

TEMPORARY DETAILING
& DETENTION POND

$Q_{10} = 0.66$ cfs
 $Q_{out} = 3.34$ cfs
 $d = 2.0$
 $VOL = 1.16$ AC-FT

$n = 15.6$ cfs
 $out = 4$ cfs
 $d = 2.0$
 $VOL = 0.25$ AC-FT

FUTURE DETAILING
& DETENTION POND

114TH STREET

$Q = 5.79$ cfs $A = 1.62$ AC
 $Q_{10} = 3.83$ cfs

BASIN A
 $A = 0.0021$ SQMI
 $A = 1.34$ AC
 $Q = 5.79$ cfs
 $Q_{10} = 3.14$ cfs

BASIN B
 $A = 0.005$ SQMI
 $A = 3.18$ AC
 $Q = 10.1$ cfs

BASIN F1
 $A = 0.00136$ SQMI
 $A = 0.87$ AC
 $Q = 2.8$ cfs

BASIN F2
 $A = 0.00168$ SQMI
 $A = 1.08$ AC
 $Q = 3.4$ cfs

BASIN F3
 $A = 0.002$ SQMI
 $A = 1.25$ AC
 $Q = 4.1$ cfs

BASIN F4
 $A = 0.0019$ SQMI
 $A = 1.24$ AC
 $Q = 3.9$ cfs

BASIN K
 $A = 0.0013$ SQMI
 $A = 0.81$ AC
 $Q = 2.6$ cfs

BASIN D1
 $A = 0.0016$ SQMI
 $A = 1.02$ AC
 $Q = 3.25$ cfs

BASIN G1
 $A = 0.0016$ SQMI
 $A = 1.02$ AC
 $Q = 3.25$ cfs

BASIN I1
 $A = 0.0017$ SQMI
 $A = 1.06$ AC
 $Q = 3.45$ cfs

BASIN L1
 $A = 0.0016$ SQMI
 $A = 1.03$ AC
 $Q = 3.25$ cfs

BASIN B2
 $A = 0.0015$ SQMI
 $A = 0.99$ AC
 $Q = 3.05$ cfs
 $Q_{10} = 1.73$ cfs

$Q_{IN} = 54.4$ cfs
 $Q_{out} = 2.3$ cfs
 $d = 2.9$
 $VOL = 2.1$ AC-FT

BASIN D2
 $A = 0.0031$ SQMI
 $A = 1.96$ AC
 $Q = 6.3$ cfs
 $Q_{10} = 3.56$ cfs

BASIN G2
 $A = 0.0031$ SQMI
 $A = 1.96$ AC
 $Q = 6.3$ cfs
 $Q_{10} = 3.56$ cfs

BASIN I2
 $A = 0.0034$ SQMI
 $A = 2.17$ AC
 $Q = 6.9$ cfs
 $Q_{10} = 3.91$ cfs

BASIN L2
 $A = 0.00433$ SQMI
 $A = 2.77$ AC
 $Q = 8.77$ cfs
 $Q_{10} = 4.98$ cfs

BASIN C
 $A = 0.0044$ SQMI
 $A = 2.83$ AC
 $Q = 8.9$ cfs
 $Q_{10} = 2.28$ cfs

BASIN E
 $A = 0.0032$ SQMI
 $A = 2.07$ AC
 $Q = 6.5$ cfs
 $Q_{10} = 3.68$ cfs

BASIN H
 $A = 0.0020$ SQMI
 $A = 1.29$ AC
 $Q = 3.9$ cfs
 $Q_{10} = 2.3$ cfs

BASIN J
 $A = 0.0015$ SQMI
 $A = 0.97$ AC
 $Q = 6.5$ cfs
 $Q_{10} = 1.73$ cfs

$A = 0.0019$ SQMI
 $A = 1.23$ AC
 $Q = 5.24$ cfs
 $Q_{10} = 3.47$ cfs

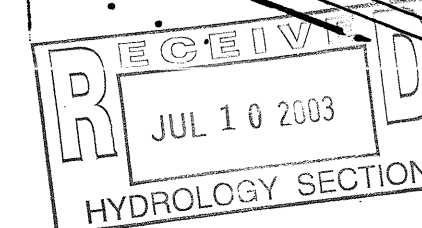
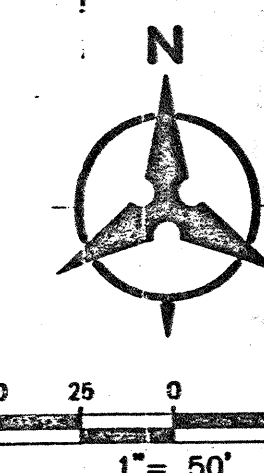
UNIT 5 CONTRIBUTION
 $Q = 25.7$ cfs
 $Q_{10} = 13.21$ cfs

