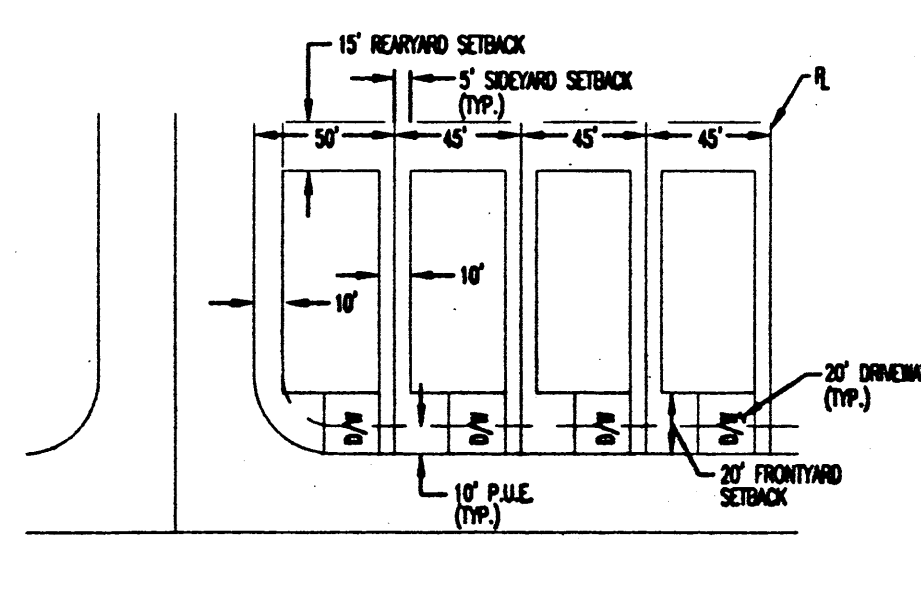
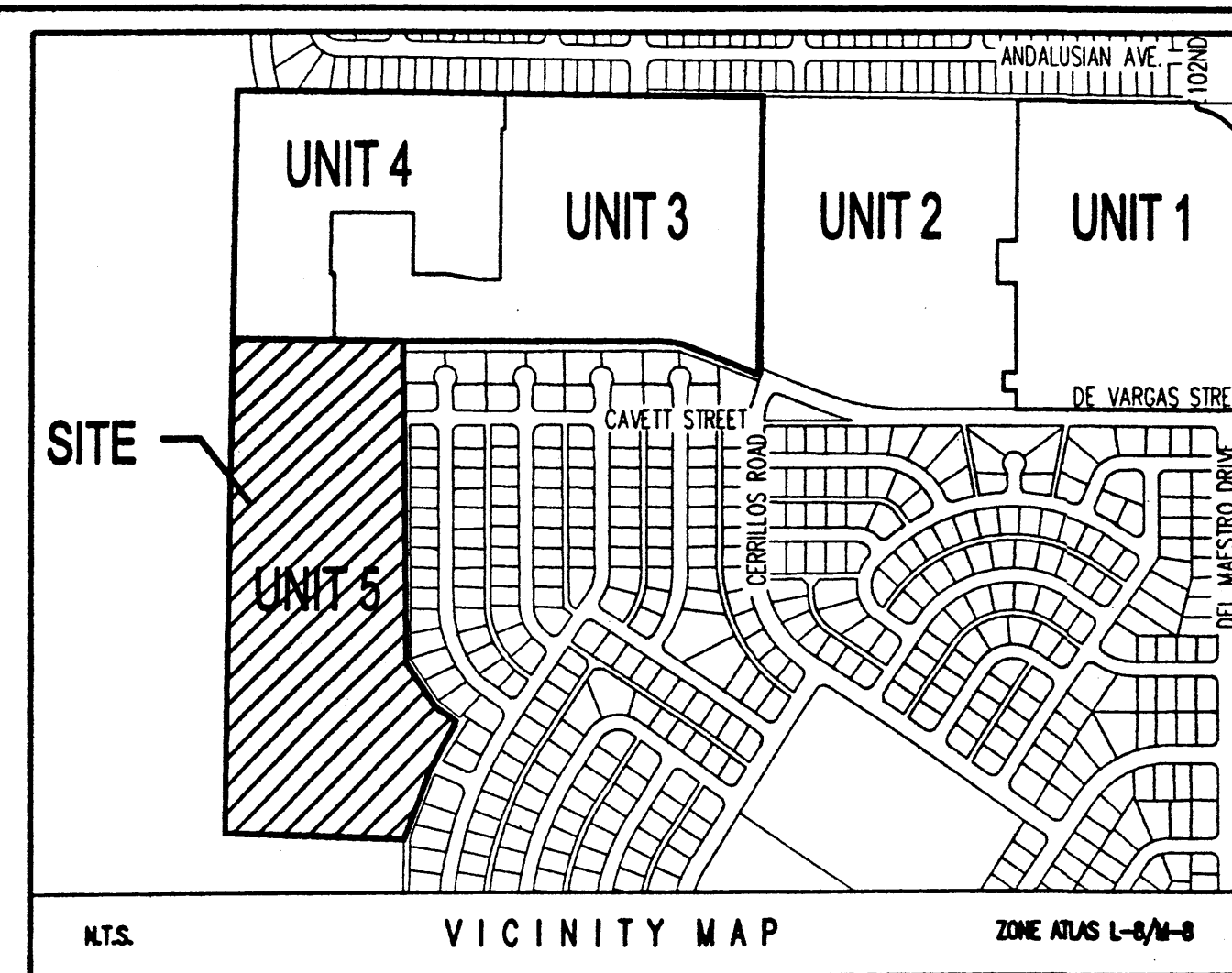


