

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 15, 2022

David Pendleton, PE
Olsson
1880 Fall River Dr., Suite 200
Loveland, CO 80538

Re: **Hutton Snow Vista Modwash**
Snow Vista Blvd. SW & De Vargas Rd. SW
Traffic Circulation Layout
Engineer's Stamp 09-13-22 (M09-D012A)

Dear Mr. Pendleton,

Based upon the information provided in your submittal received 08-12-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List the number of parking spaces required by the IDO as well as the proposed number of parking spaces including bicycle and motorcycle parking.
2. Identify the right of way width, medians, curb cuts, and street widths on Snow Vista Blvd. and De Vargas Rd.
3. Clarify existing property lines and proposed property lines.
4. Access Easement/ and or Approved plat action need to be provided.
5. Provide the width for the existing site driveway accesses.
6. Maximum access width for arterial, collector, and local streets are as follows:

	Arterial& Collector	Local Streets
One-way Drive	20'-25'	12'-20'
Two-Lane Drive	22'-30'	22'-24'
Three-Lane Drive	24'-35'	22'-30'
Larger Vehicles	≤50'	≤30'

7. Provide the angle for the angled parking spaces, and provide the correct dimensions by following Table 7.4.78 & 7.4.79 see attached Dimensions for angled parking.
8. The ADA accessible spaces must include an access aisle. Van accessible aisles should be 8ft wide; all others should be 5ft wide.
9. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.
10. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of

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the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)

11. ADA curb ramps at the corner of Snow Vist and De Vargas Rd. must be updated to current standards and have truncated domes installed.
12. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
13. The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.
14. All bicycle racks shall be designed according to the following guidelines:
 - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
 - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - d. The rack allows varying bicycle frame sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.
 - f. Each bicycle parking space is accessible without moving another bicycle.
15. Bicycle racks shall be sturdy and anchored to a concrete pad.
16. A 1-foot clear zone around the bicycle parking stall shall be provided.
17. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
18. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
19. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
20. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.
21. All sidewalks along streets should be placed at the property line.
22. Curbing should be installed to delineate landscape, parking, and pedestrian ways and identify points of access. Please call out detail and location of barrier curb.
23. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way. provide a copy of refuse approval.
24. Provide a copy of Fire Marshal Approval.
25. All one-way drives shall have "One Way" and "Do Not Enter" signage and pavement markings. Please show detail and location of posted signs and striping.

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Albuquerque

NM 87103

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26. Please provide a sight distance exhibit
27. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle."
28. Show the Clear Intersection Sight Distance and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle."
29. Please specify the City Standard Drawing Number when applicable.
30. Shared Site access: driveways that straddle property lines, or are entirely on one property but are to be used by another property, shall have an access easement. Please include a copy of your shared access agreement with the adjacent property owner.
31. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
32. Please provide a letter of response for all comments given.
33. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: mgrush@cabq.gov**).

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Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

For log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3575.

Sincerely,

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

\ma via: email
C: CO Clerk, File

DWG: F:\2021\08501-08000\021-08757-C\40-Design\AutoCAD\Final Plans\Sheets\CHCV\0_TTL01_C2108757.dwg
DATE: Sep 13, 2022 5:49pm
XREFS: C:\PTBLK_C2108757 C:\PBASE_C2108757 C:\PUTIL_C2108757
USER: dpandiston C:\XBASE_C2108757

PROJECT TEAM CONTACTS

SITE CIVIL ENGINEER:
OLSSON
ATTN: RYAN BANNING
1880 FALL RIVER DR, SUITE 200
LOVELAND, CO 80538
PHONE: (970) 635-3737
E: RBANNING@OLSSON.COM

DEVELOPER:
THE HUTTON COMPANY
ATTN: BEN CARROL
736 CHERRY STREET
CHATTANOOGA, TN 37402
PHONE: (423) 400-8893
E: BCARROLL@HUTTON.BUILD

SURVEYOR:
PRECISIONS SURVEYS, INC.
ATTN: LARRY MEDRANO
9200 SAN MATEO BOULEVARD, NE
ALBUQUERQUE, NM 87113
PHONE: (505) 856-5700

ARCHITECT:
AXIS INFRASTRUCTURE
ATTN: BRIAN KAUFMAN
111 CAMBRIDGE SQUARE, SUITE C
ALPHARETTA, GA 30009
PHONE: (510) 463-7968
E: BRIANKAUFMAN@AXISCOMPANIES.COM

LANDSCAPE ARCHITECT:
OLSSON
ATTN: AMY SCHWENNER
7878 N 16TH ST, SUITE 105
PHOENIX, AZ 85020
PHONE: (480) 333-4369
E: ASCHWENNER@OLSSON.COM

HUTTON SNOW VISTA MODWASH

CONSTRUCTION DOCUMENTS
SITE DEVELOPMENT PLAN FOR LOT 1A1 OF SNOW VISTA INVESTORS, TOWN OF
ATRISCO GRANT, PROJECTED SECTION 33, T. 10 N., R. 2 E., N.M.P.M., CITY OF
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



VICINITY MAP
N.T.S.