$A = 0.0048$ SQMI
 $A = 3.06$ AC
 $Q = 13.22$ cfs
 $Q_{10} = 8.75$ cfs

DE VARGAS ROAD

OPEN SPACE $A = 0.8$ AC

TIMARRON WEST UNITS 3-5
ON-SITE BASIN MAP
PLATE 3



ANDALUSIAN AVE.



SURVEYOR'S CERTIFICATION

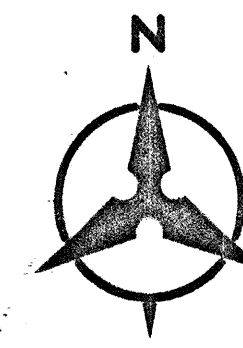
I, Thomas W. Patrick, a duly qualified Registered Professional Land Surveyor under the Laws of the State of New Mexico, do hereby certify that the "as-built" information shown on these drawings was obtained from field construction and "as-built" surveys performed by me, or under my supervision, that the "as-built" information shown on these drawings was added by me, or under my supervision and that this "as-built" information is true and correct to the best of my knowledge and belief. Community Sciences Corporation is not responsible for any of the design concepts, calculations, engineering and/or intent of the record drawings.

Thomas W. Patrick, N.M.P.S. 12651

12-06-2001

DATA ADDED
2-01-02-160
1-14-03-TUR

UNIT 4 ↔ UNIT 3



DRAINAGE CERTIFICATION

UNIT 4

I, RICHARD LYNN BELTRAMO, N.M.P.E. #10598, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN (EXCLUDING THE POND) DATED 10/16/00. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY THOMAS W. PATRICK, N.M.P.S. #12651, OF THE FIRM COMMUNITY SCIENCES CORPORATION, DATED 08/14/03. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 08/16/03 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR SIX-MONTH FINANCIAL GUARANTEE RELEASE.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE (GRADING AND DRAINAGE) ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

DATE: 12/10/2003 RICHARD LYNN BELTRAMO, N.M.P.E. #10598



LEGEND

- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION (GRID & TC)
- EXISTING CURB & GUTTER
- PROPOSED MOUNTAIN CURB & GUTTER
- PROPOSED STANDARD CURB & GUTTER
- EXISTING CONTOUR W/ INDEX ELEVATION
- EXISTING WATER MAIN
- EXISTING GRADE
- EXISTING TOP OF PIPE WATERLINE ELEVATION
- SWALE
- FLOW ARROW
- PROPOSED RETAINING WALL
- WATER BLOCK
- PROPOSED SLOPE
- MANDATORY DRIVEWAY LOCATION
- STORM DRAIN INLET
- 20' GRADE RESTRICTION AREA FOR EXISTING WATER LINE NO GRADING IN THIS AREA UNTIL EXISTING WATERLINE IS RELOCATED. DENOTES EXISTING WATERLINE. CONTRACTOR WILL USE CAUTION WHEN WORKING OVER OR CROSSING EXISTING WATERLINE. DAMAGE TO WATERLINE DUE TO EARTH WORK CONSTRUCTION WILL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

PRELIMINARY
SUBJECT TO CITY REVIEW
10/16/00

✓ = NO CHANGE

AS-BUILT NOTE:
ALTERED, EDITED, OR NEW GRADES ON THIS DRAWING REPRESENT AS-BUILT INFORMATION PER 11/30/01 AND 12/03/01 FIELDWORK.

