CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Mayor Timothy M. Keller

September 15, 2022

David Pendleton, PE Olsson 1880 Fall River Dr., Suite 200 Loveland, CO 80538

Re: Hutton Snow Vista Modwash
Snow Vista Blvd. SW & De Vargas Rd. SW
Traffic Circulation Layout
Engineer's Stamp 09-13-22 (M09-D012A)

Dear Mr. Pendleton,

Based upon the information provided in your submittal received 08-12-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

 List the number of parking spaces required by the IDO as well as the proposed number of parking spaces including bicycle and motorcycle parking.

Identify the right of way width, medians, curb cuts, and street widths on Snow Vista Blvd.

- and De Vargas Rd.
- 3. Clarify existing property lines and proposed property lines.
- 4. Access Easement/ and or Approved plat action need to be provided.
- 5. Provide the width for the existing site driveway accesses.
- 6. Maximum access width for arterial, collector, and local streets are as follows:

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	Arterial& Collector	Local Streets
One-way Drive	20'-25'	12'-20'
Two-Lane Drive	22'-30'	22'-24'
Three-Lane Drive	24'-35'	22'-30'
Larger Vehicles	≤50'	≤30'

- 7. Provide the angle for the angled parking spaces, and provide the correct dimensions by following Table 7.4.78 & 7.4.79 see attached Dimensions for angled parking.
- 8. The ADA accessible spaces must include an access aisle. Van accessible aisles should be 8ft wide; all others should be 5ft wide.
- The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." Please call out detail and location of signs.
- 10. The ADA access aisles shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of

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the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)

- ADA curb ramps at the corner of Snow Vist and De Vargas Rd. must be updated to current standards and have truncated domes installed.
- 12. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
 - 13. The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.
- 14. All bicycle racks shall be designed according to the following guidelines:
 - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
 - The bicycle frame shall be supported horizontally at two or more places.
 Comb/toaster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - d. The rack allows varying bicycle frame sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.
 - f. Each bicycle parking space is accessible without moving another bicycle.

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- 15. Bicycle racks shall be sturdy and anchored to a concrete pad.
- 16. A 1-foot clear zone around the bicycle parking stall shall be provided.

NM 87103

- 17. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
- 18. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.

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- 19. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
- 20. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.
- 21. All sidewalks along streets should be placed at the property line.
- 22. Curbing should be installed to delineate landscape, parking, and pedestrian ways and identify points of access. Please call out detail and location of barrier curb.
- 23. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way. provide a copy of refuse approval.
- 24. Provide a copy of Fire Marshal Approval.
- 25. All one-way drives shall have "One Way" and "Do Not Enter" signage and pavement markings. Please show detail and location of posted signs and striping.

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- 26. Please provide a sight distance exhibit
- 27. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
- 28. Show the Clear Intersection Sight Distance and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
- 29. Please specify the City Standard Drawing Number when applicable.
- 30. Shared Site access: driveways that straddle property lines, or are entirely on one property but are to be used by another property, shall have an access easement. Please include a copy of your shared access agreement with the adjacent property owner.
- 31. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
- 32. Please provide a letter of response for all comments given.
- 33. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (Contact Matt Grush: mgrush@cabq.gov).

Once corrections are complete resubmit

- The Traffic Circulation Layout
- 2. A Drainage Transportation Information Sheet (DTIS)
- 3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
- 4. The \$75 re-submittal fee.

For log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3575.

Sincerely,

PO Box 1293

Albuquerque

NM 87103

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Marwa Al-najjar

Associate Engineer, Planning Dept.

Development Review Services

\ma via: email

CO Clerk, File

SITE CIVIL ENGINEER: OLSSON ATTN: RYAN BANNING 1880 FALL RIVER DR, SUITE 200 LOVELAND, CO 80538 PHONE: (970) 635-3737 E: RBANNING@OLSSON.COM

DEVELOPER: THE HUTTON COMPANY ATTN: BEN CARROL 736 CHERRY STREET CHATTANOOGA, TN 37402 PHONE: (423) 400-8893 E: BCARROLL@HUTTON.BUILD

<u>SURVEYOR:</u> PRECISIONS SURVEYS, INC. ATTN: LARRY MEDRANO 9200 SAN MATEO BOULEVARD, NE ALBUQUERQUE, NM 87113 PHONE: (505) 856-5700

ARCHITECT: AXIS INFRASTRUCTURE ATTN: BRIAN KAUFMAN 111 CAMBRIDGE SQUARE, SUITE C ALPHARETTA, GA 30009 PHONE: (510) 463-7968 E: BRIANKAUFMAN@AXISCOMPANIES.COM LANDSCAPE ARCHITECT: ATTN: AMY SCHWENNER 7878 N 16TH ST, SUITE 105

PHOENIX, AZ 85020

PHONE: (480) 333-4369

E: ASCHWENNER@OLSSON.COM

HUTTON SNOW VISTA MODWASH

CONSTRUCTION DOCUMENTS SITE DEVELOPMENT PLAN FOR LOT 1A1 OF SNOW VISTA INVESTORS, TOWN OF ATRISCO GRANT, PROJECTED SECTION 33, T. 10 N., R. 2 E., N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



Sheet List Table						
Sheet Number	Sheet Title					
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2	OLSSON STANDARD NOTES					
3	CITY STANDARD NOTES & OVERALL LEGEND					
4	EXISTING CONDITIONS AND DEMOLITION PLAN					
5	SITE PLAN					
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BSN1	PROPOSED BASIN MAP					

********************* ENGINEER STAMP & SIGNATURE | APPROVALS ENGINEER APPROVED FOR CONSTRUCTION DRC CHAIRPERSON TRANSPORTATION WATER/WASTEWATER HYDROLOGY ABCWUA QA/QC by: CITY ENGINEER PARKS project no.: drawing no.: CONST. MGMT. SHEET CONST. COORD.

CITY PROJECT NO.