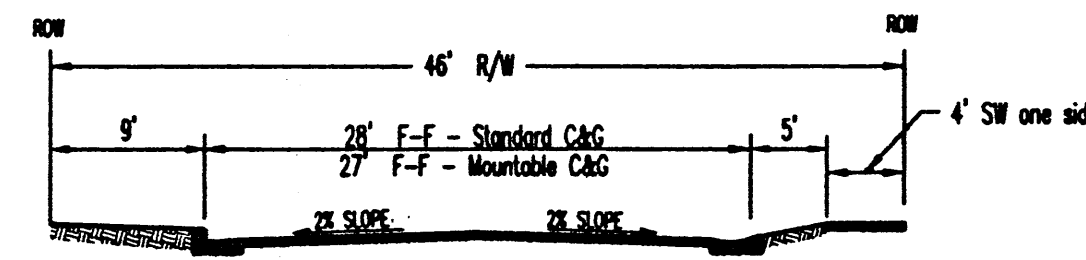


TYPICAL LOT DETAIL
FOR SINGLE FAMILY DETACHED DWELLINGS

N.T.S.

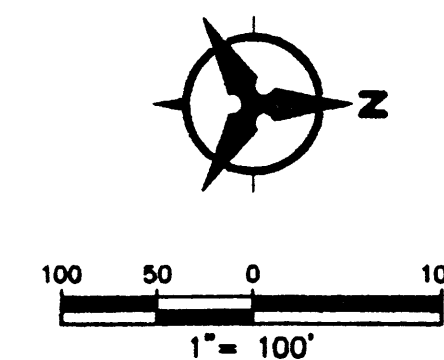
NOTE:
1. FRONT, SIDE AND REAR YARD SETBACKS
ARE AS INDICATED ABOVE.

2. BUILDING HEIGHTS SHALL NOT EXCEED 28 FT.



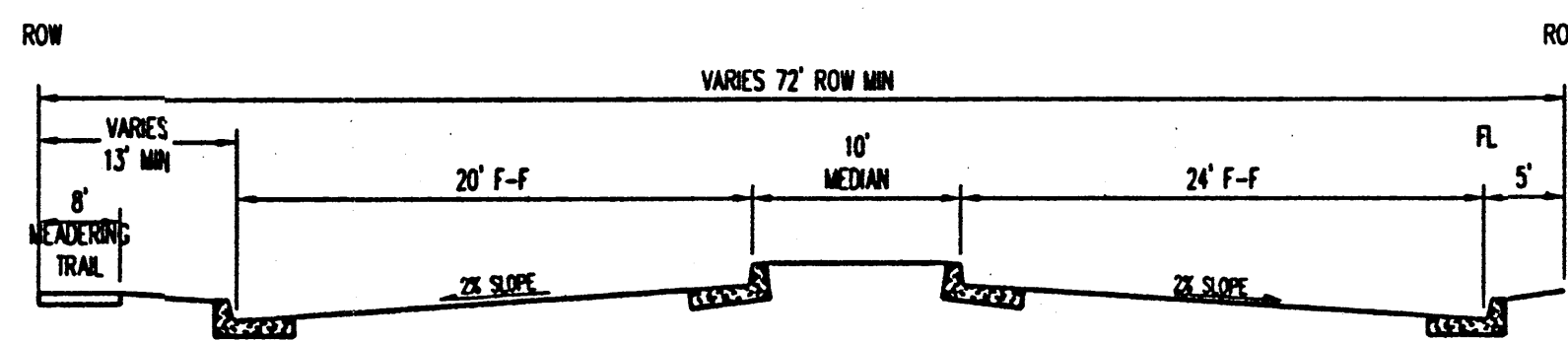
NOTE: Standard Vs. Mountable
C&G location to be
determined by Drainage
Requirements

TYPICAL 40' ROW STREET SECTION
N.T.S.

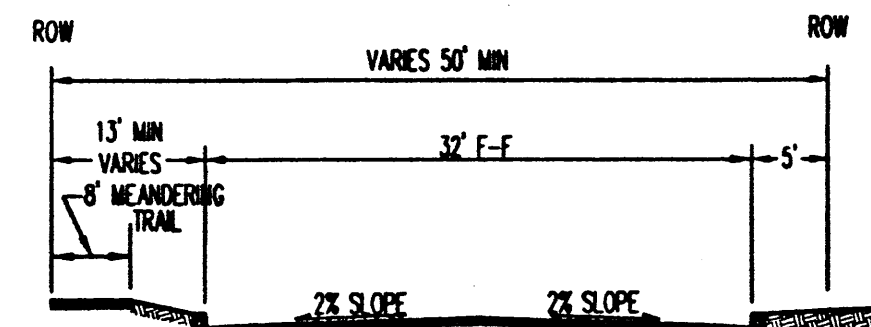


PRELIMINARY PLAT FOR TIMARRON WEST UNIT 5

COMPRISED OF PORTIONS OF
TRACT 2, LANDS OF GREVEY/LIBERMAN AND LUTHERMAN CHURCH PROPERTY
SITUATE WITHIN
THE TOWN OF ATRISCO GRANT
"PROJECTED" SECTION 32, T10N, R2E, N.M.P.M.
BERNALILLO COUNTY, NEW MEXICO
MAY, 1998