Bohannon & Huston

Courtyard One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TIMARRON WEST UNIT 4
GRADING & EROSION CONTROL PLAN

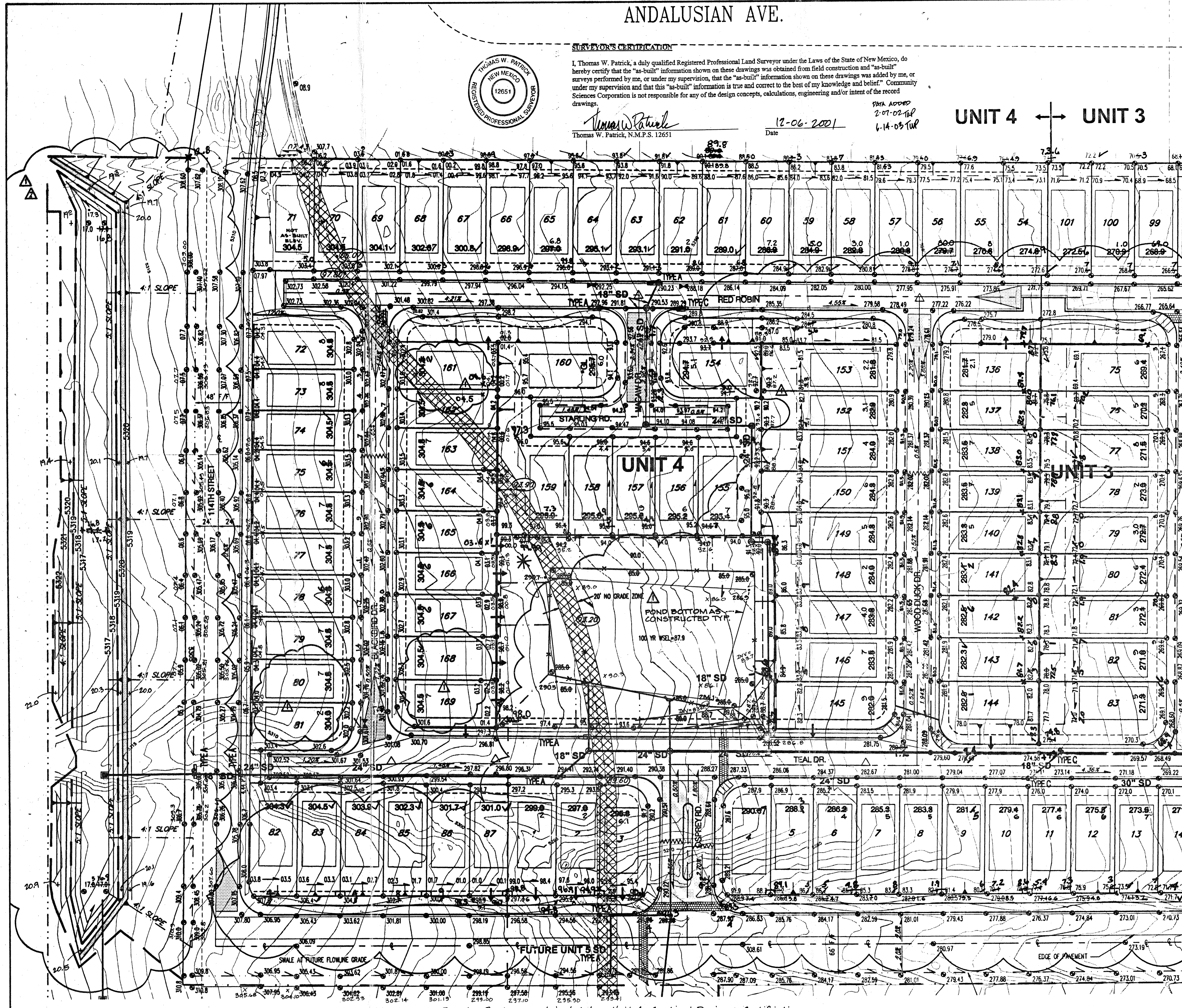
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. Zone Map No. L8/M8 Sheet 2 Of 3

Designed By: EES
Drawn By:
Checked By:

DATE: 4/6/00
DATE:
DATE:

"AS BUILT"



Denotes Pond area not included in Unit 4 Grading & Drainage Certification
This area is to be included in the Unit 5 Grading & Drainage Certification