SITE DATA						
LOT	1A1					
LOT AREA	46,558 SF OR 1.0688 ACRES					
BUILDING	4,420 SF					
ZONING	C-1 NEIGHBORHOOD COMMERCIAL					
	FRONT - 30' MIN					
SETBACKS	CKS SIDE - 6' IF ABUTTING ANY RESIDENTIAL					
	REAR - 15' MIN					
PARKING	REQUIRED: 1 STALL/300 SF	PROVIDED: 1 STALL/300 SF				
STANDARD	14	19				
ADA	1	1				
TOTAL	15	20				

ELEVATION DATUM IS BASED ON NAVD 1988 FROM AGRS MONUMENT "11-M9," PUBLISHED ELEVATION (FEET) = 5139.276

BASIS OF BEARING:

POINT OF BEGINNING AT THE SOUTHEAST CORNER OF LOT 1E, LYING SOUTH EAST AT BEARING S64°27'51"E, 180.31' MARKED BY A STANDARD A.C.S. BRASS DISC IS A.G.R.S. MONUMENT "11_M9" BEARS S 04°16'28" W, A DISTANCE OF 11600.77 FEET;

LEGAL DESCRIPTION PER TITLE COMMITMENT:

PORTION OF BELOW TRACT UNTIL RESUBDIVIDED: LOT 1A OF SNOW VISTA INVESTORS, TOWN OF ATRISCO GRANT, PROJECTED SECTION 33, T. 10 N., R. 2 E., N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, REPLAT FROM THE SNOW VISTA INVESTORS, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 2001 IN PLAT BOOK 2001C, PAGE 225.

FLOOD ZONE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE(S) X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO.35001C0336H, WHICH BEARS AN EFFECTIVE DATE OF AUGUST 16, 2012 AND IS/IS NOT IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

UTILITY LOCATIONS (HORIZONT, OR VERTICAL). THE EXISTING UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE

RESPONSIBILITY FOR EXISTING

INFORMATION. IT IS HOWEVER THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION

