

# CITY OF ALBUQUERQUE



December 17, 2015

Fred Arfman, PE  
**ISAACSON & ARFMAN, P.A.**  
128 Monroe Street NE  
Albuquerque, NM 87108

Richard J. Berry, Mayor

**RE: Westgate Heights Park Addition, Unit 2 (File: M09D008B)**  
**8810 Sonya Ave. SW**  
**Grading Plan and Drainage Plan**  
**Engineer's Stamp Date – 12/010/2015**

Dear Mr. Arfman:

Based upon the information provided in your submittal received 12-10-15, the above referenced Grading Plan and Drainage Plan cannot be approved for Grading Permit and Paving Permit until the following comments are addressed.

- Provide spot and contour elevations on the Overall Grading and Drainage Plan sheet.
- Provide flow line elevations at the outfall for each proposed sidewalk culvert onsite.
- The total area for historic flows does not match the total area for developed flows in the Calculation section of the Overall Grading and Drainage Plan sheet. Review this information to ensure the total basin area for existing and proposed conditions match.
- The area of land treatment D used in the First Flush calculation shown appears to be based on information provided in the previous submittal. Update the First Flush calculation on the Grading General Notes and Details sheet to reflect the changes to the area of land treatment D shown in the Calculation section of the Overall Grading and Drainage Plan sheet.

PO Box 1293

Albuquerque

New Mexico 87103

If you have any questions, you can contact me at 924-3421.

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Rudy Archuleta, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

Orig: Drainage file  
c.pdf Addressee via Email



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Westgate Heights Park Building Permit #: \_\_\_\_\_ City Drainage #: M09/D008B

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Westgate Heights Park Addition, Unit 2

City Address: 8810 Sonya Ave. SW - Albuquerque, NM

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman

Address: 128 Monroe Street NE - Albuquerque, NM 87108

Phone#: (505) 268-8828 Fax#: \_\_\_\_\_ E-mail: freda@iacivil.com

Owner: City of Albuquerque Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: Morrow Reardon Wilkinson Miller, Ltd Contact: \_\_\_\_\_

Address: 210 La Veta Drive NE - Albuquerque, NM 87108

Phone#: (505) 268-2266 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

☒ ENGINEER ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☒ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: December 10, 2015