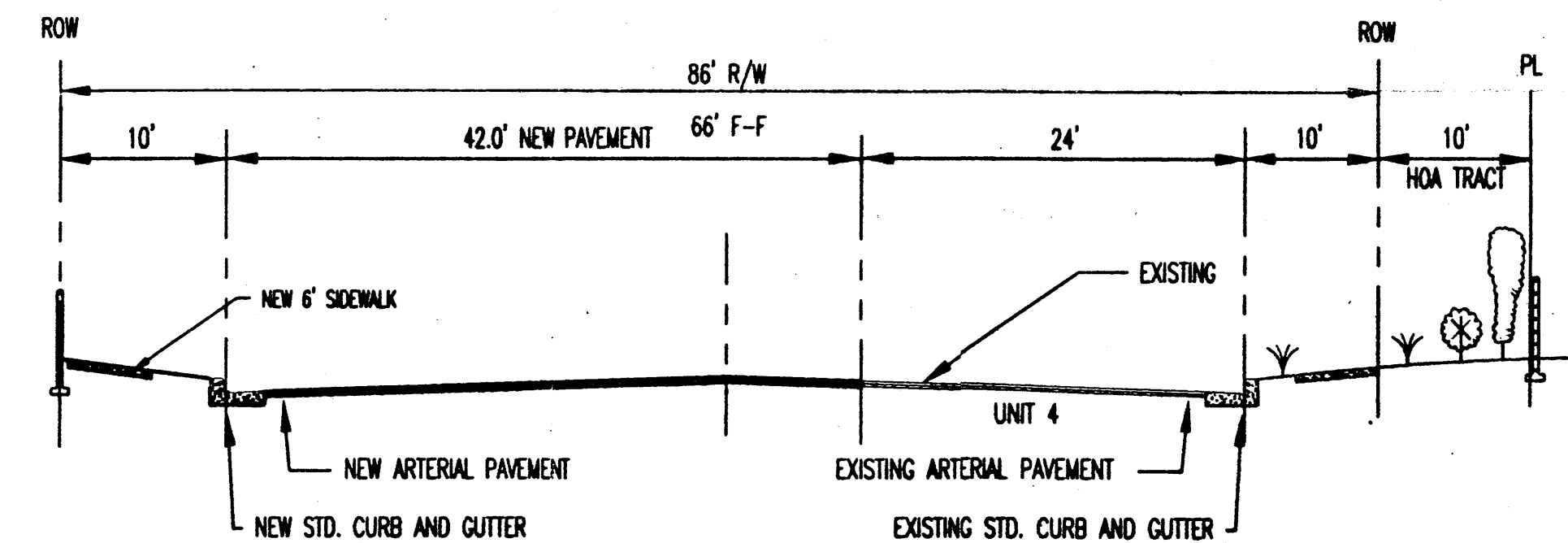


OSPREY DRIVE ENTRANCE SECTION
N.T.S.



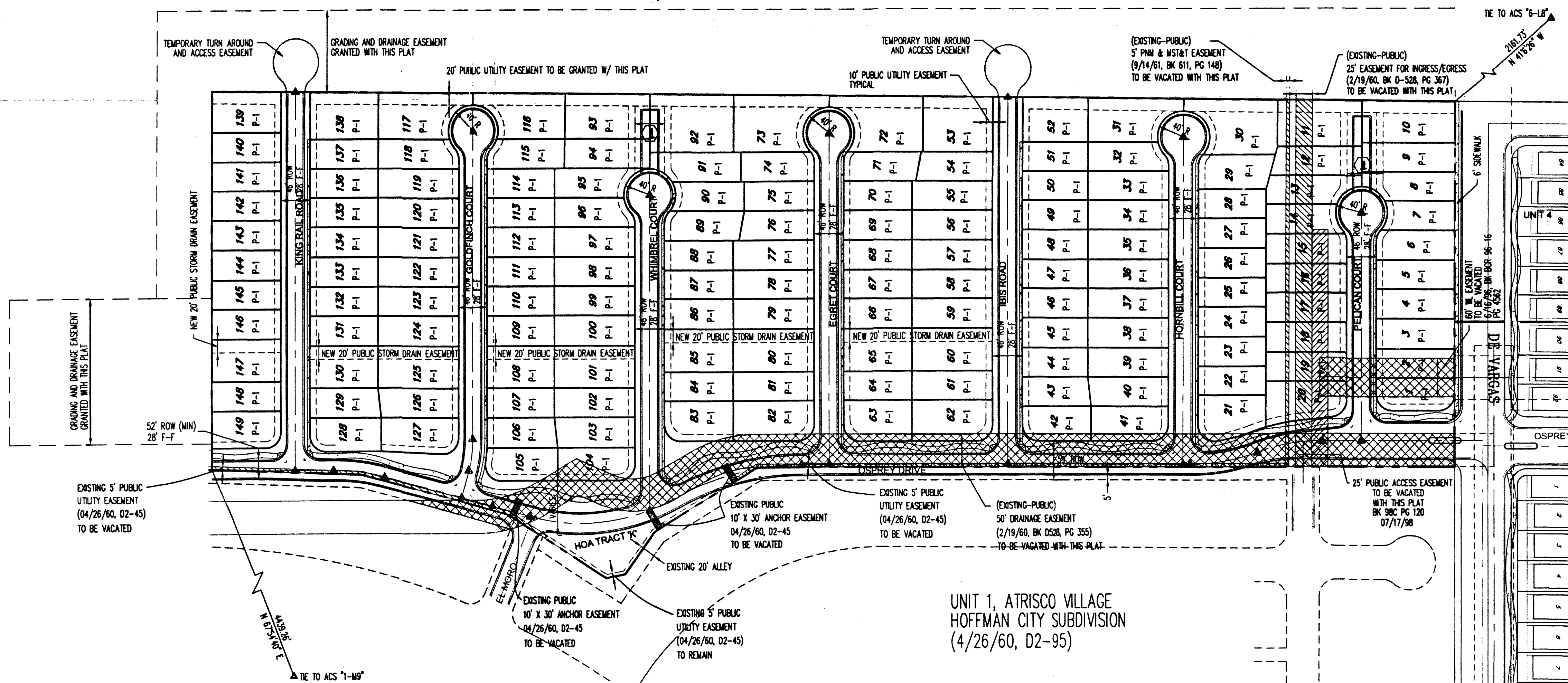
OSPREY DRIVE TYPICAL
N.T.S.

