

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

November 1, 2023

Jeffrey T. Wooten, P.E.
Wooten Engineering
PO Box 15814
Rio Rancho, NM 87174

RE: 14508 Oakwood Place NE
Grading and Drainage Plans
Engineer's Stamp Date: 10/26/23
Hydrology File: L23D037

Dear Mr. Wooten:

Based upon the information provided in your submittal received 10/26/2023, the Grading and Drainage Plans are approved for Building Permit and Grading Permit. **Since this project has stem walls, a pad certification is not needed for this project.** Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PRIOR TO CERTIFICATE OF OCCUPANCY:

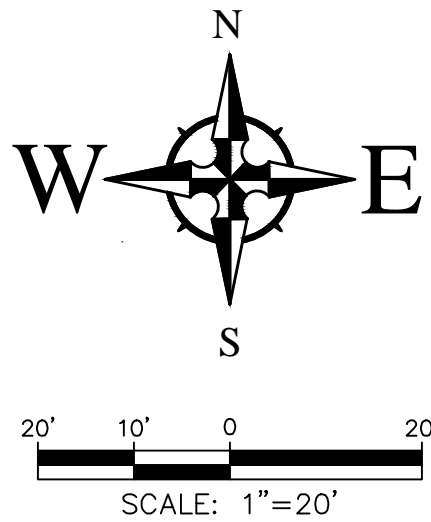
1. Engineer's Certification, per the DPM Part 6-14 (F): Engineer's Certification Checklist For Non-Subdivision is required.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

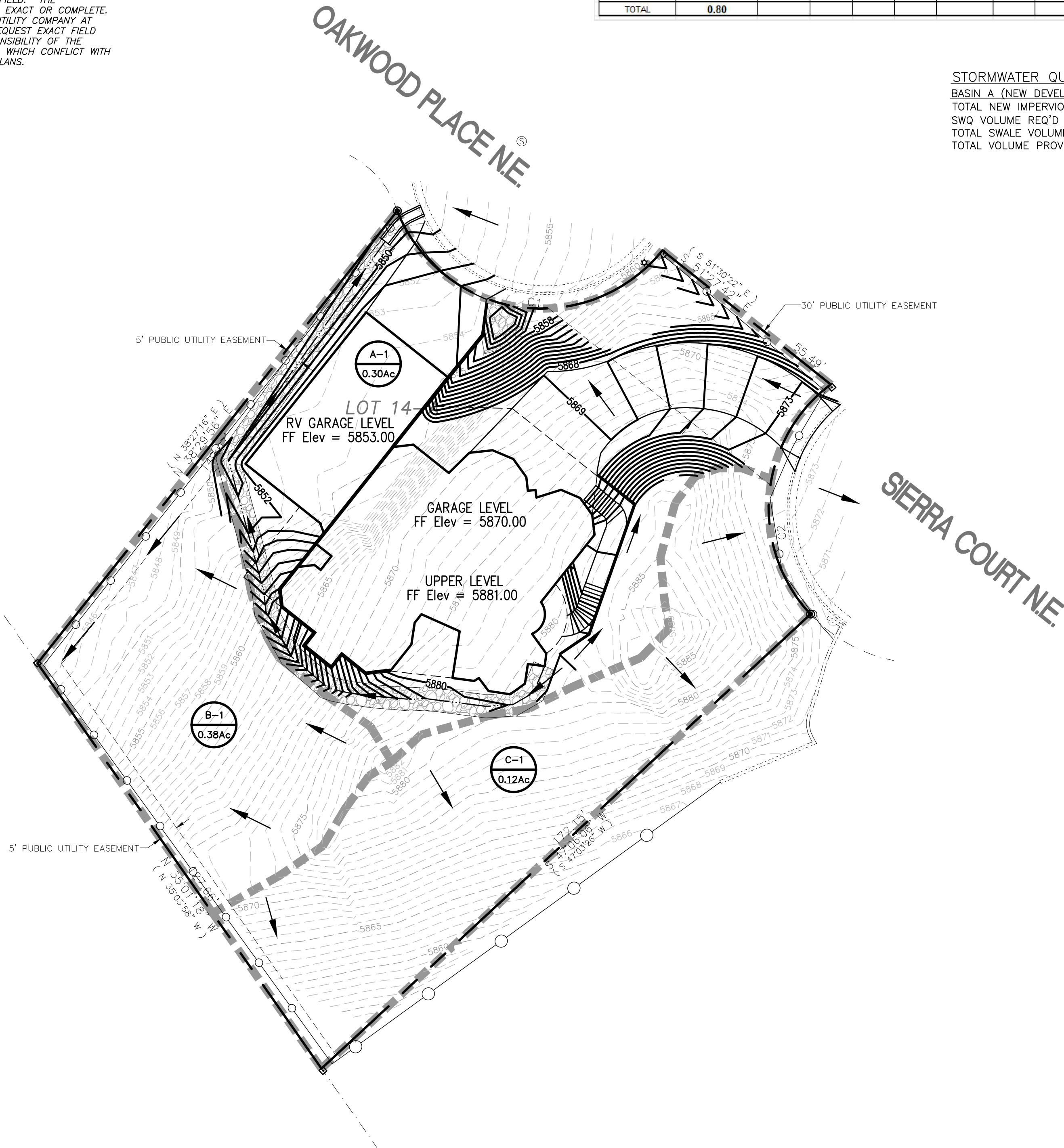
Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