CALL UTILITY NOTIFICATION CENTER OF COLORADO

Call before you dig. YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

C21-08757

SHEET OF 23

GENERAL NOTES

- 1. ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY AND/OR EASEMENT SHALL CONFORM TO THE TECHNICAL SPECIFICATIONS AND DESIGN CRITERIA FOR PUBLIC IMPROVEMENT PROJECTS OF THE OWNER OF RIGHT-OF-WAY AND THE GRANTOR OF THE EASEMENT.
- 2. ALL WORK ON PRIVATE PROPERTY SHALL CONFORM TO THE LATEST EDITION OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS, THEN THE LATEST EDITION OF THE NEW MEXICO APWA IN THAT ORDER OF PRECEDENCE. THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT ALL TIMES (1) SIGNED COPY OF THE PLANS, STANDARDS, AND SPECIFICATIONS AS APPROVED BY THE APPROPRIATE GOVERNING AGENCY. THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ANY VARIANCE TO THE ABOVE DOCUMENTS.
- 3. THE CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL APPLICABLE CODES, LICENSES, STANDARDS, PERMITS, BONDS, ETC. WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK.
- 4. THE EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MAY NOT INCLUDE ALL LINES PRESENT. THE CONTRACTOR WILL BE RESPONSIBLE FOR CALLING THE NEW MEXICO ONE CALL SYSTEM AT 1-800-321-2537 AND COORDINATING FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES A MINIMUM OF FORTY-EIGHT (48) HOURS PRIOR TO BEGINNING GRADING AND UTILITY WORK.
- 5. LOCATIONS AND ELEVATIONS OF EXISTING IMPROVEMENTS TO BE MET (OR AVOIDED) BY WORK TO BE DONE SHALL BE CONFIRMED BY THE CONTRACTOR THROUGH FIELD EXPLORATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REPORT TO THE ENGINEER ANY DISCREPANCIES BETWEEN HIS MEASUREMENTS AND THESE PLANS.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE APPROPRIATE FIRE DEPARTMENT OF ALL STREET CLOSURES AND EXISTING FIRE HYDRANTS TAKEN OUT OF SERVICE AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- 7. ANY CONSTRUCTION DEBRIS OR MUD DROPPED INTO MANHOLES, INLETS, PIPES OR TRACKED ONTO EXISTING ROADWAYS SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR. THE CONTRACTOR SHALL REPAIR ANY EXCAVATIONS OR PAVEMENT FAILURES CAUSED BY HIS CONSTRUCTION. THE CONTRACTOR SHALL PROPERLY BARRICADE THE CONSTRUCTION SITE UNTIL CONSTRUCTION IS COMPLETE.
- 8. PRIOR TO BEGINNING THE WORK, THE CONTRACTOR SHALL OBTAIN ANY WRITTEN AGREEMENTS FOR INGRESS AND EGRESS TO THE WORK FORM ADJACENT PRIVATE PROPERTY OWNERS. ACCESS TO ANY ADJACENT PRIVATE PROPERTY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NOT OBTAINED BY THE OWNER OR OWNER'S REPRESENTATIVES AND PAY ALL FEES AS REQUIRED BY THE CONSTRUCTION COVERED IN THESE PLANS.
- 10. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.
- 11. NO WORK SHALL BE BACKFILLED (INCLUDING BEDDING MATERIAL ABOVE THE SPRING LINE OF THE PIPE) UNTIL THE CONSTRUCTION HAS BEEN INSPECTED AND APPROVED FOR BACKFILLING BY THE APPROPRIATE GOVERNING AGENCY.
- 12. ALL WORK AND MATERIALS WILL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THE OWNERS REPRESENTATIVE.
- 13. SHOP DRAWINGS AND MATERIAL SPECIFICATIONS SHALL BE SUBMITTED TO OWNER/ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PLACEMENT OF MATERIAL.
- 14. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE, AND FEDERAL APPLICABLE LAWS AND REGULATIONS.
- 15. ALL ESTIMATES OF QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING ALL QUANTITIES. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS AS SHOWN ON THESE PLANS.
- 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SITE SAFETY OF HIS OWN PERSONNEL, ALL VISITORS TO THE SITE, AND THE GENERAL PUBLIC INCLUDING, BUT NOT LIMITED TO, TRENCH EXCAVATION AND SHORINGS, TRAFFIC CONTROL, AND SECURITY NOT LIMITED TO NORMAL WORKING
- 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL EXISTING FEATURES TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION ACTIVITIES TO EQUAL OR BETTER CONDITION, AT HIS OWN EXPENSE.
- 18. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL SITE IMPROVEMENTS (INCLUDING BUT NOT LIMITED TO: UTILITIES, STRUCTURES, PAVING, LANDSCAPING, ETC.) SUCH THAT NO DAMAGE IS DONE TO SITE IMPROVEMENTS (I.E.: SAWCUTTING NEW PAVEMENT). SITE IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST TO THE OWNER.
- 19. IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE THAT A PRIOR UNIDENTIFIED SITUATION IS PRESENT, THE CONTRACTOR SHALL CONTACT THE ENGINEER
- 20. THE CONTRACTOR SHALL REMOVE ALL DEBRIS RESULTING FROM WORK UNDER THIS CONTRACT TO AN APPROVED DUMP SITE.
- 21. DIMENSIONS SHOWN ON THE PLANS ARE TO FACE OF CURB LINE IN CURBED AREA AND BUILDING GRID LINES OF BUILDING, AND TO CENTERLINE OF UTILITIES, UNLESS OTHERWISE SPECIFIED.
- 22. USE ONLY DIMENSIONS PROVIDED ON THESE PLANS. <u>DO NOT SCALE DRAWINGS</u>. INFORM ENGINEER OF ANY DISCREPANCIES AND/OR MISSING INFORMATION.
- 23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ADJACENT PARCELS DURING ALL HOURS OF OPERATION FOR THE BUSINESSES LOCATED ON THOSE PARCELS.
- 24. CONTRACTOR TO OBTAIN TEMPORARY POWER, TELEPHONE AND WATER FOR THE SITE.
- 25. CONTRACTOR TO REFER TO DRAWINGS ISSUED BY THE ARCHITECT, TO ENSURE COORDINATION OF EXACT LOCATION AND DIMENSIONS OF BUILDING EXITS, RAMPS, TRUCK DOCKS, UTILITY ENTRANCE LOCATIONS AND GRADES AROUND THE BUILDING. IMMEDIATELY NOTIFY ENGINEER AND ARCHITECT OF ANY DISCREPANCIES.
- 26. REFER TO ARCHITECTURAL DRAWINGS FOR ALL IMPROVEMENTS BETWEEN THE BUILDING AND THE SIDEWALK SURROUNDING THE BUILDING.
- 27. CONTRACTOR MUST COORDINATE CONSTRUCTION WITH <u>OWNER/ADJACENT PROPERTY OWNER</u>, <u>ADJACENT PROJECT CONSTRUCTION MANAGER</u>.
- 28. THE CONTRACTOR SHALL OBTAIN A COPY OF THE STANDARD SPECIFICATIONS AND DETAILS OF ALL AGENCIES EXERCISING JURISDICTION OVER THIS PROJECT. A COPY OF THESE SPECIFICATIONS AND DETAILS SHALL BE MAINTAINED ON THE JOBSITE AT ALL TIMES. A COPY OF ALL APPLICABLE STANDARD DETAILS AND SPECIFICATIONS ARE INCORPORATED HEREIN BY REFERENCE.
- 29. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING EXISTING IRRIGATION SYSTEM IN THE AREAS OF PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL CAP THE EXISTING IRRIGATION SYSTEM TO REMAIN SUCH THAT THE REMAINING SYSTEM SHALL CONTINUE TO FUNCTION PROPERLY. IN CASES WHERE ISLAND, ROADWAYS, PARKING LOTS, AND OTHER IMPROVEMENTS NOT MENTIONED ARE MOVED OR ADJUSTED TO GRADE, CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL LANDSCAPED AREAS ARE PROPERLY IRRIGATED & THAT IRRIGATION SYSTEM FUNCTIONS PROPERLY.
- 30. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ADJACENT CITY STREETS FREE AND CLEAN OF ALL DEBRIS AND DIRT FROM THE JOB SITE.
- 31. SEVEN (7) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO BERNALILLO COUNTY PUBLIC WORKS DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE BERNALILLO COUNTY TRAFFIC DIVISION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION COORDINATION ENGINEER (924–3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- 32. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS WAS EXISTING, OR AS INDICATED BY THIS PLAN SET.

- 33. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT TO COVER THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- 34. CONTRACTOR SHALL MAINTAIN A GRAFITTI—FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.

GRADING

- 1. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS. ANY PROPERTY CORNERS DISTURBED OR DAMAGED BY GRADING ACTIVITIES SHALL BE RESET BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF NEW MEXICO, AT THE CONTRACTORS EXPENSE.
- 2. THE CONTOUR LINES AND BUILDING FLOOR ELEVATIONS SHOWN ARE TO FINISH GRADE FOR SURFACE OF PAVEMENT, TOP OF SIDEWALKS AND CURBS, TOP OF FLOOR SLABS, ETC. ALL SPOT ELEVATIONS SHOWN ARE TO FLOWLINE UNLESS OTHERWISE INDICATED. REFER TO TYPICAL SECTIONS FOR MULCH, SOD, PAVING, SLAB AND AGGREGATE BASE THICKNESS TO DEDUCT FOR GRADING LINE ELEVATIONS.
- 3. TOP OF CURB AND SIDEWALK ELEVATIONS AT LOCATIONS OTHER THAN THE SIDEWALK AROUND THE BUILDING SHALL BE 0.5' ABOVE GUTTER ELEVATIONS UNLESS OTHERWISE NOTED. IN AREAS WITH SIDEWALK ABUTTING BACK OF CURB, TOP OF CURB ELEVATIONS SHALL BE EQUAL TO SIDEWALK ELEVATIONS.
- 4. THE CONTRACTOR SHALL FINISH GRADE SLOPES AS SHOWN NO STEEPER THAN ONE FOOT VERTICAL IN THREE FEET HORIZONTAL.
- 5. CONTRACTOR SHALL GRADE LANDSCAPED AREAS TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND SIDEWALKS WHEN FINISH LANDSCAPE MATERIALS ARE IN PLACE.
- 6. THE CONTRACTOR SHALL CLEAN OUT ALL EXISTING AND PROPOSED INLETS, PIPES AND MANHOLES OF DEBRIS AND SEDIMENT AT COMPLETION OF SITEWORK. THIS WORK SHALL BE DONE TO THE SATISFACTION OF THE OWNER.
- 7. CONTRACTOR SHALL COORDINATE TESTING ACTIVITIES WITH THE GEOTECHNICAL ENGINEER.
- 8. ALL GRADING, COMPACTION, AND PAVEMENT CONSTRUCTION WILL BE IN ACCORDANCE WITH RECOMMENDATIONS FROM THE GEOTECHNICAL INVESTIGATION.
- 9. CONTRACTOR SHALL PROVIDE AS—BUILT SURVEY AS NEEDED FOR GRADING AND DRAINAGE CERTIFICATION.

