANCY

____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL

____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: 12/17/2021 By: _____

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

DRAINAGE CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL SURVEYOR

I, Rudy P Archuleta, NMPE 20009, OF THE FIRM N/A, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 5/27/2021. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Rudy P Archuleta, NMPS 20009 OF THE FIRM N/A. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON See Below AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Certificate of Occupancy.

Due to COVID safety protocols, a virtual site tour was conducted. The virtual site tour explicitly identified width, depth and location of ponds and was in concurrence with as-built information. The actual site conditions appear to be in conformance with the approved G&D plan.
(Describe any deficiencies and/or corrections required here in a separate paragraph)

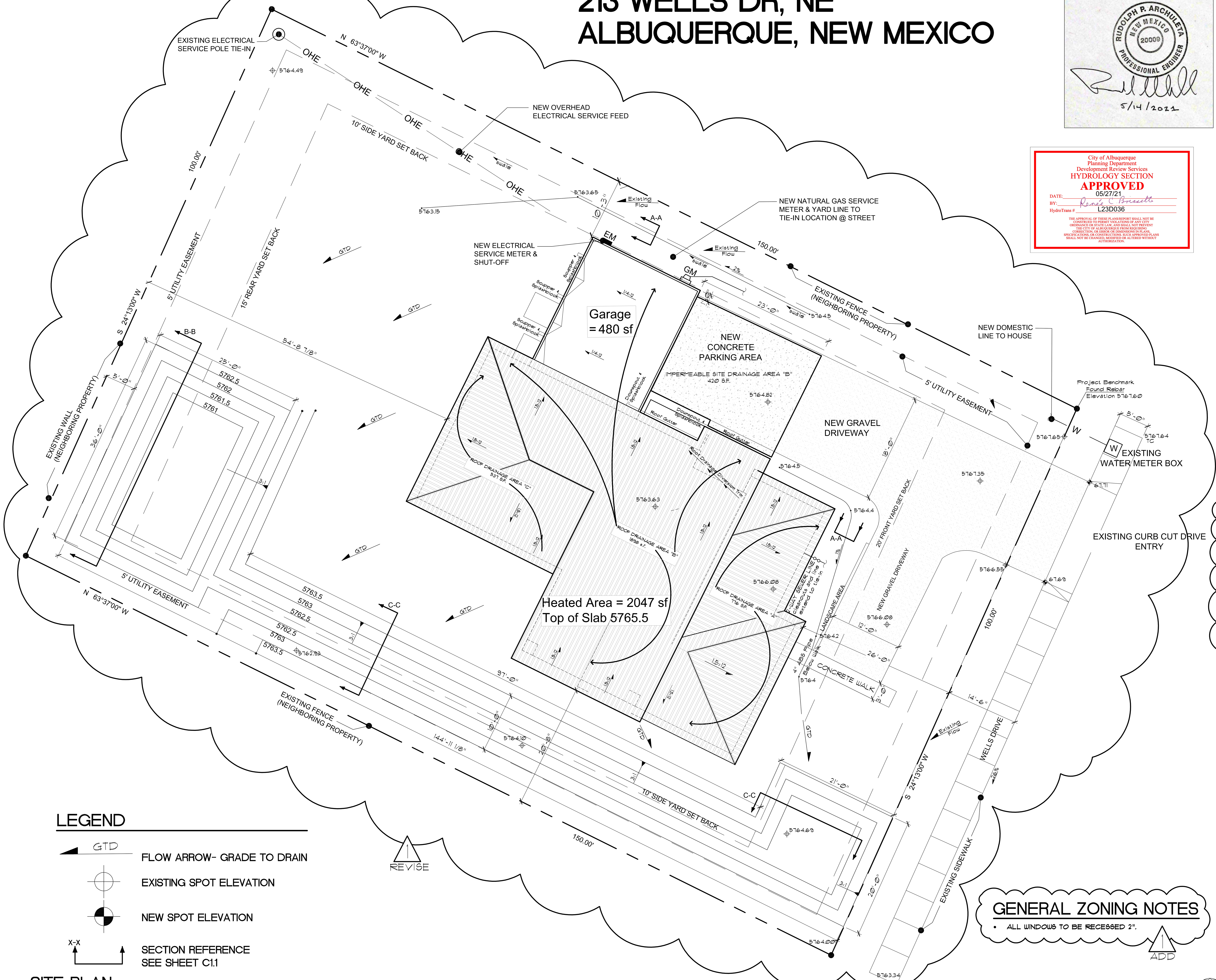
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Signature of Engineer