By: Fred C. Arfman

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL

☐ SITE PLAN FOR SUB'D APPROVAL

☐ SITE PLAN FOR BLDG. PERMIT APPROVAL

☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE

☐ FOUNDATION PERMIT APPROVAL

☒ GRADING PERMIT APPROVAL

☐ SO-19 APPROVAL

☒ PAVING PERMIT APPROVAL

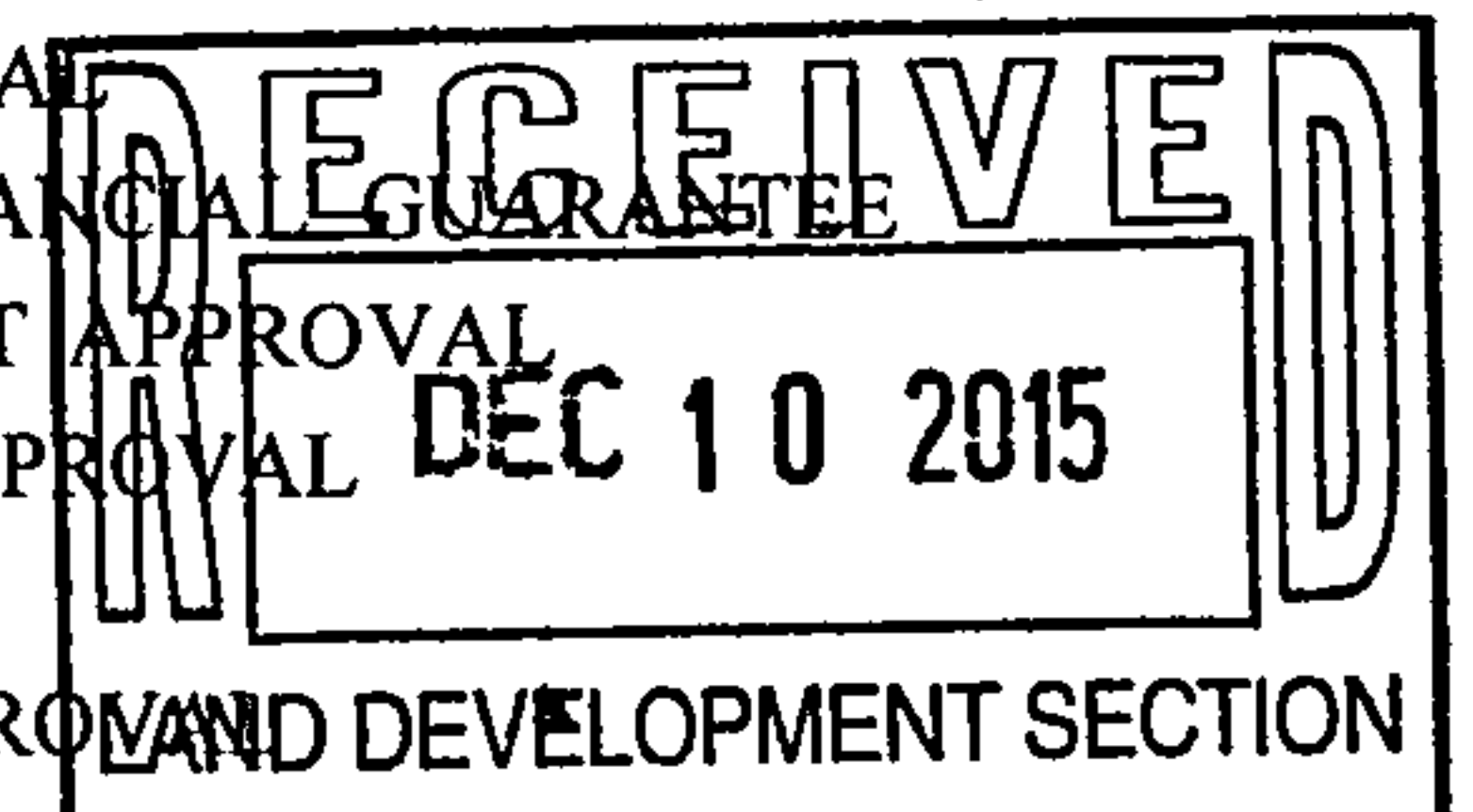
☒ GRADING/ PAD CERTIFICATION

☐ WORK ORDER APPROVAL

☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING

☐ OTHER (SPECIFY) \_\_\_\_\_



COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



Bryan Bobrick &lt;bryanb@iacivil.com&gt;

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**Westgate Heights Park - Hydrology Submittal**

1 message

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**Bryan Bobrick** <bryanb@iacivil.com>

Thu, Dec 10, 2015 at 8:42 AM

To: COA Planning Development Review Services &lt;PLNDRS@cabq.gov&gt;

Cc: Fred Arfman &lt;freda@iacivil.com&gt;, John Pope &lt;jpope@mrwmla.com&gt;

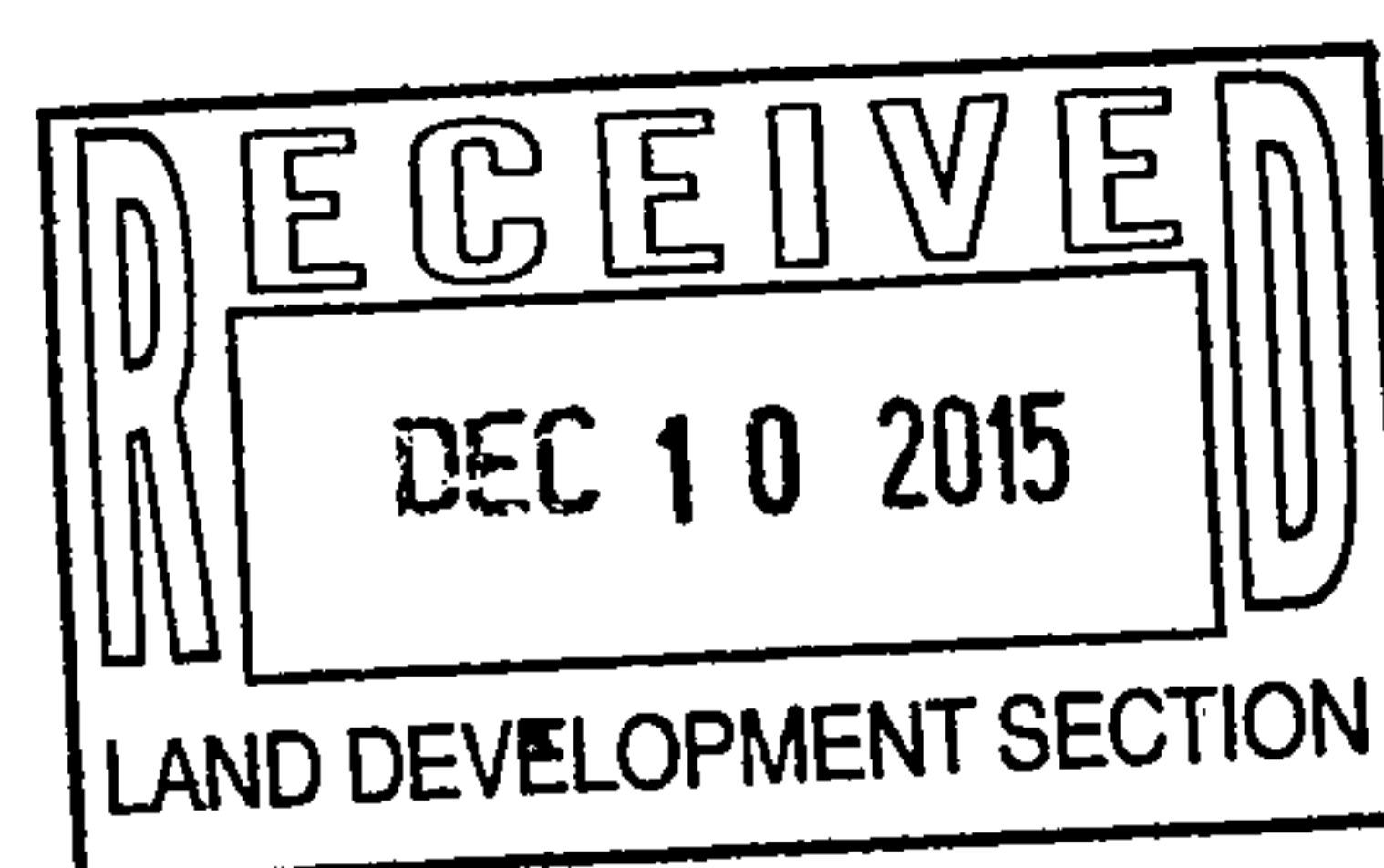
**Bryan Bobrick**  
**Isaacson & Arfman, P.A.**  
128 Monroe N.E.  
Albuquerque, NM 87108  
(505) 268-8828