ACCESSIBILITY NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL ACCESSIBLE AREAS ARE BUILT IN ACCORDANCE WITH THE PLANS AND THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) AS WELL AS COMPLIANCE WITH ANSI A117.1.
- 2. ALL ADA ACCESSIBLE PARKING SHALL BE CONSTRUCTED WITH A MAXIMUM SLOPE OF 2.00% IN ANY
- 3. ALL ADA ACCESSIBLE ROUTES SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% AND A MAXIMUM LONGITUDINAL SLOPE OF 5.00%. ALL SIDEWALKS AND CROSSWALKS SHALL MEET ACCESSIBLE ROUTE REQUIREMENTS.
- 4. ALL ADA MANEUVERING AREAS SHALL BE CONSTRUCTED WITH A MAXIMUM SLOPE OF 2.00% IN ANY DIRECTION.
- 5. ALL ADA ACCESSIBLE RAMPS SHALL MEET THE ADA REQUIREMENTS PER ADAAG SECTION 4.7 & 4.8.

DEWATERING PERMITS

1. CONTRACTOR TO OBTAIN DEWATERING PERMIT, IF REQUIRED, FROM THE NEW MEXICO OFFICE OF THE STATE ENGINEER PRIOR TO COMMENCING WORK. DISCHARGES SHALL BE MONITORED ACCORDING TO THE CONDITIONS OF THE NEW MEXICO OFFICE OF THE STATE ENGINEER PERMIT.

GEOTECHNICAL REPORT NOTE

I. CONTRACTOR TO OBTAIN AND READ THE GEOTECHNICAL ENGINEERING STUDY (GEOTECHNICAL EVALUATION REPORT SEC RIO BRAVO BLVD AND LORIS DRIVE, BERNALILLO COUNTY, NEW MEXICO, WT REFERENCE 3220JJ011, MARCH 1, 2021) PREPARED BY WESTERN TECHNOLOGIES INC. FOR AVANZANDO LLC. IN CASE OF ANY CONFLICT WITH THESE PLANS AND SITEWORK SPECIFICATIONS REGARDING PAVING AND EARTHWORK, THE GEOTECHNICAL REPORT WILL GOVERN. ALL PAVING AND EARTH WORK SHALL CONFORM TO THE RECOMMENDATIONS OF THIS REPORT.

UTILITIES

- 1. CONTRACTOR TO FIELD VERIFY LOCATIONS AND SIZES OF ALL EXISTING UTILITIES BEFORE BEGINNING WORK.
- 2. THE CONTRACTOR SHALL COORDINATE EXACT LOCATIONS AND SIZES OF ALL UTILITY SERVICE LINE HOOKUPS TO THE BUILDINGS WITH THE MECHANICAL, ELECTRICAL AND PLUMBING PLANS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO THE ENGINEER AND ARCHITECT PRIOR TO BEGINNING UTILITIES CONSTRUCTION.
- 3. THE CONTRACTOR SHALL CONSTRUCT THE SANITARY SEWER SERVICE CONNECTIONS IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND SPECIFICATIONS OF THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
- 4. THE CONTRACTOR SHALL CONSTRUCT ALL WATER SERVICE CONNECTIONS IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND SPECIFICATIONS OF THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
- 5. THE CONTRACTOR SHALL CONSTRUCT ALL ELECTRIC, GAS, TELEPHONE, AND CABLE TELEVISION SERVICES IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND SPECIFICATIONS OF THE UTILITY PROVIDER.
- 6. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
- 7. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
- 8. UTILITY TRENCHES ARE TO BE SLOPED OR BRACED AND SHEETED AS NECESSARY FOR THE SAFETY OF THE WORKMEN AND THE PROTECTION OF OTHER UTILITIES IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS.
- 9. CONTRACTOR TO SET AND ADJUST ALL MANHOLE COVERS, INLET GRATES, WATER VALVES, CLEANOUTS, AND ANY OTHER ACCESS COVERS TO FINISHED PAVEMENT SURFACE OR FINISHED GRADE.

EROSION & SEDIMENT CONTROL

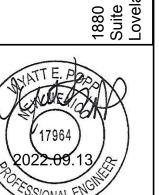
- 1. THE CONTRACTOR SHALL OBTAIN A NPDES PERMIT PRIOR TO COMMENCEMENT OF ANY SOIL DISTURBING ACTIVITIES.
- 2. CONTRACTOR SHALL REFER TO THE STORMWATER POLLUTION PREVENTION PLAN, BY OTHERS, FOR LOCATION AND DETAILS OF ALL BEST MANAGEMENT PRACTICES UTILIZED FOR THIS PROJECT.

STORMWATER POLLUTION PREVENTION AND EROSION CONTROL PLAN PREPARED BY OTHERS.