1/10/2022
Date

ENGINEER'S STAMP

PERMIT SET FOR NEW RESIDENCE
213 WELLS DR, NE
ALBUQUERQUE, NEW MEXICO



LEGEND

- GTD — FLOW ARROW- GRADE TO DRAIN
- EXISTING SPOT ELEVATION
- NEW SPOT ELEVATION
- X-X — SECTION REFERENCE SEE SHEET C1.1

SITE PLAN
1/8" = 1'-0"

GENERAL ZONING NOTES
- ALL WINDOWS TO BE RECESSED 2".

ADD

RUDOLPH P. ARCHULETA NEW MEXICO 20000 PROFESSIONAL ENGINEER
5/14/2021

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 05/27/21
BY:
HydroTrans #: L23D036

CITY OF ALBUQUERQUE PLANNING — APPROVED — BP-2021-09282

INDEX OF DRAWINGS

COV	DESIGN DATA, SITE LOCATION MAP, SITE PLAN, AND INDEX OF DRAWINGS
C1.1	GRADING AND DRAINAGE PLAN
A1	FLOOR PLAN WALL TYPES AND SCHEDULES
A2	FOUNDATION PLAN, DETAILS AND PORTAL FRAME DETAIL
A3	ROOF FRAMING AND SECTION DETAILS
A4	ELEVATIONS AND ROOF PLAN
EMP	ELECTRICAL, MECHANICAL, AND PLUMBING FIXTURE LAYOUTS
BW-1	BRACE WALL PLAN

PROJECT DATA

PROJECT TYPE:	NEW HOUSE
PROJECT LEGAL:	Lot 2 Block 12 Wells Sandia Manor Subdivision
PROJECT LOCATION:	213 WELLS DR. NE ALBUQUERQUE, NEW MEXICO 87123 BERNALILLO COUNTY
PROJECT OWNER:	APRIL BRANNON
OCCUPANCY TYPE:	R-3, SINGLE FAMILY RESIDENTIAL
CONSTRUCTION TYPE:	VN

