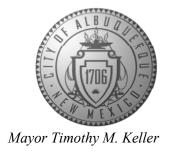
CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



November 1, 2023

Jeffrey T. Wooten, P.E. Wooten Engineering PO Box 15814 Rio Rancho, NM 87174

RE: 14508 Oakwood Place NE

Grading and Drainage Plans Engineer's Stamp Date: 10/26/23

Hydrology File: L23D037

Dear Mr. Wooten:

PO Box 1293

Based upon the information provided in your submittal received 10/26/2023, the Grading and Drainage Plans are approved for Building Permit and Grading Permit. Since this project has stem walls, a pad certification is not needed for this project. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

PRIOR TO CERTIFICATE OF OCCUPANCY:

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (F): Engineer's Certification Checklist For Non-Subdivision is required.

www.cabq.gov

If you have any questions, please contact me at 924-3995 or <u>rbrissette@cabq.gov</u>.

Sincerely,

Renée C. Brissette, P.E. CFM Senior Engineer, Hydrology

Renée C. Brissette

Planning Department

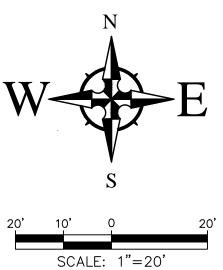


City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title:		Hydrology File #							
Legal Description:									
City Address, UPC, OR Parcel	:								
Applicant/Agent:		Contact:							
		Phone:							
Email:									
Applicant/Owner:		Contact:							
Address:		Phone:							
Email:									
(Please note that a DFT SITE is or	ne that needs Site Plan A	pproval & ADMIN SITE is one that does not need it.)							
TYPE OF DEVELOPMENT:	PLAT (#of lots)	RESIDENCE							
	DFT SITE	ADMIN SITE							
RE-SUBMITTAL: YES	NO								
DEPARTMENT: TRANS	SPORTATION	HYDROLOGY/DRAINAGE							
Chook all that apply under Dath	the Type of Submittel	and the Type of Approval Sought:							
TYPE OF SUBMITTAL:	the Type of Submittal	TYPE OF APPROVAL SOUGHT:							
ENGINEER/ARCHITECT CF	RTIFICATION	BUILDING PERMIT APPROVAL							
PAD CERTIFICATION		CERTIFICATE OF OCCUPANCY							
CONCEPTUAL G&D PLAN		CONCEPTUAL TCL DFT APPROVAL							
GRADING & DRAINAGE PI	LAN	PRELIMINARY PLAT APPROVAL							
DRAINAGE REPORT		FINAL PLAT APPROVAL							
DRAINAGE MASTER PLAN		SITE PLAN FOR BLDG PERMIT DFT							
CLOMR/LOMR		APPROVAL							
TRAFFIC CIRCULATION LA	AYOUT (TCL)	SIA/RELEASE OF FINANCIAL GUARANTEE							
ADMINISTRATIVE		FOUNDATION PERMIT APPROVAL							
TRAFFIC CIRCULATION LA APPROVAL	AYOUT FOR DFT	GRADING PERMIT APPROVAL							
TRAFFIC IMPACT STUDY (TIS)	SO-19 APPROVAL							
STREET LIGHT LAYOUT		PAVING PERMIT APPROVAL							
OTHER (SPECIFY)		GRADING PAD CERTIFICATION							
· - /		WORK ORDER APPROVAL							
		CLOMR/LOMR							
		OTHER (SPECIFY)							
DATE SUBMITTED:									



CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH

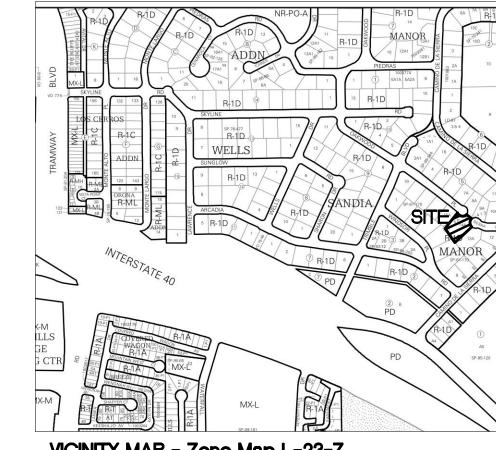
Existing Drainage Calculations This table is based on the COADPM Chapter 6.2 (A), Zone: 4 BASIN Area Land Treatment Percentages (%) Weighted C Tc I (100) Q(100) Q(100) WT E V(100)380 V(100)10day															
BASIN Area Land Treatment Percentages (%) Weighted C Tc I (100) Q(100) Q(100) WT E V(100) ₃₈₀ V(100) _{10day}									itions	Calcula					
BASIN Area Land Treatment Percentages (%) Weighted C Tc I (100) Q(100) Q(100) WT E V(100) ₃₈₀ V(100) _{10day}						-				4	(A), Zone:	hapter 6.2	e COA DPM (table is based on th	This
	Comments	V(100) _{10day}	V(100)380	WTE	Q(100)	Q(100)	I (100)	Tc	Weighted C					100	
(AC.) A B C D (min) (in/hr) (cfs/ac.) (CFS) (inches) (CF) (CF)		(CF)	(CF)	(inches)	(CFS)	(cfs/ac.)	(in/hr)	(min)		D	C	В	Α	(AC.)	
A-1 0.30 0.0 0.0 100.0 0.0 0.64 12.00 3.41 2.18 0.65 1.20 1307 1307	Existing Granite Surface	1307	1307	1.20	0.65	2.18	3.41	12.00	0.64	0.0	100.0	0.0	0.0	0.30	A-1
B-1 0.38 0.0 0.0 100.0 0.0 0.64 12.00 3.41 2.18 0.83 1.20 1655 1655	Existing Granite Surface	1655	1655	1.20	0.83	2.18	3.41	12.00	0.64	0.0	100.0	0.0	0.0	0.38	B-1
C-1 0.12 0.0 0.0 100.0 0.0 0.64 12.00 3.41 2.18 0.26 1.20 523 523	Existing Granite Surface	523	523	1.20	0.26	2.18	3.41	12.00	0.64	0.0	100.0	0.0	0.0	0.12	C-1
						:	9								
TOTAL 0.80 1.75 3485 3485		3485	3485		1.75									0.80	TOTAL
			_									_			

								12						
TOTAL	0.80									1.75		3485	3485	
	Proposed Drainage Calculations													
	Ultimate Development Conditions Basin Data Table													
Th	is table is based on t	the COA DPM	Chapter 6.	2(A), Zone:	4			13)	£		1 d			
BASIN	Area	Land Treatment Percentages (%) Weighted C				Tc	I (100)	Q(100)	Q(100)	WTE	V(100)380	V(100) _{10day}	Comments	
	(AC.)	Α	В	С	D		(min)	(in/hr)	(cfs/ac.)	(CFS)	(inches)	(CF)	(CF)	
A-1	0.30	0.0	0.0	30.0	70.0	0.83	12.00	4.37	3.62	1.09	2.70	2938	5263	Surface Discharge to Oakwood Place
B-1	0.38	0.0	0.0	100.0	0.0	0.64	12.00	3.41	2.18	0.83	1.20	1655	1655	No change
C-1	0.12	0.0	0.0	100.0	0.0	0.64	12.00	3.41	2.18	0.26	1.20	523	523	No Change
														2-1
TOTAL	0.00									2 40		FAAC	7111	

STORMWATER QUALITY CALCULATIONS BASIN A (NEW DEVELOPMENT RATE = 0.42") TOTAL NEW IMPERVIOUS PAVED AREAS = 7,382 SF SWQ VOLUME REQ'D = 7,382 * 0.42" / 12 = 258 CFTOTAL SWALE VOLUME PER LF = 1.5 CF TOTAL VOLUME PROVIDED = 197 LF * 1.50 = $\underline{296}$ CF



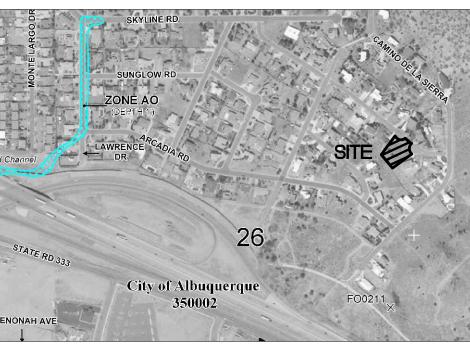
TWO (2) YEARS AFTER THE APPROAL DATE BY THE CITY IF NO UILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMEN



VICINITY MAP - Zone Map L-23-Z

LEGAL DESCRIPTION:

Lot 14-A, Wells Sandia Manor, Albuquerque, Bernalillo County, NM. 0.569 Acres.



FIRM MAP 35001C0378G

Per FIRM Map 35001C0378G, dated September 26, 2008 the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.'

DRAINAGE MANAGEMENT PLAN

INTRODUCTION

The purpose of this submittal is to provide a grading plan and drainage management plan for the development of Lot 14—A, Wells Sandia Manor, or 14508 Oakwood Place NE, Albuquerque, NM. There is no existing City Drainage File Number on record.

EXISTING HYDROLOGIC CONDITIONS

The site is sitting atop an existing ridge and there are three separate drainage basins. The site is very steep and the soils consist of granite. The new home consists of three levels in order to take advantage of the existing steep slopes. Existing drainage calculations can be found on the table this sheet.