- 3. THE CONTRACTOR SHALL INSTALL EROSION/SEDIMENTATION CONTROLS PRIOR TO ANY SITE PREPARATION WORK (E.G., CLEARING, GRUBBING, OR EXCAVATION).
- 4. THE PLACEMENT OF EROSION/SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE
- 5. CONTRACTOR TO ADJUST EROSION CONTROL MEASURES AS NEEDED FOR VARIOUS PHASES OF WORK.
- 6. CONTRACTOR TO ENSURE THAT NO DIRT AND SEDIMENT IS TRACKED ONTO ADJACENT STREETS AND
- 7. TOPSOIL SHALL BE STOCKPILED WITHIN LIMITS OF CONSTRUCTION FOR USE ON AREAS TO BE RE-VEGETATED. ANY AND ALL STOCKPILES SHALL BE PLACED IN AN APPROVED LOCATION AND PROTECTED FROM EROSIVE ELEMENTS USING MEASURES SPECIFIED IN THE EROSION CONTROL PLAN PREPARED BY OTHERS.
- 8. ANY SETTLEMENT OR SOIL ACCUMULATIONS BEYOND THE LIMITS OF CONSTRUCTION DUE TO GRADING OR EROSION SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, PROPERTIES, ETC. RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
- 9. A WATER SOURCE MUST BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- 10. THE CONTRACTOR MUST KEEP ALL POLLUTANTS, INCLUDING SEDIMENT, CONSTRUCTION DEBRIS, AND TRENCH BACKFILL MATERIALS FROM ENTERING THE STORM SEWER SYSTEM.
- 11. ALL SPILLS INCLUDING, BUT NOT LIMITED TO, PETROLEUM PRODUCTS, SOLVENTS, AND CEMENT SHALL BE CLEANED UP IMMEDIATELY PER THE REQUIREMENTS OUTLINED IN THE STORMWATER POLLUTION PREVENTION PLAN BY OTHERS.
- 12. THE CONTRACTOR SHALL ENSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THE SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC RIGHT-OF-WAY.
- 13. THE CONTRACTOR SHALL ENSURE THAT ALL MATERIAL EXPORTED FROM THE SITE, IS DISPOSED OF AT A SITE PERMITTED TO ACCEPT SUCH MATERIAL.
- 14. REFER TO PROJECT PAVING AND LANDSCAPE PLAN FOR PERMANENT STABILIZATION MEASURES.

STORM SEWER

- 1. REFERENCE POINTS FOR STRUCTURES ARE AS FOLLOWS:
 - CENTER OF CLEANOUTS
 - CENTER OF TOP BACK OF CURB FOR CURB INLETS
- 2. STORM SEWER PIPE LENGTHS ARE MEASURED AS FOLLOWS:
- CENTER OF CLEANOUTS
- INSIDE FACE OF CURB INLET WALL
- LENGTHS LISTED ARE 2D MEASUREMENTS
- 3. THE CONDUIT LAYING SHALL BEGIN AT THE DOWNSTREAM END OF THE CONDUIT LINE. THE LOWER SEGMENT OF THE CONDUIT SHALL BE IN CONTACT WITH THE PREPARED BEDDING THROUGHOUT ITS FULL LENGTH BELL OR GROOVE ENDS OF CONCRETE PIPE CONDUITS AND OUTSIDE CIRCUMFERENTIAL LAPS OF METAL OR PLASTIC PIPE SHALL BE PLACED FACING UPSTREAM. SEE NMDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION, SECTION 570.3 FOR FURTHER EXPLANATION.
- 4. WHEN JOINING CONDUITS, CONCRETE SECTIONS SHALL BE JOINED IN SUCH A MANNER THAT THE ENDS ARE FULLY ENTERED AND THE INNER SURFACES ARE REASONABLY FLUSH AND EVEN. WHERE RUBBER GASKETS ARE SHALL BE USED ON ALL CONDUIT JOINTS AND SHALL CONFORM TO NMDOT STANDARD 570.3.5. SEE NMDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION, SECTION 570.3.5 FOR FURTHER EXPLANATION.



OLSSON ASSUMES NO
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Know what's below.
Call before you dig.
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE
YOU DIG, GRADE, OR EXCAVATE FOR THE
MARKING OF UNDERGROUND MEMBER
UTILITIES.

CALL UTILITY NOTIFICATION

CENTER OF COLORADO

REVISIONS DESCRIPTION					DEVISIONS
DATE					
REV. NO.					
)22

LSSON STANDARD NOTES
ON SNOW VISTA MODWASH
JSTRUCTION DOCUMENTS

drawn by: TE
checked by: DP
approved by: RB
QA/QC by: RB
project no.: C21-08757

drawing no.:

date:

9/13/2022 SHEET

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GENERAL NOTES

- 1. ALL WORK DETAILED ON THESE PLANS, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, 26. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECT-SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION THROUGH UPDATE #9, REFERRED TO HEREIN AS "STANDARD SPECIFICATIONS.
- 2. ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY OR PUBLIC EASEMENTS MUST BE DONE FROM APPROVED WORK ORDER DOCUMENTS ISSUED BY THE CITY.
- 3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4. CONTRACTOR SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROTECTION OF PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR SHALL DEFEND. INDEMNIFY. AND HOLD HARMLESS THE OWNER AND ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- 5. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE ACCOMPLISHED IN ACCORDANCE WITH OSHA 29CFR 1926.650, SUBPART "P".
- 6. AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- 7. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION ENGINEER (OR CITY PROJECT MANAGER) NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NÈCÉSSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION ONLY THE CITY SURVEYOR SHALL REPLACE SURVEY MONUMENTS. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS/HER OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO STANDARD SPECIFICATION SECTION 4.4.
- FOR CIP PROJECTS: SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL SUBMIT TO DMD, CONSTRUCTION COORDINATION DIVISION, A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE DMD. CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF STANDARD SPECIFICATIONS. PERMIT REQUESTS MAY BE DENIED OR DELAYED DUE TO CONFLICTS WITH OTHER PROJECTS IN THE AREA.
- 9. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE-CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- 10. CONTRACTOR SHALL ASSIST THE ENGINEER / INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND APPURTENANCES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS-BUILT" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES OR APPURTENANCES UNTIL ALL DATA HAVE BEEN RECORDED.
- 11. CONTRACTOR SHALL ASSUME FINANCIAL RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENT, PAVEMENT MARKINGS, SIGNAGE, CURB & GUTTER, A.D.A. RAMPS, AND SIDEWALK DURING CONSTRUCTION APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS, AND SHALL REPAIR OR REPLACE, PER THE STANDARD SPECIFICATIONS, ANY SUCH DAMAGE.
- 12. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
- 13. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNAGE UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY AND OTHER JURISDICTIONAL AUTHORITIES WHERE APPLICABLE.