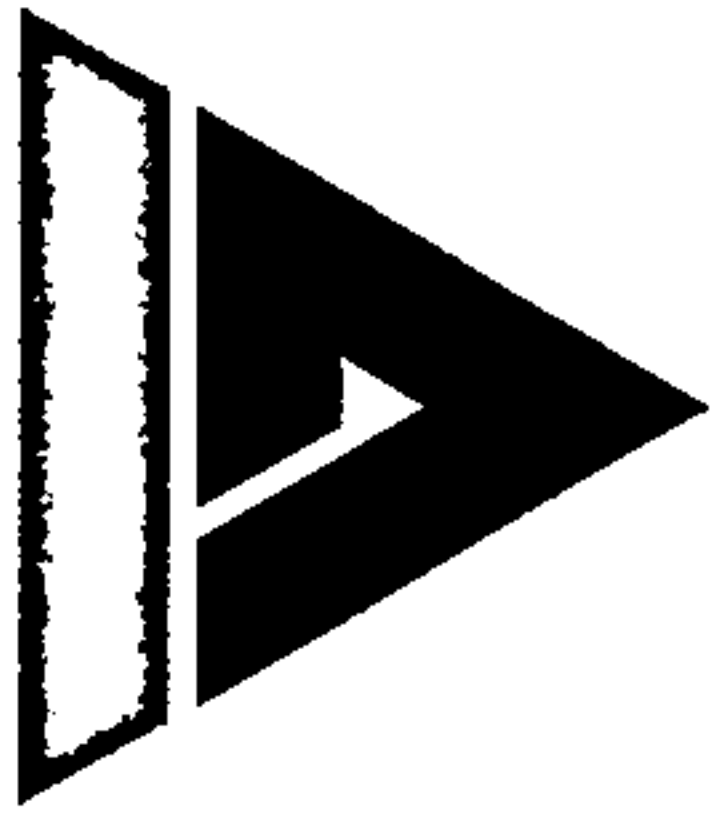


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**2096 GRADING SIGNED 12-09-15.pdf**

4090K





December 8, 2015

City of Albuquerque Hydrology  
Mr. Rudy Archuleta P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

RE: WESTGATE HEIGHTS PARK ADDITION (M09d008B) – HYDROLOGY SUBMITTAL  
FOR BUILDING PERMIT REVIEW

Dear Mr. Archuleta,

Attached with this plan is a revised Grading and Drainage plan for your review. Revisions were made in response to site plan revisions and per your review comments dated December 1, 2015. The following bulleted response corresponds to your review comments:

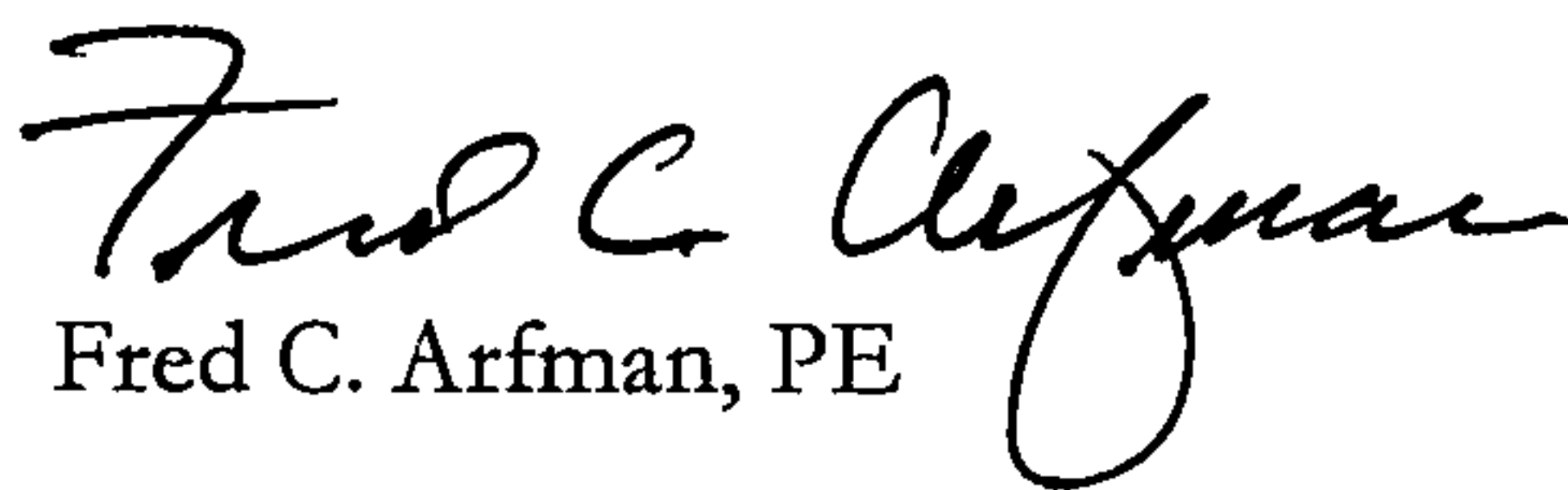
- The overall park property is an existing park which consists of one overall drainage basin with flow discharging from the site at the existing sidewalk culvert at the southeast end of the property. As part of the improvements, depressed landscaping / water harvesting is provided to utilize stormwater for landscaping. No specific volume is required. There are ~~two~~ **THREE** First Flush retention ponds provided for runoff from impervious areas. Calculations for these ponds are included on the plans.
- Total discharge from the proposed redeveloped park property is reduced from the current discharge due to the addition of the self-ponding playground area, and the reduction of impervious compacted dirt. Discharge to 86<sup>th</sup> street has been reduced from 20.5 cfs to ~~17.7~~ **13.9** cfs (total – playground). The addition of depressed water harvesting basins throughout the property are not included in the reduction although these will impact overall discharge.
- General Note “Z” has been deleted. General Note “Q” addresses the stormwater control permit requirement.
- The open area at the northwest corner is a playground with 12” of playground material. This area will self-pond with stormwater infiltrating into the ground. The landscape architect requested a flat playground to minimize the likelihood of the playground material flowing to a low end. I have added the playground structures in the background for clarification.
- Existing flowline, top of curb and sidewalk elevations are provided at all proposed drive pad and ADA ramp locations.
- Optional valley gutter added across drive to potentially reduce maintenance.
- All curb cuts are key noted.