① 45' PRIVATE ACCESS EASEMENT
20' F-F TO BE MAINTAINED BY THE HOA



PROPOSED SECTION - DE VARGAS ROAD SW
N.T.S.

TRACT 3
LANDS OF GREVEY / LIBERMAN



SURVEY NOTES:

1. ALL BOUNDARY CORNERS ARE MARKED AS SHOWN.
2. ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN THIS (A) WILL BE MARKED BY A FOUR (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB, P.L.S. 5878"
3. THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
4. BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE GRID BEARINGS.
5. DISTANCES SHALL BE GROUND DISTANCES.
6. MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW THE USE OF CENTERLINE MONUMENTATION.

APPROVED FOR MONUMENTATION AND STREET NAMES

[Signature] 5-25-00
CITY SURVEYOR DATE

SITE DATA

ZONE ATLAS NO.	L-8-Z/M-8-Z
FEMA MAP NO.	3500100338 D
ZONING	SU-1 PRO 9 DU/AC
MILES OF FULL WIDTH STREETS CREATED	1.1
NO. OF EXISTING PARCELS	2
NO. OF LOTS CREATED	149
DENSITY	5.67 DU/AC
NO. OF H.O.A. TRACTS CREATED (TRACT K)	1
AREA	26.27 ACRES

GENERAL NOTES:

1. EXISTING ZONING: SU-1 PRO 9 DU/AC
PROPOSED ZONING: NO CHANGE
PROPOSED DEVELOPMENT:
SINGLE FAMILY DETACHED RESIDENTIAL
2. PROPOSED NET ACREAGE 26.27 ACRES
NUMBER OF LOTS 149 D.U.
PROPOSED DENSITY 5.67 D.U./ACRE
3. TYPICAL LOT DIMENSIONS: 45'x105'
MIN/MAX LOT DIMENSIONS: 45'x105' MIN., 87'x125' MAX.
SMALLEST MINIMUM LOT AREA: 4725 SQ. FT.
4. ALL STREETS, UTILITIES, AND STORM DRAIN IMPROVEMENTS ARE TO BE PUBLIC, AND TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR MAINTENANCE, EXCEPT STUB STREETS AT PELICAN COURT AND WHIMBREL COURT ARE PRIVATE ACCESS STREETS TO BE MAINTAINED BY THE HOA
5. LOT SETBACKS SHALL CONFORM TO R-1 ZONING REQUIREMENTS
6. NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO DE VARGAS ROAD OR 114TH STREET.