WATER & SEWER

- 14. ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING. EXISTING VALVES AND MANHOLES SHALL NOT BE BURIED OR PAVED OVER; RIMS SHALL BE ADJUSTED TO MATCH NEW GRADE PER C.O.A. STANDARD DRAWINGS 2460 AND 2461.
- 15. MANHOLE RIMS, FIRE HYDRANT ELEVATIONS, AND FLANGE ELEVATIONS SHOWN ARE APPROX— IMATE. CONTRACTOR SHALL FIELD-VERIFY AND ADJUST TO FINAL PAVEMENT OR SURFACE GRADES.
- 16. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER-PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY FOURTEEN (14) DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ON LINE AT:

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- 17. PROPOSED WATERLINE MATERIALS SHALL BE PVC PIPE MEETING AWWA C-900, DR18 REQUIREMENTS (6" TO 12") OR DUCTILE IRON PIPE MEETING AWWA C-150 REQUIREMENTS (6" TO 48").
- 18. ALL WATERLINE FITTINGS, VALVES, BENDS, TEES, CROSSES AND APPURTENANCES SHALL HAVE RESTRAINED JOINTS UNLESS OTHERWISE NOTED ON THE PLANS. THE JOINT RESTRAINT REQUIREMENTS SHOULD BE DELINEATED WITHIN A JOINT-RESTRAINT TABLE.
- 19. ALL SANITARY SEWER LINE STATIONING REFERS TO SANITARY SEWER CENTERLINE, EXCEPT WHEN PROFILED WITHIN A PROPOSED OR EXISTING STREET, WHEREIN STREET STATIONING SHALL GOVERN.
- 20. ALL FINAL BACKFILL FOR TRENCHES SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY STANDARD SPECIFICATIONS SECTION 701.14.2 AND STANDARD DRAWING No. 2465.
- 21. ELECTRONIC MARKER SPHERES (EMS) WILL BE PLACED ACCORDING TO THE CITY STANDARD SPECIFICATIONS, LATEST EDITION.
- 22. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES AND / OR OBSTRUCTIONS. SHOULD A CONFLICT EXIST. THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. CONTRACTOR SHALL COORDINATE RELOCATION 50. ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC. WITHIN THE CONSTRUCTION LIMITS SHALL OF UTILITY LINES WITH AFFECTED UTILITY COMPANIES AS REQUIRED.
- 23. CONTRACTOR SHALL INSTALL A 4" X 4" X 5' POST AND EMS AT THE END OF EACH SANITARY SEWER SERVICE.
- 24. CONTRACTOR SHALL PROVIDE THE PROPOSED HYDROSTATIC TESTING PLANS TO THE WATER AUTHORITY INSPECTOR FOR APPROVAL PRIOR TO BEGINNING TESTING OPERATIONS.
- 25. AT UTILITY CROSSINGS, WHERE LESS THAN 18" OF VERTICAL SEPARATION FROM STORM DRAIN PIPING OR STRUCTURES IS PROPOSED, LEAN FILL CONSTRUCTION (PER SECTION 207 OF THE STANDARD SPECIFICATIONS) SHALL BE USED TO PROTECT THE WATER OR SEWER LINE. LEAN FILL SHALL EXTEND A PERPENDICULAR DISTANCE OF 5 FEET ON EACH SIDE OF THE STORM PIPE OR STRUCTURE.

TRANSPORTATION

- ORIZED PAVEMENT MARKING BY CONTRACTOR AT THE SAME LOCATION AS EXISTING OR AS INDICATED ON THIS PLAN SET.
- 27. WORK AFFECTING ARTERIAL ROADWAYS MAY REQUIRE TWENTY-FOUR-HOUR CONSTRUCTION.
- 28. REMOVAL OF EXISTING CURB & GUTTER AND SIDEWALKS SHALL BE TO THE NEAREST JOINT.
- 29. ANY DAMAGE TO THE EXISTING CURB & GUTTER, PAVEMENT, SIDEWALKS, STRIPING, OR SIGNAGE DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- 30. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- 31. CURB & GUTTER, SIDEWALKS, AND DRIVEPADS SHALL MATCH THE LINE AND GRADE OF ABUTTING EXISTING AREAS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE PROJECT ENGINEER.
- 32. THE SUBGRADE PREPARATION SHALL EXTEND ONE (1) FOOT BEYOND THE FREE EDGE OF NEW CURB & GUTTER AND SIDEWALK.
- 33. CONTRACTOR SHALL TEST SUBGRADE R-VALUE PRIOR TO CONSTRUCTION. IN THE EVENT THE R-VALUE IS LESS THAN 50, REMOVE TWO FEET OF SUBGRADE MATERIAL AND IMPORT MATERIAL WITH R-VALUE GREATER THAN 50, OR CONTACT THE ENGINEER IMMEDIATELY SO THE PAVEMENT SECTION CAN BE MODIFIED.
- 34. AT ALL PAVEMENT REMOVAL AND REPLACEMENTS, SAW-CUT EDGES SHALL BE STRAIGHT AND CLEAN, AND LONGITUDINAL JOINTS SHALL NOT BE PLACED WITHIN WHEEL PATHS. PATCHES SHALL BE REGULAR AND SQUARE OR RECTANGULAR, WITH FOUR STRAIGHT SIDES. FINISHED PAVEMENT SURFACE SHALL BE FLUSH WITH EXISTING PAVEMENT SURFACE. WITH NO SPILLOVER OF ASPHALT OR TACK COAT. CARE MUST BE TAKEN TO AVOID DAMAGING THE INTEGRITY OR APPEARANCE OF SURROUNDING PAVEMENT; IF DAMAGED, THE ENTIRE SURFACE PATCH MUST BE EXPANDED TO COVER DAMAGES.
- 35. CONTRACTOR WILL ENSURE THE ASPHALT HAS A SMOOTH, UNIFORM EDGE WHEN REMOVING AND REPLACING CURB & GUTTER. IF THE ASPHALT EDGE IS NOT SMOOTH AND UNIFORM CONTRACTOR SHALL SAW-CUT AND REPLACE A ONE-FOOT STRIP OF ASPHALT ALONG THE FULL SECTION BEING REPLACED; REFER TO C.O.A. STANDARD DRAWING No. 2465 WITH THE APPROPRIATE PAVING SECTION BASED ON ROADWAY CLASSIFICATION.
- 36. TWO WEEKS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE TRANSIT DEPARTMENT OF ANY IMPACT THE PROJECT WILL HAVE ON THE TRANSIT SYSTEM, SUCH AS CAUSING A DETOUR OR THE CLOSURE OR RELOCATION OF A BUS STOP. THE CONTACT PERSON IS DOUGLAS GOFF, OFFICE PHONE 724-3137, CELL PHONE 206-0151, OR E-MAIL: DGOFF@CABQ.GOV