- Both first flush ponds are intended to provide volume required for first flush retention and will discharge flow in excess of required capacity at the curb opening and at the existing covered sidewalk culvert to 86<sup>th</sup> Street.
- Covered Sidewalk Culvert supplemental note is provided on Sheet 7.
- The Demolition Plan is included as part of the Landscape Architects Construction Documents.

Please don't hesitate to call me with any questions or comments.

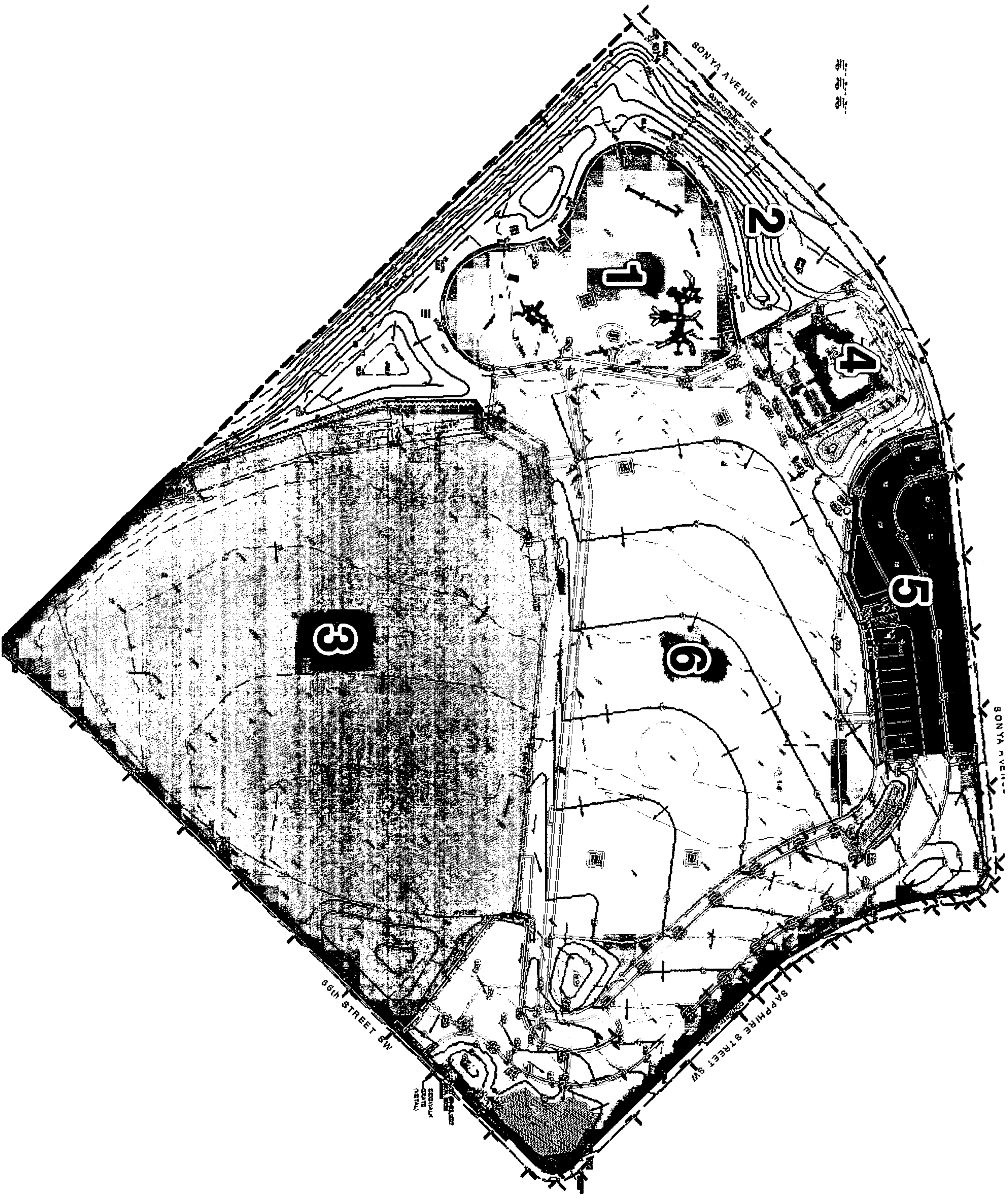
Sincerely,  
Isaacson & Arfman, PA

  
Fred C. Arfman, PE

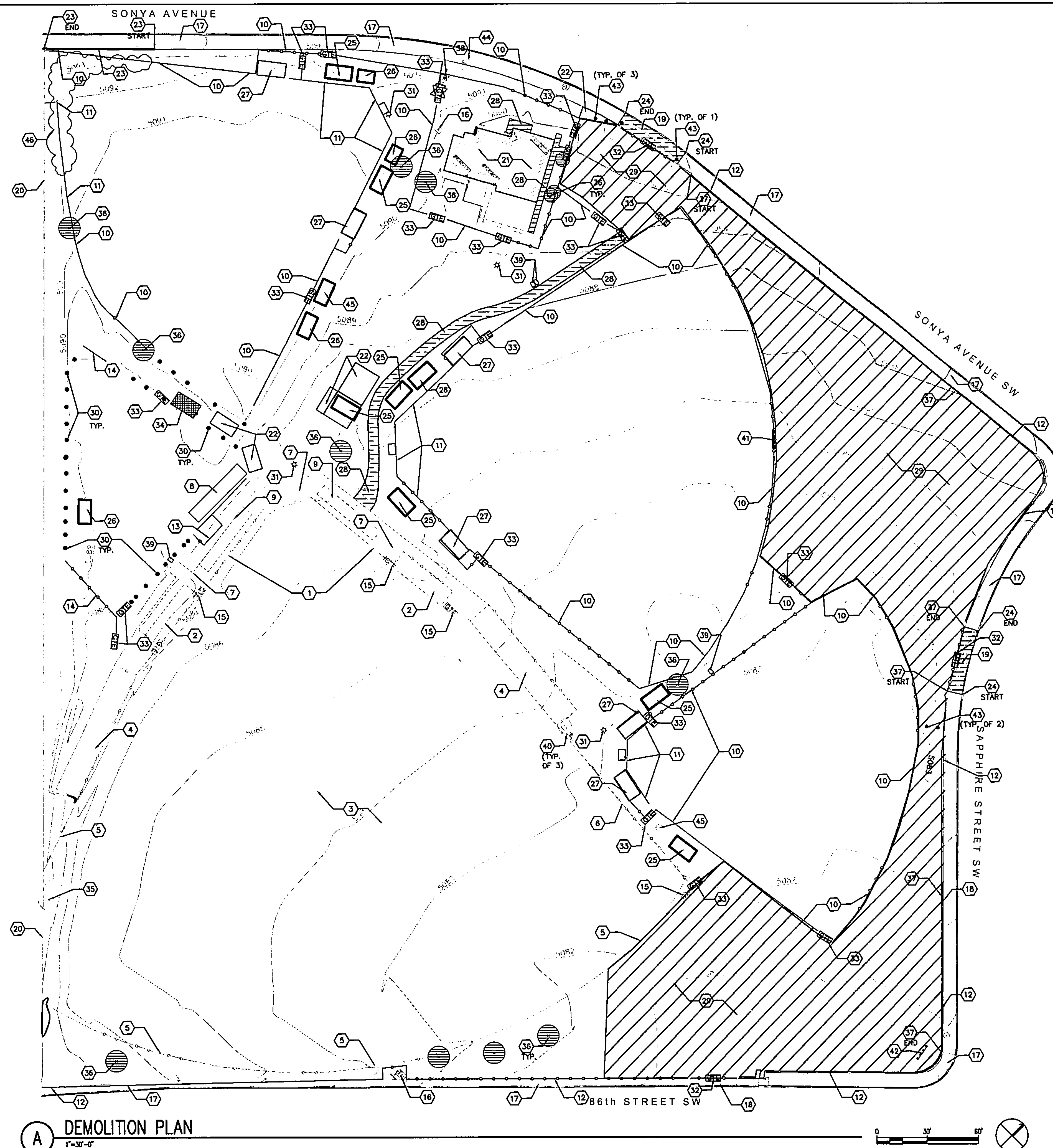
<b>BASIN NO.</b>	<b>1</b>	<b>DESCRIPTION</b>	Self-Ponding Playground Area
Area of basin flows =	21166	SF	= 0.5 Ac.
The following calculations are based on Treatment areas as shown in table to the right			
Sub-basin Weighted Excess Precipitation (see formula above)		LAND TREATMENT	
Weighted E =	1.06 in.	A =	0%
Sub-basin Volume of Runoff (see formula above)		B =	100%
V <sub>360</sub> =	1877 CF	C =	0%
Sub-basin Peak Discharge Rate: (see formula above)		D =	20%
Q <sub>P</sub> =	1.4 cfs	FIRST FLUSH VOL.	
		120 CF	
<b>BASIN NO.</b>	<b>2</b>	<b>DESCRIPTION</b>	Landscape
Area of basin flows =	35000	SF	= 0.8 Ac.
The following calculations are based on Treatment areas as shown in table to the right			
Sub-basin Weighted Excess Precipitation (see formula above)		LAND TREATMENT	
Weighted E =	0.88 in.	A =	0%
Sub-basin Volume of Runoff (see formula above)		B =	50%
V <sub>360</sub> =	2564 CF	C =	45%
Sub-basin Peak Discharge Rate: (see formula above)		D =	5%
Q <sub>P</sub> =	2.0 cfs	FIRST FLUSH VOL.	
		50 CF	
<b>BASIN NO.</b>	<b>3</b>	<b>DESCRIPTION</b>	Existing Ball Field to Remain
Area of basin flows =	100248	SF	= 2.3 Ac.
The following calculations are based on Treatment areas as shown in table to the right			