FLOOR AREAS
HEATED: 2047sf
GARAGE: 480sf
PORCHES: 347sf

TOTAL ROOFED = 2874sf

TECHNICAL DATA

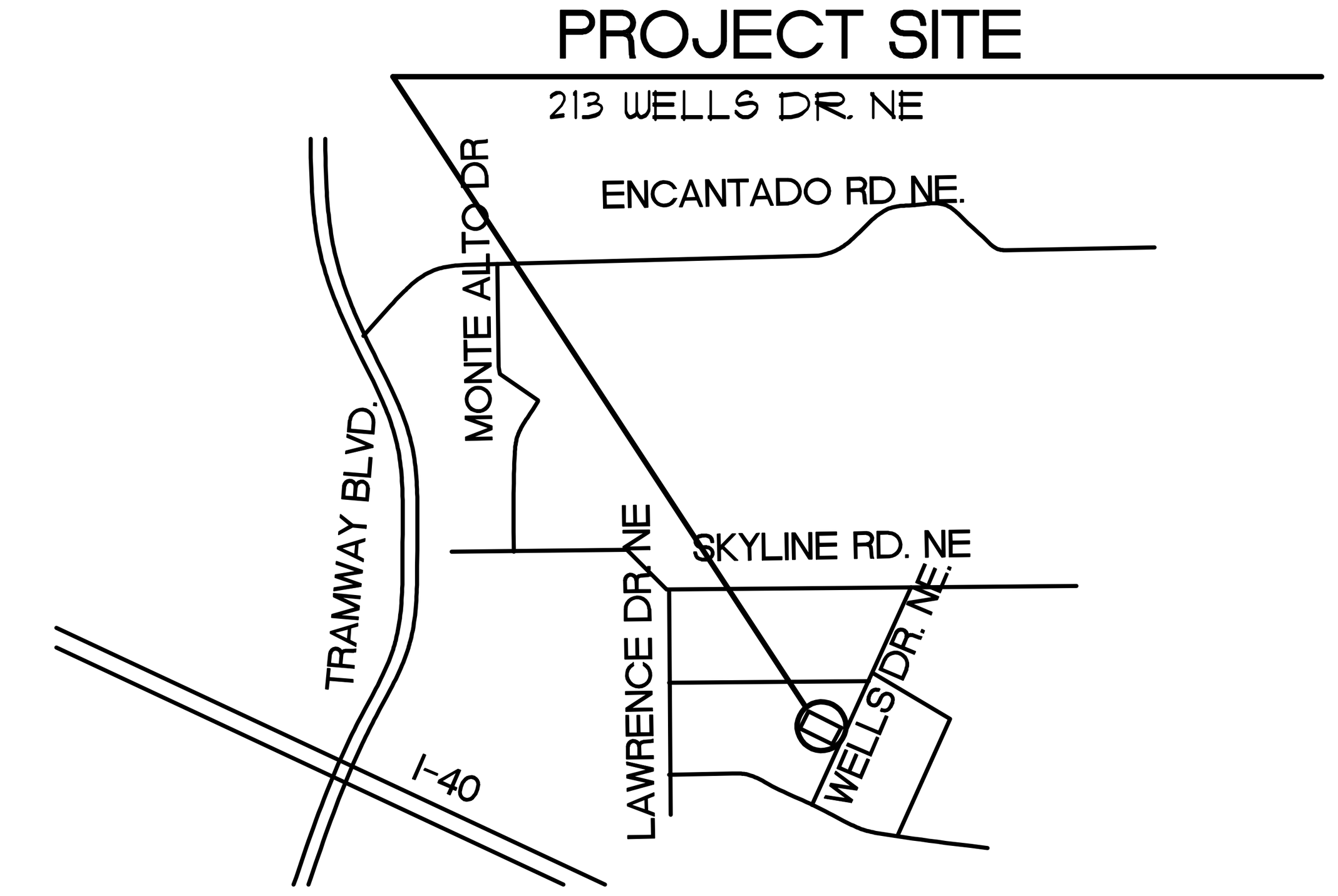
SOIL BEARING:	ELECTRICAL:
CONCRETE FOOTING AND	1500 PSF (ASSUMED)
SLABS:	2500 PSI (Min)
WOOD STUDS:	CONSTRUCTION GRADE
WOOD HEADERS:	#2 HEM-FIR
ENGINEERED JOISTS:	PER MANUFACTURES SPECS.
MECHANICAL:	CENTRAL FURNACE HEATING / COOLING GROUND MOUNTED REFRIGERATED AIR 200 AMP, 1 PH SERVICE

GRADING + DRAINAGE DATA:

NO OFF SITE FLOWS TO OR FROM SITE ALLOWED.
DRAINAGE POND CAPACITY CALULATIONS:
Roof Area "A" = 776sf x (3.67/12) = 237 cu. ft required
(Pond "A" = 252 sf x 1 ft depth = 252 cu ft provided)
Roof + Site Areas "B" = 2318 sf x (3.67/12) = 709 cu ft required
(Pond "B" = 796 s.f. x 1 ft depth = 796 cu. ft provided)
Roof Area "C" = 537 s.f x (3.67/12) = 165 cu. ft required
(Pond "C" = 188 s.f. x 1 ft depth = 188 cu. ft. provided)

DELETED

PROJECT SITE
213 WELLS DR. NE



SITE LOCATION MAP
NO SCALE

FLOOD ZONE DESIGNATION FOR PROJECT SITE = "ZONE X" PURSUANT TO FEMA NFIP FLOOD INSURANCE RATE MAP NO. 35001C0378G / PANEL 0378G /REVISED SEPTEMBER 26, 2008.

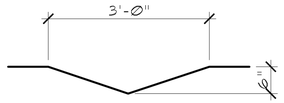
M-ART BLDG. CO. LLC.