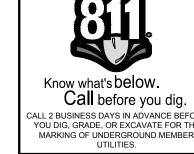
OTHER COMMON NOTES

- 37. RCP SHALL BE INSTALLED SO THAT THE JOINT GAP AT THE HOME POSITION SHALL CONFORM TO THE APPROVED MANUFACTURER'S RECOMMENDATION. MANUFACTURER'S RECOMMENDED JOINT GAP TOLERANCES FOR EACH PIPE SIZE AND TYPE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF THE PIPE. RCP JOINTS SHALL NOT BE GROUTED UNLESS DIRECTED BY THE ENGINEER WITH CITY APPROVAL.
- 38. CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING WORK.
- 39. CONTRACTOR SHALL DETERMINE IN ADVANCE OF CONSTRUCTION IF OVERHEAD UTILITY LINES. SUPPORT STRUCTURES, GUYS, ETC., ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTIONS TO CONSTRUCTION OPERATIONS ARE PRESENT, CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 40. PNM WILL PROVIDE, AT NO COST TO THE CITY OR THE CONTRACTOR, THE NECESSARY PERSONNEL FOR INSPECTION OR OBSERVATION DEEMED NECSSARY BY PNM WHILE THE CONTRACTOR IS EXPOSING PNM'S CABLES. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING OR RELOCATING THE POLES AND CABLES DURING CONSTRUCTION.
- 41. EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY; LINES MAY FXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED LIPON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER, OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION BEGINS.
- 42. THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. CONTRACTOR SHALL FIELD-VERIFY THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY HIS/HER FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES.
- 43. CONTRACTOR SHALL SUPPORT ALL EXISTING UNDERGROUND UTILITIES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO STORM SEWER, WATER LINE, AND/OR SEWER LINE COSTS.
- 44. CONTRACTOR SHALL SUPPORT AND MAINTAIN THE INTEGRITY OF ALL UNDERGROUND TELEPHONE, ELECTRIC CABLES, COMMUNICATION CABLES, AND CABLE-TELEVISION UTILITIES AT NO ADDITIONAL COST TO THE OWNER. CABLE SHALL BE SUPPORTED AT A MAXIMUM SPACING OF FIFTEEN (15) FEET. CONTRACTOR SHALL COORDINATE WITH AND MAKE ANY NECESSARY PAYMENT TO UTILITY OWNER FOR DE-ENERGIZATION OF CABLES, OR SUPPORT OF CABLES BY THE UTILITY OWNER.
- 45. ALL FINAL BACKFILL FOR TRENCHES WITHIN THE COA RIGHT-OF-WAY SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY STANDARD SPECIFICATIONS SECTION 701.14.2 AND STANDARD DRAWING No. 2465.
- 46. CONTRACTOR SHALL PROMPTLY CLEAN UP ANY EXCAVATED MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS TO PREVENT ANY EXCAVATED MATERIAL BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.
- 47. REMOVALS SHALL BE DISPOSED OF OFF-SITE AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 48. CONTRACTOR SHALL DISPOSE OF ALL UNSUITABLE MATERIAL IN AN ENVIRONMENTALLY ACCEPT-ABLE MANNER AT A LOCATION ACCEPTABLE TO THE PROJECT MANAGER. THERE WILL BE NO DIRECT COMPENSATION FOR THIS WORK.
- 49. CONTRACTOR SHALL CONDUCT ALL WORK IN A MANNER WHICH WILL MINIMIZE INTEFERENCE WITH LOCAL TRAFFIC.
- BE REMOVED, STORED, AND RE-SET BY THE CONTRACTOR.
- 51. IF CULTURAL RESOURCES, SUCH AS HISTORIC OR PRE-HISTORIC ARTIFACTS, OR HUMAN REMAINS ARE DISCOVERED DURING EXCAVATION OR CONSTRUCTION, WORK SHALL CEASE AND THE CONSTRUCTION ENGINEER SHALL NOTIFY THE COUNTY OFFICE OF THE MEDICAL EXAMINER AT 272-3053. IF THE MEDICAL EXAMINER DETERMINES THAT HUMAN REMAINS ARE NOT PRESENT, THE CONSTRUCTION ENGINEER SHALL NOTIFY THE STATE HISTORIC PRESERVATION OFFICER (SHPO) AT 827-6320.
- 52. IF OBJECTS OF HISTORICAL, ARCHEOLOGICAL, PALEONTOLOGICAL, OR OTHER OBJECTS OF ANTIQUITY ARE ENCOUNTERED, CONTRACTOR SHALL CEASE OPERATIONS AND IMMEDIATELY NOTIFY OWNER AND PROJECT ENGINEER.