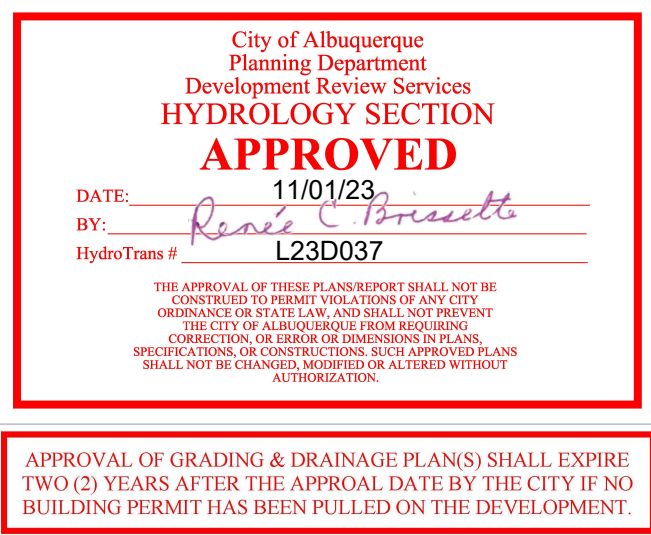


Existing Drainage Calculations												
This table is based on the COA DPM Chapter 6.2 (A), Zone: 4												
BASIN	Area (AC.)	Land Treatment Percentages (%)				Weighted C	Tc (min)	I (100) (in/hr)	Q(100) (cfs/ac.)	Q(100) (CFS)	WTE (inches)	V(100)250 (CF)
A-1	0.30	0.0	0.0	100.0	0.0	0.64	12.00	3.41	2.18	0.65	1.20	1307
B-1	0.38	0.0	0.0	100.0	0.0	0.64	12.00	3.41	2.18	0.83	1.20	1655
C-1	0.12	0.0	0.0	100.0	0.0	0.64	12.00	3.41	2.18	0.26	1.20	523
TOTAL	0.80									1.75		3485