APRIL BRANNON RESIDENCE
213 WELLS DR. NE
ALBUQUERQUE, NEW MEXICO 87123

SITE PLAN, DESIGN DATA, SITE LOCATION MAP, AND INDEX OF DRAWINGS

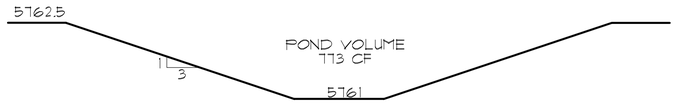
DATE: 2/2021
REVISIONS:
1 CITY REVISIONS 5/14/21

SHEET:
CVR



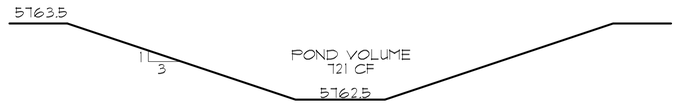
SWALE DETAIL
3/4" = 1'-0"

A-A
C1.1



POND DETAIL
3/4" = 1'-0"

B-B
C1.1



POND DETAIL
3/4" = 1'-0"

C-C
C1.1

CITY OF ALBUQUERQUE
PLANNING
These plans have been reviewed for code compliance and are
APPROVED
The Approval of these plans shall not be construed to be a permit for any violations of any code or ordinance of this city.
PERMIT # BP-2021-09282
DATE: 06/01/21
A printed copy of these plans shall be on the job site for inspection.

RUDOLPH P. ARCHULETA
NEW MEXICO
20009
PROFESSIONAL ENGINEER
5/14/2021

Mr. Tony Rivera
213 Wells Drive NE, Albuquerque NM
17-Mar-21

Reference: Development Process Manual, Section 6-2(A), Procedure for 40-Acre and Smaller Basins
Applicable Bernalillo County Precipitation Zone: 4

Precipitation Depths$_{100\text{-}Year}$ [inches]:

P_{60}	P_{360}	P_{1440}	P_{4days}	P_{10days}
1.96	2.64	3.6	4.75	6.27

Peak Discharge$_{100Year/6Hour}$ [cfs/acre]:

A	B	C	D
2.09	2.73	3.41	4.78

for t_c = .2 hour
Zone 4 Peak Intensity [in/hr]:
1= 5.31

Proposed Conditions: Roof Area A

Land Treatment	Area [ft^2]	Area [acre]	% of Total Area	Excess Prec$_{100\text{-}6}$ [in]	Weighted E [in]	Volume$_{360}$ [acre-ft]	Volume$_{1440}$ [acre-ft]	Volume$_{10day}$ [acre-ft]	$Q_{100Year/6Hour}$ [cfs]	Rational Method, C	Rational Method, Q [cfs]
A		0.0000	0.00%	0.76	--	0.0000	--	--	0.0000	0.39	0.0000
B		0.0000	0.00%	0.95	--	0.0000	--	--	0.0000	0.51	0.0000
C		0.0000	0.00%	1.20	--	0.0000	--	--	0.0000	0.64	0.0000
D		0.0178	100.00%	3.34	--	0.0050	--	--	0.0852	0.90	0.0851
Totals	**0.0000**	**0.0178**	100.00%	--	**3.3400**	**0.0050**	**0.0064**	**0.0103**	**0.0852**	--	**0.0851**
					check:	0.0050					
					Volume$_{360}$ [CF] =	215.99					

Proposed Conditions: Roof Area B and Concrete Parking Area

Land Treatment	Area [ft^2]	Area [acre]	% of Total Area	Excess Prec$_{100\text{-}6}$ [in]	Weighted E [in]	Volume$_{360}$ [acre-ft]	Volume$_{1440}$ [acre-ft]	Volume$_{10day}$ [acre-ft]	$Q_{100Year/6Hour}$ [cfs]	Rational Method, C	Rational Method, Q [cfs]
A		0.0000	0.00%	0.76	--	0.0000	--	--	0.0000	0.39	0.0000
B		0.0000	0.00%	0.95	--	0.0000	--	--	0.0000	0.51	0.0000
C		0.0000	0.00%	1.20	--	0.0000	--	--	0.0000	0.64	0.0000
D		0.0532	100.00%	3.34	--	0.0148	--	--	0.2544	0.90	0.2543
Totals	**0.0000**	**0.0532**	100.00%	--	**3.3400**	**0.0148**	**0.0191**	**0.0309**	**0.2544**	--	**0.2543**
					check:	0.0148					
					Volume$_{360}$ [CF] =	645.18					