SITE DATA		
LOT	1A1	
LOT AREA	46,558 SF OR 1.0688 ACRES	
BUILDING	4,420 SF	
ZONING	C-1 NEIGHBORHOOD COMMERCIAL	
SETBACKS	FRONT - 30' MIN	
	SIDE - 6' IF ABUTTING ANY RESIDENTIAL	
	REAR - 15' MIN	
PARKING	REQUIRED: 1 STALL/300 SF	PROVIDED: 1 STALL/300 SF
STANDARD	14	19
ADA	1	1
TOTAL	15	20

BENCHMARK:
ELEVATION DATUM IS BASED ON NAVD 1988 FROM AGRS
MONUMENT "11-M9," PUBLISHED ELEVATION (FEET) = 5139.276

BASIS OF BEARING:
POINT OF BEGINNING AT THE SOUTHEAST CORNER OF LOT
1E, LYING SOUTH EAST AT BEARING S64°27'51"E, 180.31'
MARKED BY A STANDARD A.C.S. BRASS DISC IS A.G.R.S.
MONUMENT "11_M9" BEARS S 04°16'28" W, A DISTANCE OF
11600.77 FEET;

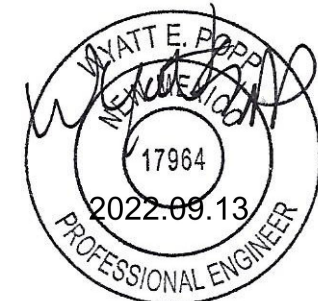
LEGAL DESCRIPTION PER TITLE COMMITMENT:
PORTION OF BELOW TRACT UNTIL RESUBDIVIDED:
LOT 1A OF SNOW VISTA INVESTORS, TOWN OF ATRISCO GRANT,
PROJECTED SECTION 33, T. 10 N., R. 2 E., N.M.P.M., CITY OF
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, REPLAT FROM THE
SNOW VISTA INVESTORS, FILED IN THE
OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO
ON MAY 2001 IN PLAT BOOK 2001C, PAGE 225.

FLOOD_ZONE:
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE(S) X OF
THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL
NO.35001C0336H, WHICH BEARS AN EFFECTIVE DATE OF AUGUST
16, 2012 AND IS/IS NOT IN A SPECIAL FLOOD HAZARD AREA. NO
FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND
AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS
DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL
EMERGENCY MANAGEMENT AGENCY.

Sheet List Table	
Sheet Number	Sheet Title
1	COVER SHEET
2	OLSSON STANDARD NOTES
3	CITY STANDARD NOTES & OVERALL LEGEND
4	EXISTING CONDITIONS AND DEMOLITION PLAN
5	SITE PLAN
6	HORIZONTAL CONTROL PLAN
7	HORIZONTAL CONTROL TABLES
8	PAVING PLAN
9	EROSION CONTROL PLAN PHASE 1
10	EROSION CONTROL PLAN PHASE 1 SOUTH
11	EROSION CONTROL PLAN PHASE 2
12	EROSION CONTROL PLAN PHASE 2 SOUTH
13	GRADING PLAN
14	GRADING PLAN
15	UTILITY PLAN
16	SANITARY SEWER PLAN
17	STORM PLAN
18	DETAILS
19	DETAILS
20	DETAILS
21	LANDSCAPE PLAN
22	LANDSCAPE DETAILS
BSN1	PROPOSED BASIN MAP

ENGINEER STAMP & SIGNATURE	APPROVALS	ENGINEER	DATE	*****
	DRC CHAIRPERSON			APPROVED FOR CONSTRUCTION
	TRANSPORTATION			
	WATER/WASTEWATER			
	HYDROLOGY			
	ABCWUA			CITY ENGINEER DATE
	PARKS			
CONST. MGMT.				SHEET
CONST. COORD.				
CITY PROJECT NO.				

drawn by: _____ TE
checked by: _____ DP
approved by: _____ RB
QA/QC by: _____ RB
project no.: _____ C21-08757
drawing no.: _____
date: _____ 9/13/2022



OLSSON ASSUMES NO
RESPONSIBILITY FOR EXISTING
UTILITY LOCATIONS (HORIZONTAL
OR VERTICAL). THE EXISTING
UTILITIES SHOWN ON THIS
DRAWING HAVE BEEN PLOTTED
FROM THE BEST AVAILABLE
INFORMATION. IT IS HOWEVER
THE RESPONSIBILITY OF THE
CONTRACTOR TO FIELD VERIFY
THE LOCATION OF ALL UTILITIES
PRIOR TO THE COMMENCEMENT
OF ANY CONSTRUCTION
ACTIVITIES.