PROPOSED HYDROLOGIC CONDITIONS

The site will continue to drain via the three distinct basins listed above. In order to keep from increasing any runoff to the adjacent homes to the south, west, and north, all drainage from the new impervious areas are to be directed to the northeast corner of the site and onto Oakwood Place NE. The runoff from Basin A-1 increased slightly (0.44 cfs) per the calculations table.

Stormwater Quality Treatment consists of new rock lined swales. Calculations have been provided on this sheet.

This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm, provides stormwater quality measures, and meet city requirements. The proposed improvements for the site should not have any negative impacts to facilities downstream. With this submittal, we are requesting approval of both Grading and Building Permits.



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an Q **Hinkle** 14508 C Albuquer

BENCH MARKS A.C.S. MONUMENT "21-K23"

PUB. EL=5711.314 NAVD 1988



NO WORK SHALL BE PERFORMED IN THE PUBLIC RIGHT-OF-WAY WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.

5' PUBLIC UTILITY EASEMENT—

Install 130 SY 2"-4" Fractured

Landscape Fabric. Depth = 6". Ref Detail this Sheet.

5' PUBLIC UTILITY EASEMENT-

Rip-Rap over Pervious

6' Min 3'-0" Min 33% MAX 6" THICK MAT OF 2"-4"-FRACTURED RIP-RAP -Topsoil per LANDSCAPE PLANS - PERVIOUS LANDSCAPE FABRIC

Rock Lined Swale Detail

Install 13 SY 2"-4" Fractured

Landscape Fabric. Depth = 6".

Rip—Rap over Pervious

Ref Detail this Sheet.

GARAGE LEVEL <u>1769.90</u> FF Eley = 5870.00 <u>1774.50</u>

/UPPER/LEVÉL/ FF Elev ≠ 5881.00

____30' PUBLIC UTILITY EASEMENT

27.8 PROPOSED TOP OF GRADE/PVMT ELEVATIONS FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS FG27.8 PROPOSED FINISHED GRADE ELEVATIONS

 \underline{LEGEND}

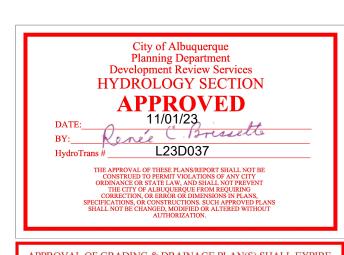
TP27.8 PROPOSED TOP OF PAVEMENT ELEVATION FINISHED GRADE AT TOP OF WALL FGL83.40 FINISHED GRADE AT BOTTOM OF WALL

FLOW ARROW

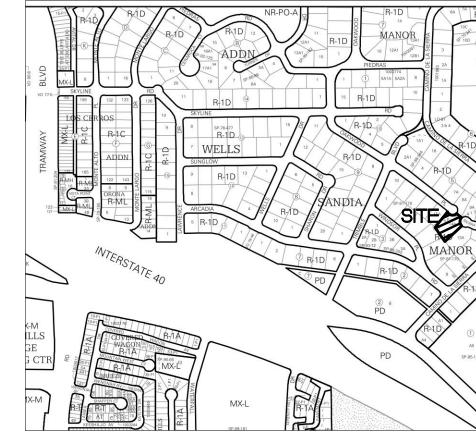
__ _ 515__ _ EXISTING CONTOUR PROPOSED CONTOUR EXISTING STORM DRAIN

CAUTION - NOTICE TO CONTRACTOR

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LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



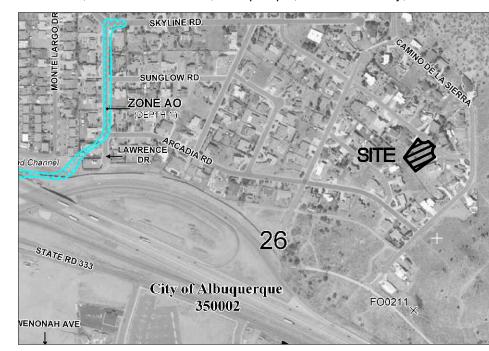
APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.



VICINITY MAP - Zone Map L-23-Z

LEGAL DESCRIPTION:

Lot 14-A, Wells Sandia Manor, Albuquerque, Bernalillo County, NM. 0.569 Acres.

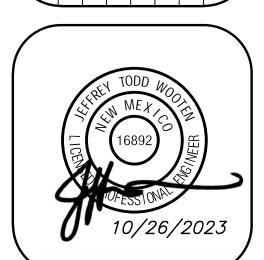


FIRM MAP 35001C0378G

Per FIRM Map 35001C0378G, dated September 26, 2008 the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.'

<u>GRADING NOTES</u>

- 1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- 2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- 3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- 4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN
- 5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- 6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- 7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- 8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- 9. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
- 10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
- 11. THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.





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BENCH MARKS

A.C.S. MONUMENT "21-K23"

PUB. EL=5711.314 NAVD 1988