Proposed Drainage Calculations												
Ultimate Development Conditions Basin Data Table												
This table is based on the COA DPM Chapter 6.2(A), Zone: 4												
BASIN	Area (AC.)	Land Treatment Percentages (%)				Weighted C	Tc (min)	I (100) (in/hr)	Q(100) (cfs/ac.)	Q(100) (CFS)	WTE (inches)	V(100)250 (CF)
A-1	0.30	0.0	0.0	30.0	70.0	0.83	12.00	4.37	3.62	1.09	2.70	2938
B-1	0.38	0.0	0.0	100.0	0.0	0.64	12.00	3.41	2.18	0.83	1.20	1655
C-1	0.12	0.0	0.0	100.0	0.0	0.64	12.00	3.41	2.18	0.26	1.20	523
TOTAL	0.80									2.18		5116

STORMWATER QUALITY CALCULATIONS

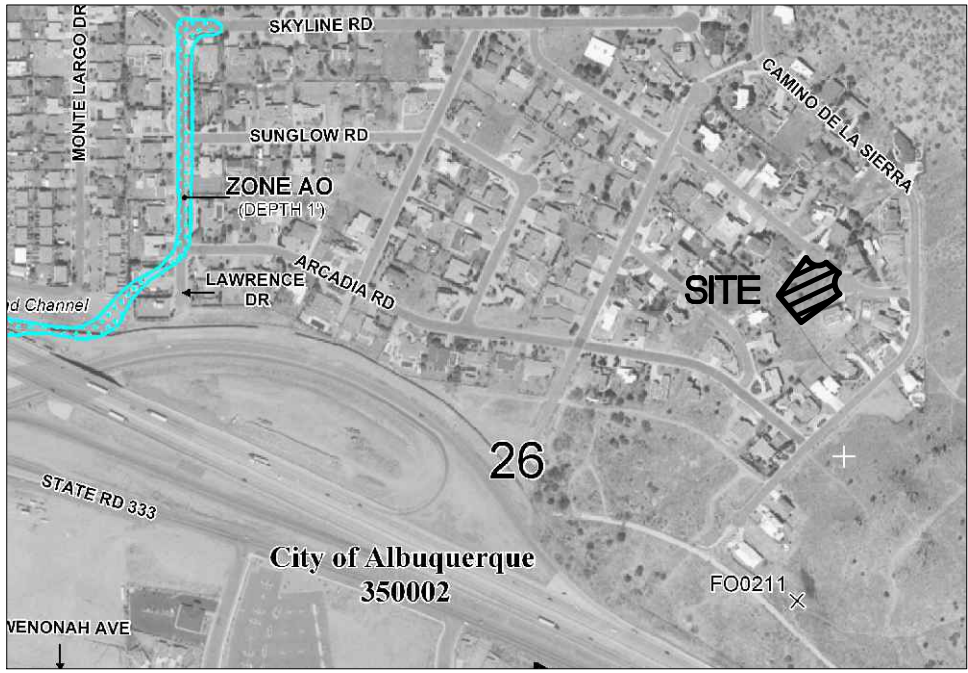
BASIN A (NEW DEVELOPMENT RATE = 0.42")
TOTAL NEW IMPERVIOUS PAVED AREAS = 7,382 SF
SWQ VOLUME REQ'D = 7,382 * 0.42" / 12 = **258 CF**
TOTAL SWALE VOLUME PER LF = 1.5 CF
TOTAL VOLUME PROVIDED = 197 LF * 1.50 = **296 CF**



VICINITY MAP - Zone Map L-23-Z

LEGAL DESCRIPTION:

Lot 14-A, Wells Sandia Manor, Albuquerque, Bernalillo County, NM. 0.569 Acres.



FIRM MAP 35001C0378G

Per FIRM Map 35001C0378G, dated September 26, 2008 the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.

DRAINAGE MANAGEMENT PLAN

INTRODUCTION

The purpose of this submittal is to provide a grading plan and drainage management plan for the development of Lot 14-A, Wells Sandia Manor, or 14508 Oakwood Place NE, Albuquerque, NM. There is no existing City Drainage File Number on record.