OWNER/DEVELOPER

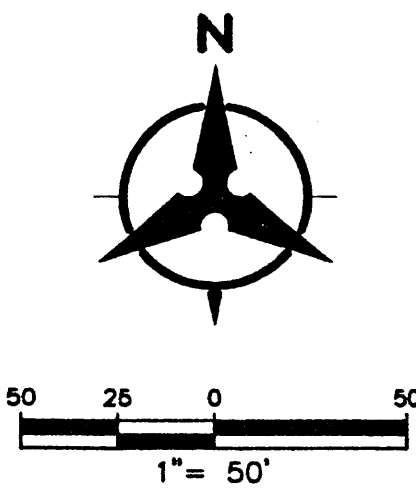
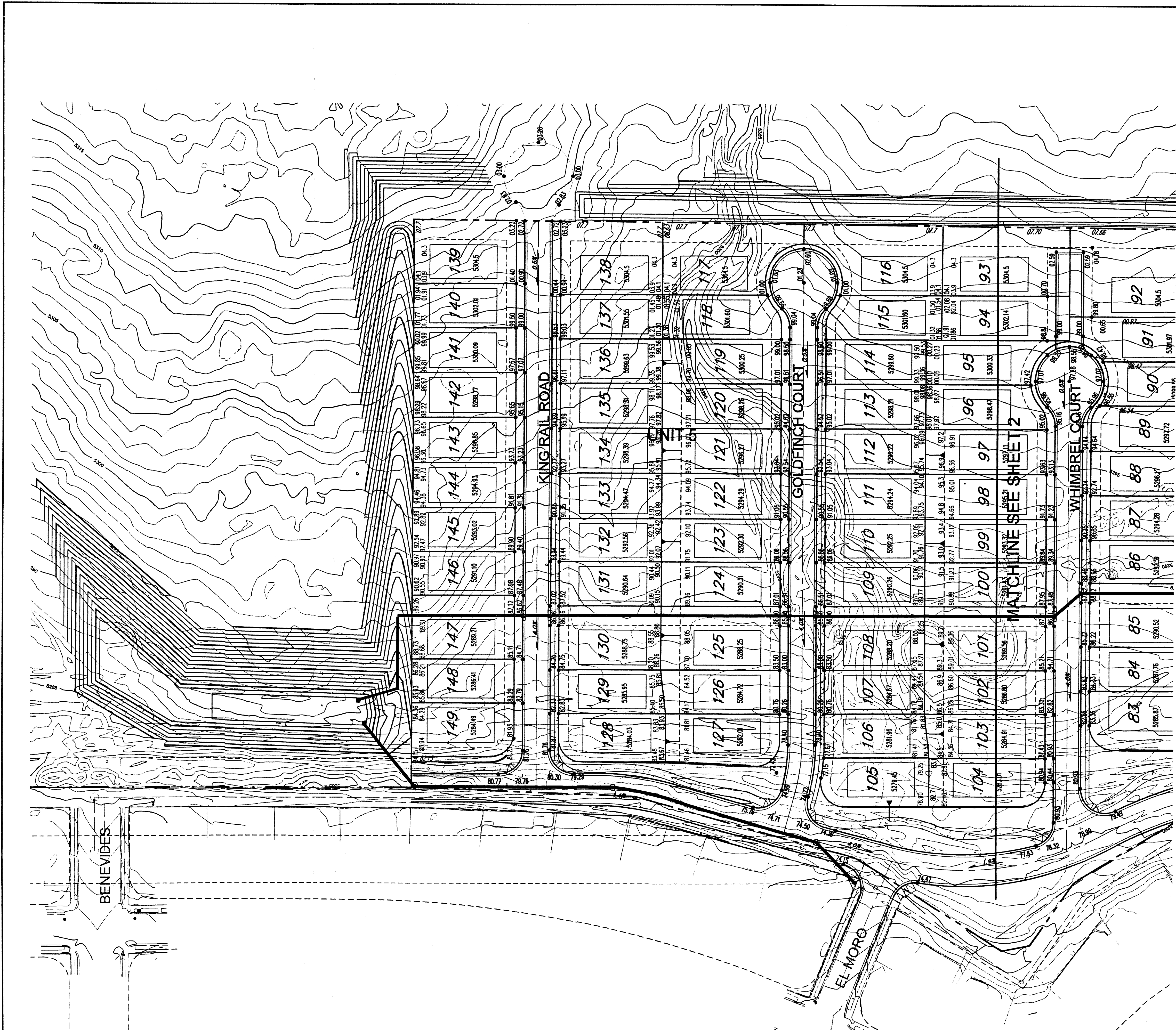
CENTEX HOMES
6700 JEFFERSON NE BUILDING B
ALBUQUERQUE, NEW MEXICO 87109
PHONE: (505) 761-9606

[Signature] 5/26/00
CENTEX HOMES DATE

Bohannon & Huston

County One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS



LEGEND	
• 86.43	PROPOSED TOP OF CURB ELEVATION
• 86.4	PROPOSED SPOT ELEVATION
• 86.0	EXISTING SPOT ELEVATION (GRND & TC)
--- 86.0	EXISTING CURB & GUTTER
---	PROPOSED MOUNTABLE CURB & GUTTER
---	PROPOSED STANDARD CURB & GUTTER
--- 4973	EXISTING CONTOUR W/ INDEX ELEVATION
PO	EXISTING POWER POLE
---	OVERHEAD ELECTRIC LINE
---	EXISTING WATER MAIN
---	SWALE
---	FLOW ARROW
---	PROPOSED RETAINING WALL
---	PROPOSED GARDEN WALL
---	PROPOSED SLOPE
*	MANDATORY DRIVEWAY LOCATION
---	EXISTING UNIT

NOTE: ALL ELEVATIONS ARE IN THE 5000 RANGE.