Sub-basin Weighted Excess Precipitation (see formula above)		LAND TREATMENT	
Weighted E =	0.88 in.	A =	0%
Sub-basin Volume of Runoff (see formula above)		B =	50%
V <sub>360</sub> =	7343 CF	C =	45%
Sub-basin Peak Discharge Rate: (see formula above)		D =	5%
Q <sub>P</sub> =	5.8 cfs	FIRST FLUSH VOL.	
		142 CF	
<b>BASIN NO.</b>	<b>4</b>	<b>DESCRIPTION</b>	Existing Concessions Bldg
Area of basin flows =	8153	SF	= 0.2 Ac.
The following calculations are based on Treatment areas as shown in table to the right			
Sub-basin Weighted Excess Precipitation (see formula above)		LAND TREATMENT	
Weighted E =	1.28 in.	A =	0%
Sub-basin Volume of Runoff (see formula above)		B =	0%
V <sub>360</sub> =	872 CF	C =	70%
Sub-basin Peak Discharge Rate: (see formula above)		D =	30%
Q <sub>P</sub> =	0.6 cfs	FIRST FLUSH VOL.	
		69 CF	
<b>BASIN NO.</b>	<b>5</b>	<b>DESCRIPTION</b>	Sub-Basin to First Flush Retention Pond #1
Area of basin flows =	14583	SF	= 0.3 Ac.
The following calculations are based on Treatment areas as shown in table to the right			
Sub-basin Weighted Excess Precipitation (see formula above)		LAND TREATMENT	
Weighted E =	1.60 in.	A =	0%
Sub-basin Volume of Runoff (see formula above)		B =	10%
V <sub>360</sub> =	1938 CF	C =	25%
Sub-basin Peak Discharge Rate: (see formula above)		D =	65%
Q <sub>P</sub> =	1.3 cfs	FIRST FLUSH VOL.	
		269 CF	
<b>BASIN NO.</b>	<b>6</b>	<b>DESCRIPTION</b>	Sub-Basin to First Flush Retention Pond #2
Area of basin flows =	119947	SF	= 2.8 Ac.
The following calculations are based on Treatment areas as shown in table to the right			
Sub-basin Weighted Excess Precipitation (see formula above)		LAND TREATMENT	
Weighted E =	1.17 in.	A =	0%
Sub-basin Volume of Runoff (see formula above)		B =	50%
V <sub>360</sub> =	11725 CF	C =	15%
Sub-basin Peak Discharge Rate: (see formula above)		D =	35%
Q <sub>P</sub> =	8.2 cfs	FIRST FLUSH VOL.	
		1189 CF	