EXISTING HYDROLOGIC CONDITIONS

The site is sitting atop an existing ridge and there are three separate drainage basins. The site is very steep and the soils consist of granite. The new home consists of three levels in order to take advantage of the existing steep slopes. Existing drainage calculations can be found on the table this sheet.

PROPOSED HYDROLOGIC CONDITIONS

The site will continue to drain via the three distinct basins listed above. In order to keep from increasing any runoff to the adjacent homes to the south, west, and north, all drainage from the new impervious areas are to be directed to the northeast corner of the site and onto Oakwood Place NE. The runoff from Basin A-1 increased slightly (0.44 cfs) per the calculations table.

Stormwater Quality Treatment consists of new rock lined swales. Calculations have been provided on this sheet.

CONCLUSION

This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm, provides stormwater quality measures, and meet city requirements. The proposed improvements for the site should not have any negative impacts to facilities downstream. With this submittal, we are requesting approval of both Grading and Building Permits.

BENCH MARKS

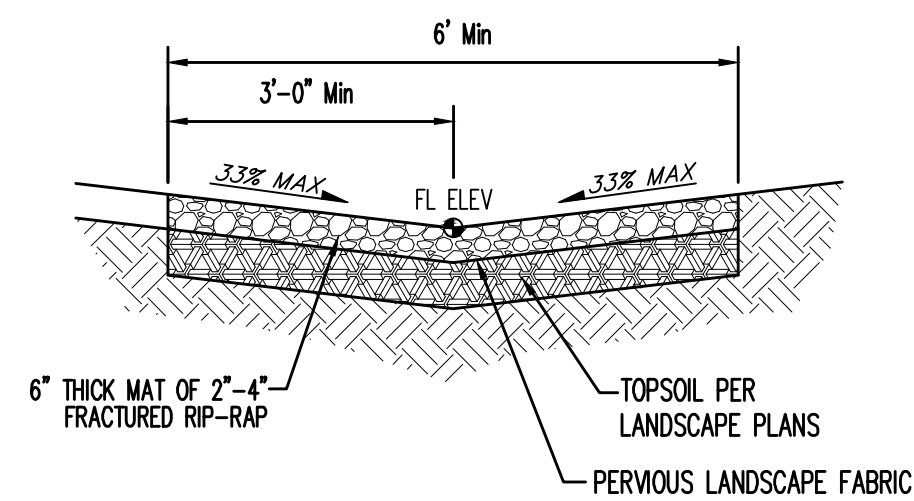
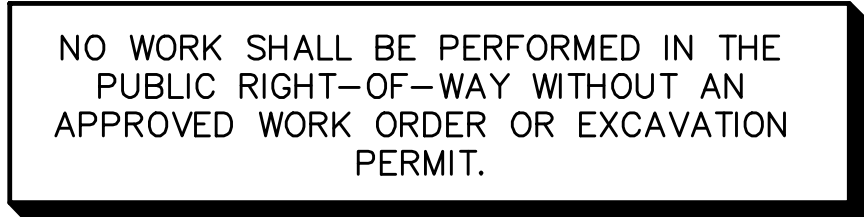
A.C.S. MONUMENT "21-K23"
PUB. EL.=5711.314 NAVD 1988

Hinkle Residence
14508 Oakwood PI NE
Albuquerque, NM 87123

Wooten Engineering
PO BOX 15814
Rio Rancho, N.M. 87174
Phone: (505) 980-3560

Drainage Plan

C-201



NTS



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CAUTION - NOTICE TO CONTRACTOR