Proposed Conditions: Roof Area C

Land Treatment	Area [ft^2]	Area [acre]	% of Total Area	Excess Prec$_{100\text{-}6}$ [in]	Weighted E [in]	Volume$_{360}$ [acre-ft]	Volume$_{1440}$ [acre-ft]	Volume$_{10day}$ [acre-ft]	$Q_{100Year/6Hour}$ [cfs]	Rational Method, C	Rational Method, Q [cfs]
A		0.0000	0.00%	0.76	--	0.0000	--	--	0.0000	0.39	0.0000
B		0.0000	0.00%	0.95	--	0.0000	--	--	0.0000	0.51	0.0000
C		0.0000	0.00%	1.20	--	0.0000	--	--	0.0000	0.64	0.0000
D		0.0123	100.00%	3.34	--	0.0034	--	--	0.0589	0.90	0.0589
Totals	**0.0000**	**0.0123**	100.00%	--	**3.3400**	**0.0034**	**0.0044**	**0.0072**	**0.0589**	--	**0.0589**
					check:	0.0034					
					Volume$_{360}$ [CF] =	149.47					

Proposed Conditions: Remaining Property

Land Treatment	Area [ft^2]	Area [acre]	% of Total Area	Excess Prec$_{100\text{-}6}$ [in]	Weighted E [in]	Volume$_{360}$ [acre-ft]	Volume$_{1440}$ [acre-ft]	Volume$_{10day}$ [acre-ft]	$Q_{100Year/6Hour}$ [cfs]	Rational Method, C	Rational Method, Q [cfs]
A		0.0000	0.00%	0.76	--	0.0000	--	--	0.0000	0.39	0.0000
B		0.0000	0.00%	0.95	--	0.0000	--	--	0.0000	0.51	0.0000
C		0.2766	100.00%	1.20	--	0.0277	--	--	0.9434	0.64	0.9401
D		0.0000	0.00%	3.34	--	0.0000	--	--	0.0000	0.9	0.0000
Totals	**0.0000**	**0.2766**	100.00%	--	**1.2000**	**0.0277**	**0.0277**	**0.0277**	**0.9434**	--	**0.9401**
					check:	0.0277					
					Volume$_{360}$ [CF] =	1205.06					

Total Volume and Flow Entering Pond **Volume$_{360}$ [CF] = 2215.7** **1.3 CFS**

Existing Conditions: Existing conditions

Land Treatment	Area [ft^2]	Area [acre]	% of Total Area	Excess Prec$_{100\text{-}6}$ [in]	Weighted E [in]	Volume$_{360}$ [acre-ft]	Volume$_{1440}$ [acre-ft]	Volume$_{10day}$ [acre-ft]	$Q_{100Year/6Hour}$ [cfs]	Rational Method, C	Rational Method, Q [cfs]
A		0.0000	0.00%	0.53	--	0.0000	--	--	0.0000	0.31	0.0000
B		0.0000	0.00%	0.78	--	0.0000	--	--	0.0000	0.45	0.0000
C		0.3600	100.00%	1.13	--	0.0339	--	--	1.2276	0.62	1.1852
D		0.0000	0.00%	2.12	--	0.0000	--	--	0.0000	0.93	0.0000
Totals	**0.0000**	**0.3600**	100.00%	--	**1.1300**	**0.0339**	**0.0339**	**0.0339**	**1.2276**	--	**1.1852**
					check:	0.0339					
					Volume$_{360}$ [CF] =	**1476.68**					

Results:

2215.7	-	1476.68	739.00 CF	Increase in runoff volume
1.3	-	1.1852	0.15 CFS	Increase in peak discharge

M-Art Bldg Co 213 Wells Drive NE Albuquerque NM

GRADING AND DRAINAGE CALCS.

C4
C1.1

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 05/27/21
BY: René C. Brissette
HydroTrans # L23D036
THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE CONSTRUED TO BE A PERMIT FOR, OR AN APPROVAL OF, ANY VIOLATION OF ANY PROVISION OF THE CITY OF ALBUQUERQUE FROM REQUIRING CORRECTIONS OF ERRORS IN THE PLANS/REPORT, SPECIFICATIONS, OR CONSTRUCTIONS. SUCH APPROVED PLANS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.

M-ART BLDG. CO.
LLC.

APRIL BRANNON RESIDENCE
213 WELLS DR. NE
ALBUQUERQUE, NEW MEXICO 87123

GRADING AND DRAINAGE CALCS
AND DETAILS

DATE: 2/2021

REVISIONS:
CITY
REVISIONS NEW
SHEET 5/14/21

SHEET:
C1.1