**Bohannon & Huston**

Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TIMARRON WEST UNIT 5
GRADING & EROSION CONTROL PLAN

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of	
	M-8	1	3	

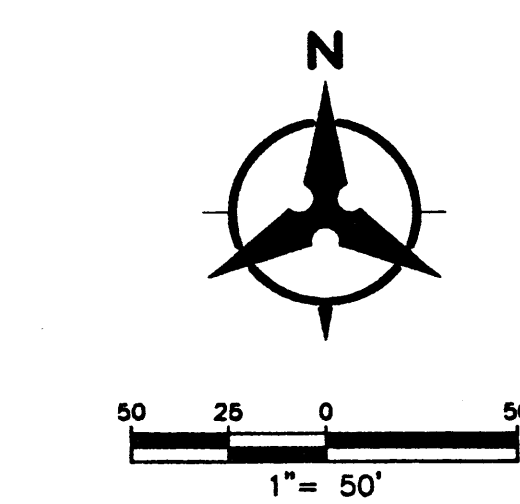
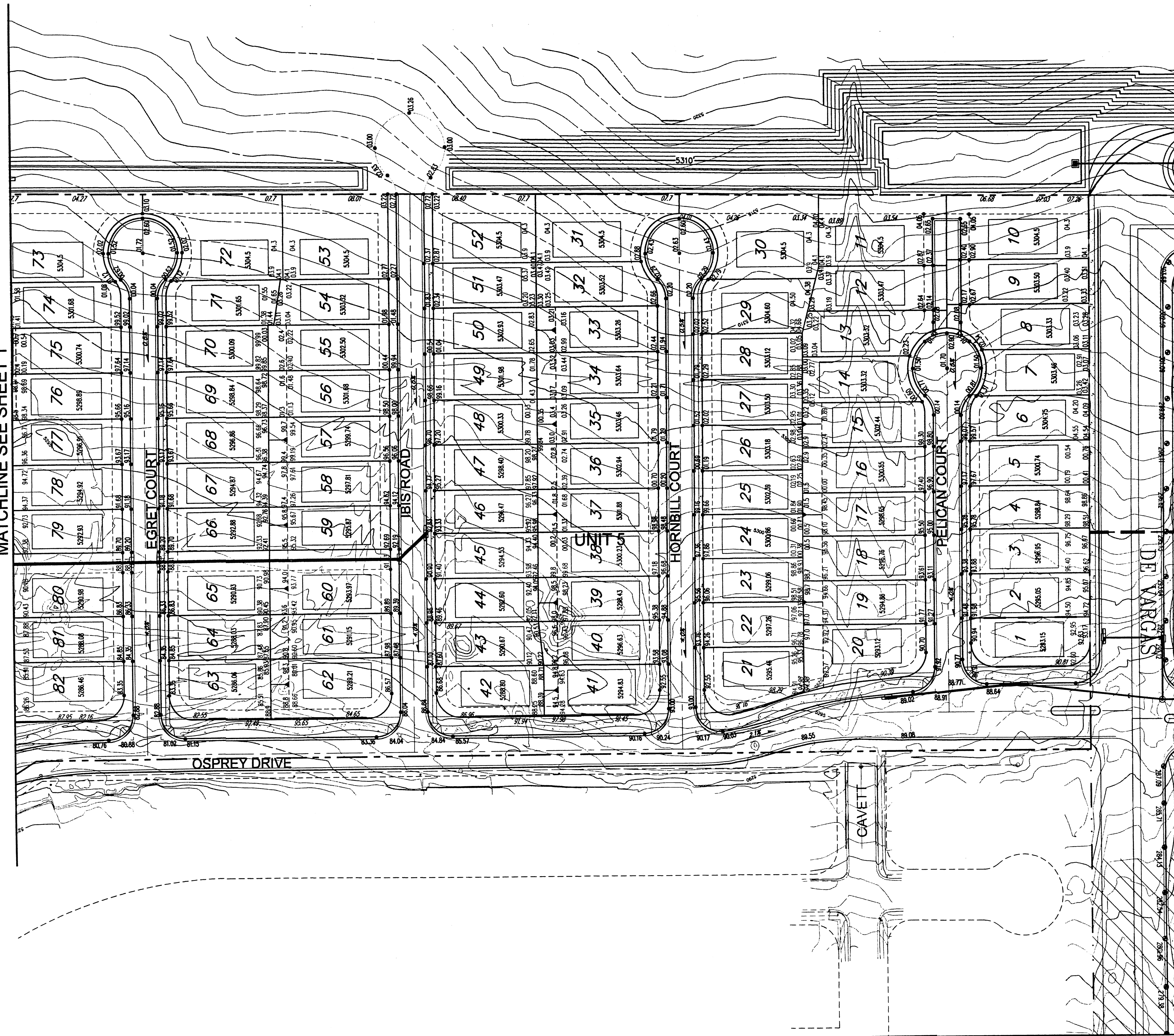
SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	DATE	CONTRACTOR	DATE	CONTRACTOR	DATE
		ACS Alum. cop stamped "6-18, 1988"			
		Geographic Position (NAD 1927)			
		N.M. State Plane Coordinates (Central Zone)			
		X= 346,973.32 Y= 1,477,645.64			
		Ground-to-Grid Factor= 0.99966339			
		U.S. 1929 Elevation= 5383.906'			



REVISIONS		REMARKS	
No.	Date	By	Remarks
			DESIGN

Designed By: _____
Drawn By: _____
Checked By: _____
DATE: _____
DATE: _____

MATCHLINE SEE SHEET 1



LEGEND

• 88.43	PROPOSED TOP OF CURB ELEVATION	—	SWALE
• 88.0	PROPOSED SPOT ELEVATION	→	FLOW ARROW
⊙ 88.0	EXISTING SPOT ELEVATION (GRID & TC)	—	PROPOSED RETAINING WALL
—	EXISTING CURB & GUTTER	—	PROPOSED GARDEN WALL
—	PROPOSED MOUNTABLE CURB & GUTTER	—	PROPOSED SLOPE
—	PROPOSED STANDARD CURB & GUTTER	—	MANDATORY DRIVEWAY LOCATION
— 4973	EXISTING CONTOUR W/ INDEX ELEVATION	—	EXISTING UNIT
— PP	EXISTING POWER POLE		
— — —	OVERHEAD ELECTRIC LINE		
— — —	EXISTING WATER MAIN		

NOTE: ALL ELEVATIONS ARE IN THE 5000 RANGE.