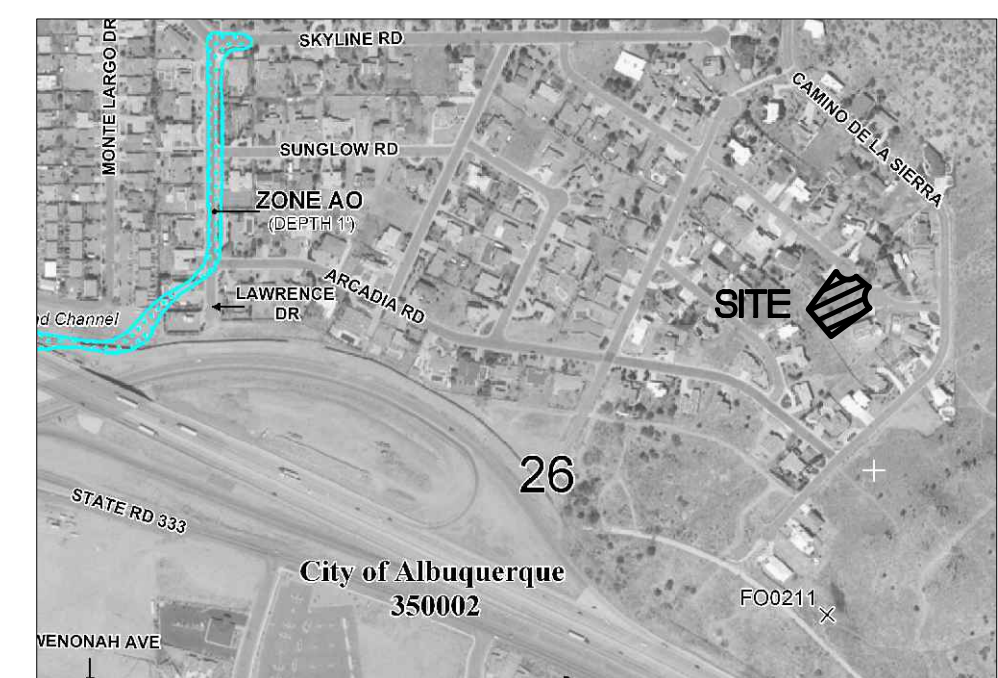
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VICINITY MAP - Zone Map L-23-Z

LEGAL DESCRIPTION:

Lot 14-A, Wells Sandia Manor, Albuquerque, Bernalillo County, NM. 0.569 Acres.

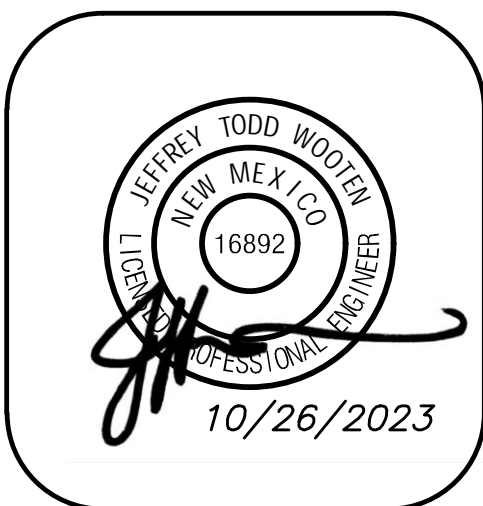


FIRM MAP 35001C0378G

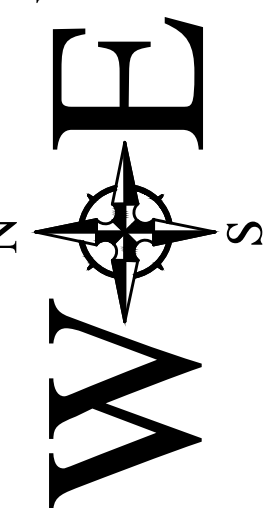
Per FIRM Map 35001C0378G, dated September 26, 2008 the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.'

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEO TECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE "FIRST PRIORITY" SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE FOR EXCESS MATERIAL SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE $\pm 0.05'$ FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE $\pm 0.05'$ FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
11. THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THIS PROJECT. THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

[illegible]

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Phone: (505) 980-3560



Hinkle Residence
14508 Oakwood Pl NE
Albuquerque, NM 87123

Grading Plan

C-200

BENCH MARKS
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