$$Q_{flow} = 19.3 \text{ cfs}$$









## DEMOLITION KEYED NOTES

1. EXISTING BACKSTOP TO REMAIN.
2. EXISTING DUGOUT TO REMAIN.
3. EXISTING BASEBALL FIELD TO REMAIN.
4. EXISTING BATTING CAGE TO REMAIN.
5. EXISTING 5' HT CHAIN LINK OUTFIELD FENCE TO REMAIN.
6. EXISTING 7' HT CHAIN LINK FENCE TO REMAIN.
7. EXISTING CONCRETE TO REMAIN
8. EXISTING METAL STORAGE CONTAINER TO BE RELOCATED. SEE CONSTRUCTION PLAN FOR NEW LOCATION.
9. EXISTING BLEACHERS TO REMAIN.
11. EXISTING 5' TO 6' HT CHAIN LINK FENCE TO BE REMOVED AND PROPERLY DISPOSED OF.
12. EXISTING 15' HT CHAIN LINK FENCE AND/OR BACKSTOP TO BE REMOVED AND PROPERLY DISPOSED OF.
13. EXISTING 4' HT CHAIN LINK FENCE TO BE REMOVED AND PROPERLY DISPOSED OF.
14. EXISTING 8' HT CHAIN LINK FENCE TO BE REMOVED AND PROPERLY DISPOSED OF.
14. EXISTING 3' HT CHAIN LINK FENCE TO BE REMOVED AN PROPERLY DISPOSED OF.
15. EXISTING GATE TO REMAIN.
16. EXISTING TRANSFORMER TO REMAIN
17. EXISTING SIDEWALK TO REMAIN
18. EXISTING DRIVE PAD TO REMAIN.
19. EXISTING DRIVE PAD TO BE REMOVED AND PROPERLY DISPOSED OF.
20. EXISTING 6" HT CMU WALL TO REMAIN.
21. EXISTING CONCESSION BUILDING TO REMAIN.
22. EXISTING CONCRETE SLAB TO BE REMOVED AND PROPERLY DISPOSED OF.
23. EXISTING RAILROAD THE RETAINING WALL TO BE REMOVED AND PROPERLY DISPOSED OF.
24. EXISTING GUTTER TO BE REMOVED AND PROPERLY DISPOSED OF, SEE CONSTRUCTION PLAN FOR NEW CURB AND GUTTER.
25. EXISTING BLEACHER CONCRETE SLAB TO BE REMOVED AND PROPERLY DISPOSED OF.
26. EXISTING BLEACHER TO BE REMOVED AND PROPERLY DISPOSED OF.
27. EXISTING CMU DUGOUT WITH CONCRETE FLOOR AND WOOD ROOF TO BE REMOVED AND PROPERLY DISPOSED OF.
28. EXISTING CONCRETE WALK TO BE REMOVED AND PROPERLY DISPOSED OF.
29. EXISTING ASPHALT TO BE REMOVED AND PROPERLY DISPOSED OF.
30. EXISTING FENCE POST AND CONCRETE FOOTING TO BE REMOVED AND PROPERLY DISPOSED OF.
31. EXISTING LIGHT POLE AND CONCRETE FOOTING TO BE REMOVED AND PROPERLY DISPOSED OF.
32. EXISTING PIPE GATE TO BE REMOVED AND PROPERLY DISPOSED OF.
33. EXISTING CHAIN LINK GATE TO BE REMOVED AND PROPERLY DISPOSED OF.
34. EXISTING ROOF AND METAL COLUMNS TO BE REMOVED AND PROPERLY DISPOSED OF.
35. EXISTING TREE TO REMAIN
36. EXISTING TREE TO BE REMOVED AND PROPERLY DISPOSED OF, GRIND STUMP TO 18" BELOW FINISH GRADE AND FILL VOID WITH CLEAN FILL DIRT.
37. EXISTING METAL STEEL EDGING AT BACK OF SIDEWALK TO BE REMOVED AND PROPERLY DISPOSED OF.
38. EXISTING BACKFLOW PREVENTER TO REMAIN.
39. EXISTING VALVE TO BE REMOVED AND PROPERLY DISPOSED OF.
40. EXISTING VALVE TO REMAIN. ADJUST HEIGHT OF VALVE BOX AS REQUIRED TO BE FLUSH WITH PROPOSED FINISHED GRADE.
41. EXISTING BASEBALL SCOREBOARD TO BE REMOVED AND PROPERLY DISPOSED OF.
42. EXISTING WESTGATE LITTLE LEAGUE SIGN TO REMAIN.
43. METAL BOLLARD FOOTING TO BE REMOVED AND PROPERLY DISPOSED OF.
44. EXISTING 2" WATER METER TO REMAIN.
45. EXISTING STUMP TO BE REMOVED AND PROPERLY DISPOSED OF, GRIND STUMP TO 18" BELOW FINISHED GRADE AND FILL WITH CLEAN FILL DIRT.
46. EXISTING SHRUBS AND TREE SUCKERS TO BE REMOVED AND PROPERLY DISPOSED OF.