CALL UTILITY NOTIFICATION
CENTER OF COLORADO



Know what's below.
Call before you dig.
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE
YOU DIG, GRADE, OR EXCAVATE FOR THE
MARKING OF UNDERGROUND MEMBER
UTILITIES.

REVISIONS DESCRIPTION

DATE

REV. NO.

REVISIONS

2022

COVER SHEET

HUTTON SNOW VISTA MODWASH
CONSTRUCTION DOCUMENTS

ALBUQUERQUE, NM

olsson

1880 Fall River Drive,
Suite 200
Loveland, CO 80538

TEL 970.461.7733

www.olsson.com

DWG: F:\2021\08501-09000\021-08757-C\40-Design\AutoCAD\Final Plans\Sheets\GNCV\ C_TTL01_C2108757.dwg
DATE: Sep 13, 2022 5:45pm
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C_XBASE_C2108757
C_PUTIL_C2108757
C_PBASE_C2108757
XREFS: C_PTBK_C2108757

GENERAL NOTES

1. ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY AND/OR EASEMENT SHALL CONFORM TO THE TECHNICAL SPECIFICATIONS AND DESIGN CRITERIA FOR PUBLIC IMPROVEMENT PROJECTS OF THE OWNER OF RIGHT-OF-WAY AND THE GRANTOR OF THE EASEMENT.
2. ALL WORK ON PRIVATE PROPERTY SHALL CONFORM TO THE LATEST EDITION OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS, THEN THE LATEST EDITION OF THE NEW MEXICO APWA IN THAT ORDER OF PRECEDENCE. THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT ALL TIMES (1) SIGNED COPY OF THE PLANS, STANDARDS, AND SPECIFICATIONS AS APPROVED BY THE APPROPRIATE GOVERNING AGENCY. THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ANY VARIANCE TO THE ABOVE DOCUMENTS.
3. THE CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL APPLICABLE CODES, LICENSES, STANDARDS, PERMITS, BONDS, ETC. WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK.
4. THE EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MAY NOT INCLUDE ALL LINES PRESENT. THE CONTRACTOR WILL BE RESPONSIBLE FOR CALLING THE NEW MEXICO ONE CALL SYSTEM AT 1-800-321-2537 AND COORDINATING FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES A MINIMUM OF FORTY-EIGHT (48) HOURS PRIOR TO BEGINNING GRADING AND UTILITY WORK.
5. LOCATIONS AND ELEVATIONS OF EXISTING IMPROVEMENTS TO BE MET (OR AVOIDED) BY WORK TO BE DONE SHALL BE CONFIRMED BY THE CONTRACTOR THROUGH FIELD EXPLORATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REPORT TO THE ENGINEER ANY DISCREPANCIES BETWEEN HIS MEASUREMENTS AND THESE PLANS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE APPROPRIATE FIRE DEPARTMENT OF ALL STREET CLOSURES AND EXISTING FIRE HYDRANTS TAKEN OUT OF SERVICE AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
7. ANY CONSTRUCTION DEBRIS OR MUD DROPPED INTO MANHOLES, INLETS, PIPES OR TRACKED ONTO EXISTING ROADWAYS SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR. THE CONTRACTOR SHALL REPAIR ANY EXCAVATIONS OR PAVEMENT FAILURES CAUSED BY HIS CONSTRUCTION. THE CONTRACTOR SHALL PROPERLY BARRICADE THE CONSTRUCTION SITE UNTIL CONSTRUCTION IS COMPLETE.
8. PRIOR TO BEGINNING THE WORK, THE CONTRACTOR SHALL OBTAIN ANY WRITTEN AGREEMENTS FOR INGRESS AND EGRESS TO THE WORK FORM ADJACENT PRIVATE PROPERTY OWNERS. ACCESS TO ANY ADJACENT PRIVATE PROPERTY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NOT OBTAINED BY THE OWNER OR OWNER'S REPRESENTATIVES AND PAY ALL FEES AS REQUIRED BY THE CONSTRUCTION COVERED IN THESE PLANS.
10. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.
11. NO WORK SHALL BE BACKFILLED (INCLUDING BEDDING MATERIAL ABOVE THE SPRING LINE OF THE PIPE) UNTIL THE CONSTRUCTION HAS BEEN INSPECTED AND APPROVED FOR BACKFILLING BY THE APPROPRIATE GOVERNING AGENCY.