Bohannon & Huston
City and County Engineer
7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

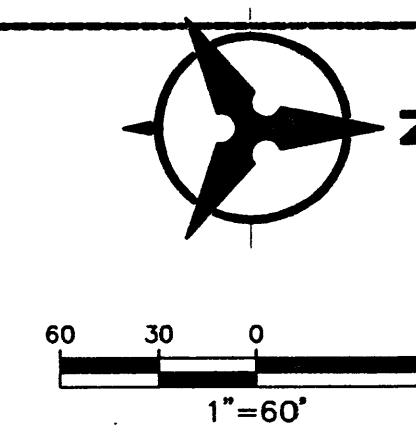
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
TIMARRON WEST UNIT 5
GRADING & EROSION CONTROL PLAN

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. Zone Map No. M-8 Sheet 2 Of 3

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
		NO.	BY	DATE	CONTRACTOR	DATE	DATE
					ACS Alum. cap stamped "6-18, 1988"		
					Geographic Position (NAD 1927)		
					N.M. State Plane Coordinates (Central Zone)		
					Drawn By: 346,973.32 Y= 1,477,645.64		
REVISIONS		DESIGN		MICRO-FILM INFORMATION		RECORDED BY	
Designed By		Drawn By		DATE		DATE	



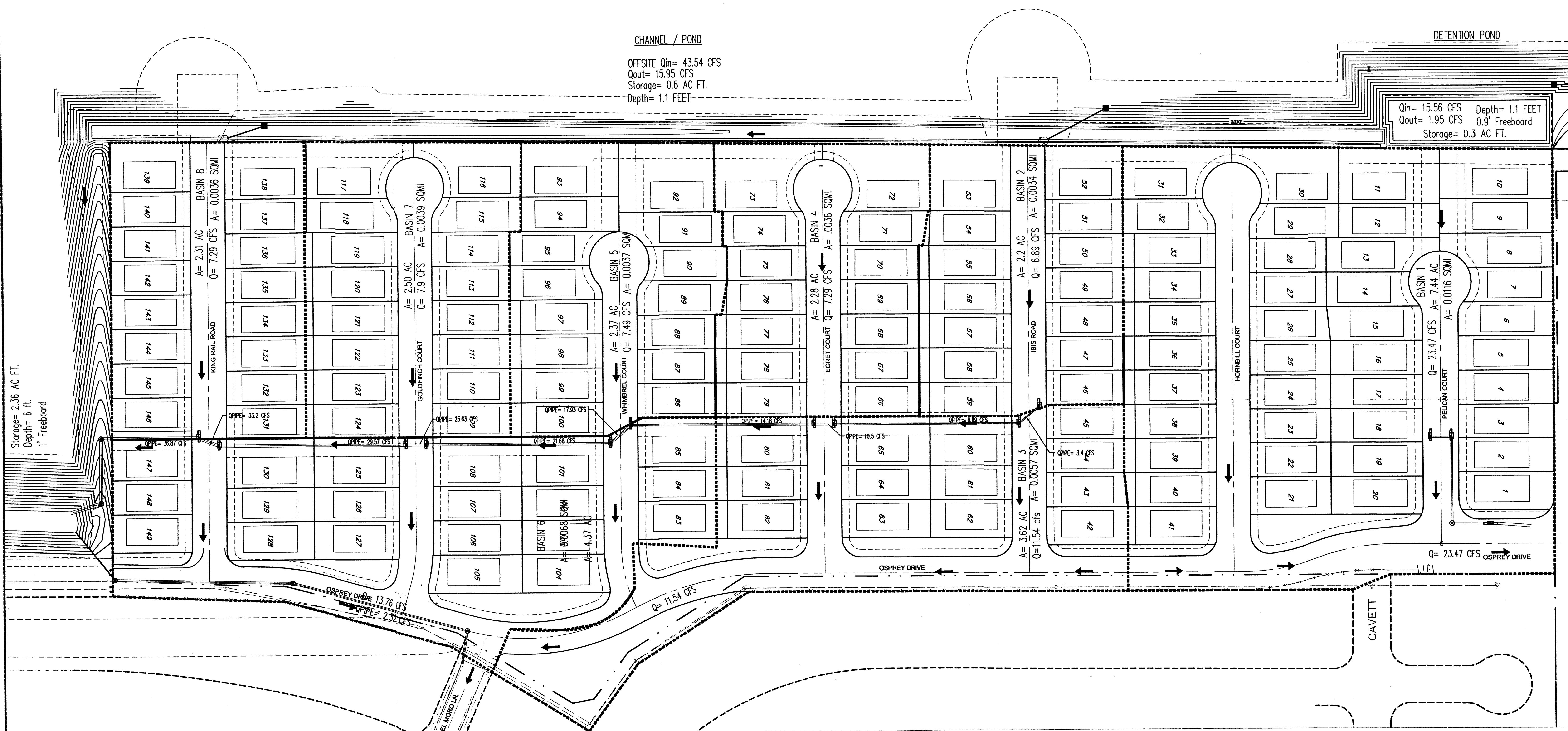


CHANNEL / POND

OFFSITE $Q_{in} = 43.54$ CFS
 $Q_{out} = 15.95$ CFS
Storage= 0.6 AC FT.
Depth= 1.4 FEET

DETENTION POND

$Q_{in} = 15.56$ CFS Depth= 1.1 FEET
 $Q_{out} = 1.95$ CFS 0.9' Freeboard
Storage= 0.3 AC FT.