OVERALL GENERAL <u>LEGEND</u> <u>FUTURE</u> <u>DEMO</u> **EXISTING PROPOSED** PROPERTY LINE PROPERTY SECTION LINE RIGHT OF WAY DRAINAGE EASEMENT MULTI USE EASEMENT (MUE) MWD EASEMEN MAJOR CONTOURS MINOR CONTOURS _____ ____ 1200 - ____ ___ ROAD CENTERLINE ROAD ASPHALT PAVEMENT CONCRETE ROAD EDGE ROAD MEDIAN ROAD GUTTER ROAD BACK OF CURB ROAD FLOWLINE ROAD GUTTER ROAD SIGNAGE SIDEWALK POND TOP POND BOTTOM CHAIN LINK FENCE CONCRETE IRRIGATION CANAL WATER PIPE SANITARY SEWER PIPE POWER UNDERGROUND POWER OVERHEAD ———— P-OH ———— GAS UNDERGROUND CABLE UNDERGROUND _____ CATV _____ SAWCUT STORM RIP RAP ROAD MILL OVERLAY PROPERTY MONUMENT WM WATER METER WATER TEE FIRE HYDRANT WATER VALVE ROAD FIRE HYDRANT MARKING SANITARY MANHOLE **☆** LTP LIGHT POLE POWER POLE 000 TRAFFIC SIGNAL GAS MANHOLE \sum GV GAS VALVE E POWER INSTILLATION TRAFFIC BARRICADE MONUMENT CAP

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CALL UTILITY NOTIFICATION CENTER OF COLORADO

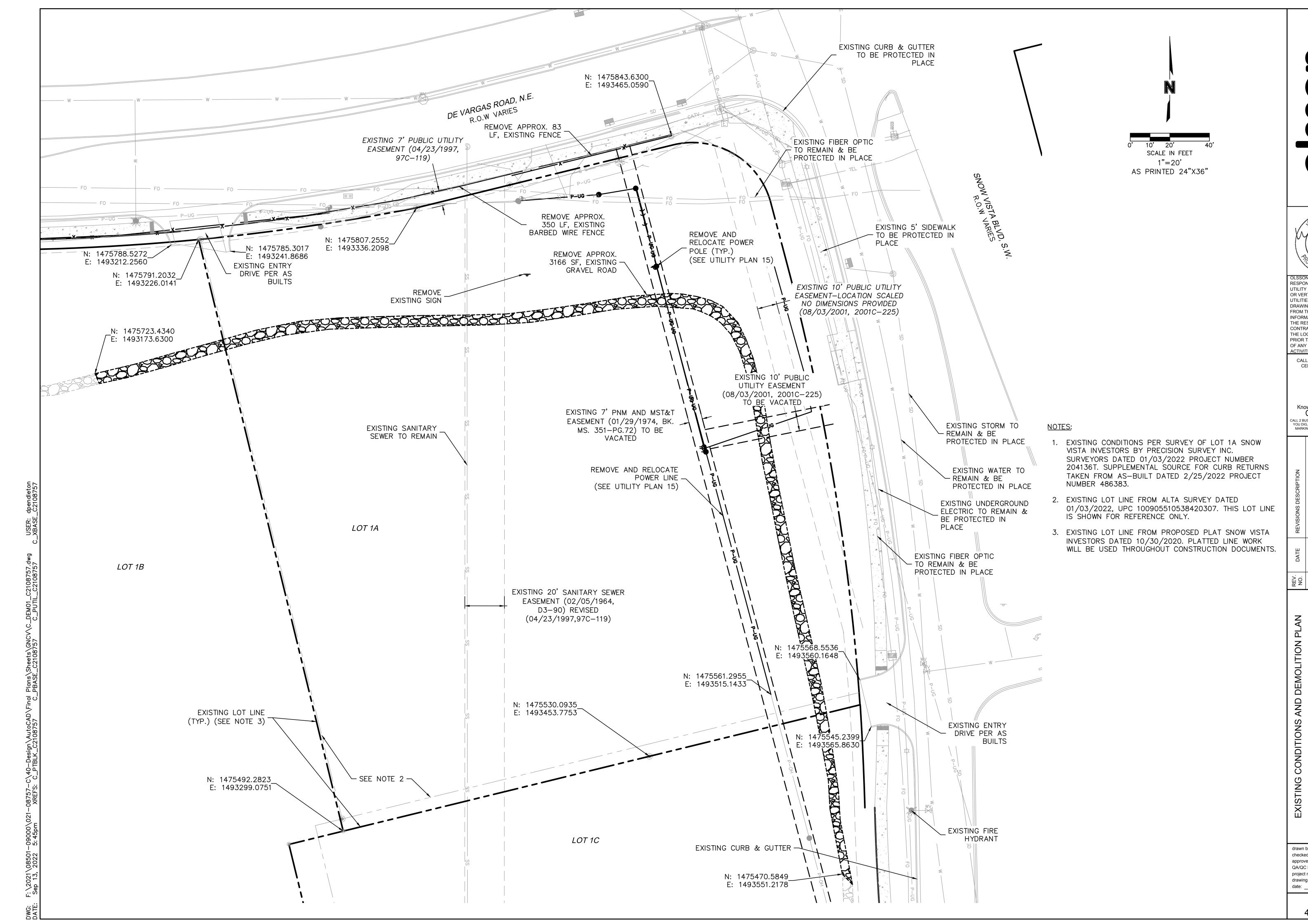


OVERALL

drawn by: checked by approved by QA/QC by: project no.: C21-08757 drawing no.:

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9/13/2022



1880 Fe Suite 20 Suite 20 Lovelan

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HUTTON SNOW VISTA MODWASH
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SHEET 4 OF 23