 <p><b>MRWM</b></p> <p><b>LANDSCAPE ARCHITECTS</b>          Morrow Reardon Wilkinson Miller, Ltd.          mrwmla.com     505 268 2266</p>		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td style="width: 25%; height: 40px;"></td><td style="width: 25%; height: 40px;"></td><td style="width: 25%; height: 40px;"></td><td style="width: 25%; height: 40px;"></td></tr> <tr><td style="height: 40px;"></td><td style="height: 40px;"></td><td style="height: 40px;"></td><td style="height: 40px;"></td></tr> <tr><td style="height: 40px;"></td><td style="height: 40px;"></td><td style="height: 40px;"></td><td style="height: 40px;"></td></tr> </table>														<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td style="width: 50%; height: 40px;"></td><td style="width: 50%; height: 40px;"></td></tr> <tr><td style="height: 40px;"></td><td style="height: 40px;"></td></tr> <tr><td style="height: 40px;"></td><td style="height: 40px;"></td></tr> </table>							<table border="1" style="width: 100%; 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[illegible]

FOR REVIEW SUBMITTAL  
DATE: AUGUST 28, 2015

WESTGATE HEIGHTS PARK

DATE 10/16/15  
PROJECT# 632792

RECORD DRAWINGS  
DATE: XX/XX/2015



# CITY OF ALBUQUERQUE



December 1, 2015

Fred Arfman, PE  
ISAACSON & ARFMAN, P.A.  
128 Monroe Street NE  
Albuquerque, NM 87108

Richard J. Berry, Mayor

RE: **Westgate Heights Park Addition, Unit 2 (File: M09D008B)**  
**8810 Sonya Ave. SW**  
**Grading Plan and Drainage Plan**  
**Engineer's Stamp Date – No Stamp**

Dear Mr. Arfman:

Based upon the information provided in your submittal received 10-15-15, the above referenced Grading Plan and Drainage Plan cannot be approved for Grading Permit and Paving Permit until the following comments are addressed.

- Delineate drainage basins to clearly identify flow patterns directed to onsite water harvesting ponds. Tabulate basin flows and water harvesting pond volumes.
- Include total discharge to 86<sup>th</sup> Street through existing sidewalk culvert.
- General Note "Z" on the Grading General Notes and Details sheet states that a SWPPP is not required. The total project area of disturbance appears to exceed 1 acre. Adjust note to include plans for a SWPPP.
- Based on spot elevations shown, the open area at the northwest corner of the project appears to be at the same elevation. Adjust grades in this area to ensure positive drainage is met.
- Provide existing flow line, top of curb and sidewalk elevations at all proposed drivepad and ADA ramp locations.
- The parking area near the intersection of Sonya Ave. and Sapphire Road appears to direct parking lot and field flows to a point location, discharging to the harvesting and first flush ponds. Consider the use of valley gutters in this area to ensure positive drainage is met.
- Specify curb cuts within the parking lot at all point discharge locations to a pond.
- Provide emergency outfall information for all water harvesting and first flush ponds.
- When specifying the City of Albuquerque sidewalk culvert detail, ensure a supplemental note is provided for the bolts to be tack welded to the plate.
- Identify the limits of pavement and sidewalk removal needed for proposed improvements.

PO Box 1293

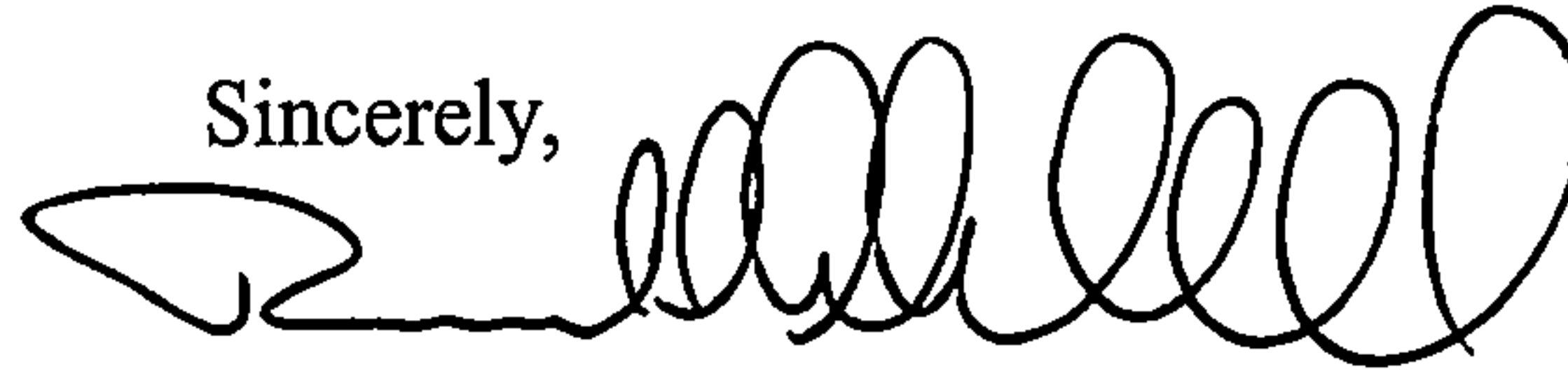
Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, you can contact me at 924-3994.

Sincerely,

A handwritten signature in black ink, consisting of a series of loops and a long horizontal stroke.