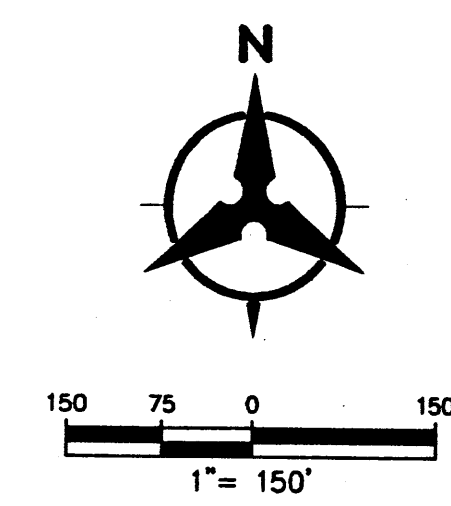
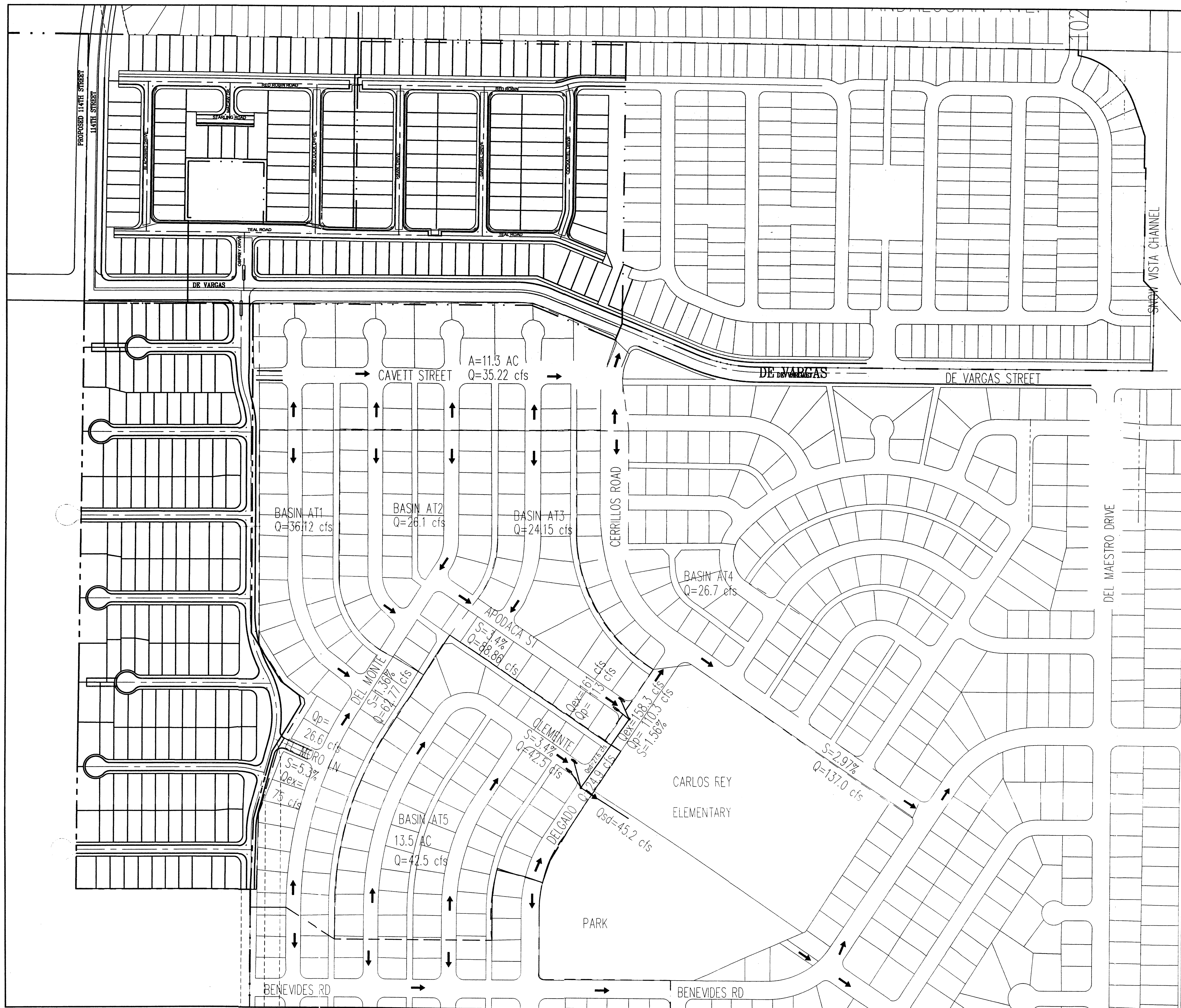
Storage= 2.36 AC FT.
Depth= 6 ft.
1' Freeboard

PLATE 3

TIMARRON WEST UNIT 5
PROPOSED CONDITIONS
BASIN MAP

Bolannan & Huston

Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS



Bolannan & Huston
Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
ATRISCO VILLAGE BASIN MAP
PLATE 4

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of	

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
		FIELD NOTES					
		NO.	BY	DATE		DATE	
		REMARKS					
		DESIGN					
		By					
		DATE:					
		Checked By:					
		DATE:					
		MICRO-FILM INFORMATION					
		RECORDED BY					
		DATE					
		NO.					