Rudy Archuleta, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

Orig: Drainage file  
c.pdf Addressee via Email





# City of Albuquerque

## Planning Department

### Development & Building Services Division

#### DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Westgate Heights Park Building Permit #: \_\_\_\_\_ City Drainage #: M-9 2008B

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Westgate Heights Park Addition, Unit 2

City Address: 8810 Sonya Ave. SW

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman

Address: 128 Monroe Street NE - Albuquerque, NM 87108

Phone#: (505) 268-8828 Fax#: \_\_\_\_\_ E-mail: freda@iacivil.com

Owner: City of Albuquerque Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: Morrow Reardon Wilkinson Miller, Ltd. Contact: \_\_\_\_\_

Address: 210 La Veta Dr. NE - Albuquerque, NM 87108

Phone#: (505) 268-2266 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

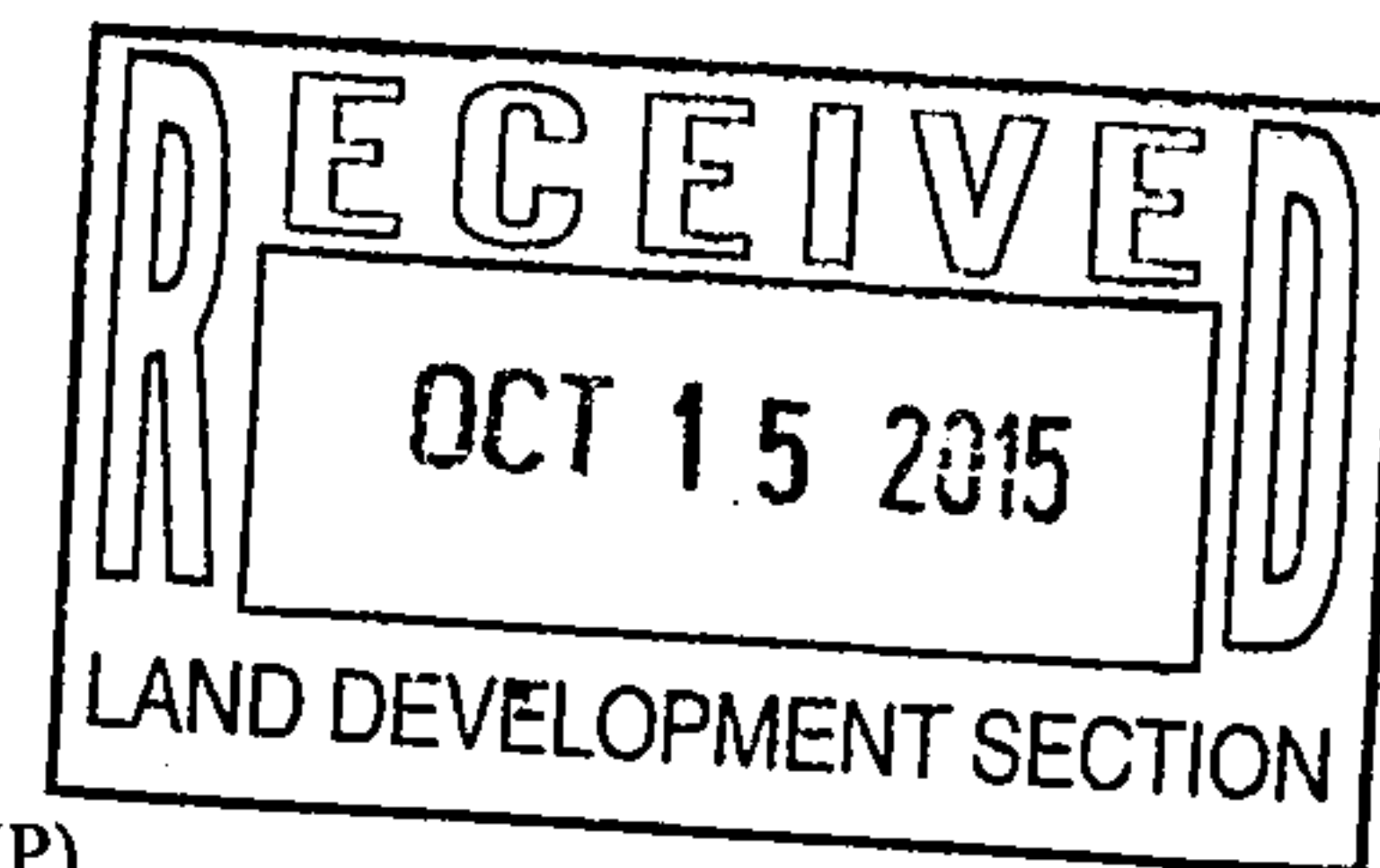
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN 1st SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☒ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ ENGINEER'S CERT (ESC)  
☐ SO-19  
☐ OTHER (SPECIFY) \_\_\_\_\_

#### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ GRADING PERMIT APPROVAL  
☒ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ GRADING CERTIFICATION  
☐ SO-19 APPROVAL  
☐ ESC PERMIT APPROVAL  
☐ ESC CERT. ACCEPTANCE  
☐ OTHER (SPECIFY) \_\_\_\_\_



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: October 15, 2015 By: Fred C. Arfman

Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



Bryan Bobrick &lt;bryanb@iacivil.com&gt;

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**Westgate Heights Park - 95% Submittal for hydrology review**

1 message

**Bryan Bobrick** <bryanb@iacivil.com>

Thu, Oct 15, 2015 at 1:51 PM

To: COA Planning Development Review Services &lt;PLNDRS@cabq.gov&gt;

Cc: Fred Arfman &lt;freda@iacivil.com&gt;, Ruth Lozano &lt;ruthl@iacivil.com&gt;

Attached is a pdf set of the Grading and Drainage sheets for the referenced project.

Hard copy will be submitted later today or tomorrow.

Thanks

**Bryan Bobrick**  
**Isaacson & Arfman, P.A.**  
128 Monroe N.E.  
Albuquerque, NM 87108  
(505) 268-8828

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 **WESTGATE HEIGHTS 95% CIVIL SHEETS.pdf**  
3834K