12. ALL WORK AND MATERIALS WILL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THE OWNERS REPRESENTATIVE.
13. SHOP DRAWINGS AND MATERIAL SPECIFICATIONS SHALL BE SUBMITTED TO OWNER/ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PLACEMENT OF MATERIAL.
14. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE, AND FEDERAL APPLICABLE LAWS AND REGULATIONS.
15. ALL ESTIMATES OF QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING ALL QUANTITIES. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS AS SHOWN ON THESE PLANS.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SITE SAFETY OF HIS OWN PERSONNEL, ALL VISITORS TO THE SITE, AND THE GENERAL PUBLIC INCLUDING, BUT NOT LIMITED TO, TRENCH EXCAVATION AND SHORINGS, TRAFFIC CONTROL, AND SECURITY NOT LIMITED TO NORMAL WORKING HOURS.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL EXISTING FEATURES TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION ACTIVITIES TO EQUAL OR BETTER CONDITION, AT HIS OWN EXPENSE.
18. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL SITE IMPROVEMENTS (INCLUDING BUT NOT LIMITED TO: UTILITIES, STRUCTURES, PAVING, LANDSCAPING, ETC.) SUCH THAT NO DAMAGE IS DONE TO SITE IMPROVEMENTS (I.E.: SAWCUTTING NEW PAVEMENT). SITE IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST TO THE OWNER.
19. IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE THAT A PRIOR UNIDENTIFIED SITUATION IS PRESENT, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
20. THE CONTRACTOR SHALL REMOVE ALL DEBRIS RESULTING FROM WORK UNDER THIS CONTRACT TO AN APPROVED DUMP SITE.
21. DIMENSIONS SHOWN ON THE PLANS ARE TO FACE OF CURB LINE IN CURBED AREA AND BUILDING GRID LINES OF BUILDING, AND TO CENTERLINE OF UTILITIES, UNLESS OTHERWISE SPECIFIED.
22. USE ONLY DIMENSIONS PROVIDED ON THESE PLANS. DO NOT SCALE DRAWINGS. INFORM ENGINEER OF ANY DISCREPANCIES AND/OR MISSING INFORMATION.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ADJACENT PARCELS DURING ALL HOURS OF OPERATION FOR THE BUSINESSES LOCATED ON THOSE PARCELS.
24. CONTRACTOR TO OBTAIN TEMPORARY POWER, TELEPHONE AND WATER FOR THE SITE.
25. CONTRACTOR TO REFER TO DRAWINGS ISSUED BY THE ARCHITECT, TO ENSURE COORDINATION OF EXACT LOCATION AND DIMENSIONS OF BUILDING EXITS, RAMPS, TRUCK DOCKS, UTILITY ENTRANCE LOCATIONS AND GRADES AROUND THE BUILDING. IMMEDIATELY NOTIFY ENGINEER AND ARCHITECT OF ANY DISCREPANCIES.
26. REFER TO ARCHITECTURAL DRAWINGS FOR ALL IMPROVEMENTS BETWEEN THE BUILDING AND THE SIDEWALK SURROUNDING THE BUILDING.
27. CONTRACTOR MUST COORDINATE CONSTRUCTION WITH OWNER/ADJACENT PROPERTY OWNER, ADJACENT PROJECT CONSTRUCTION MANAGER.
28. THE CONTRACTOR SHALL OBTAIN A COPY OF THE STANDARD SPECIFICATIONS AND DETAILS OF ALL AGENCIES EXERCISING JURISDICTION OVER THIS PROJECT. A COPY OF THESE SPECIFICATIONS AND DETAILS SHALL BE MAINTAINED ON THE JOBSITE AT ALL TIMES. A COPY OF ALL APPLICABLE STANDARD DETAILS AND SPECIFICATIONS ARE INCORPORATED HEREIN BY REFERENCE.
29. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING EXISTING IRRIGATION SYSTEM IN THE AREAS OF PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL CAP THE EXISTING IRRIGATION SYSTEM TO REMAIN SUCH THAT THE REMAINING SYSTEM SHALL CONTINUE TO FUNCTION PROPERLY. IN CASES WHERE ISLAND, ROADWAYS, PARKING LOTS, AND OTHER IMPROVEMENTS NOT MENTIONED ARE MOVED OR ADJUSTED TO GRADE, CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL LANDSCAPED AREAS ARE PROPERLY IRRIGATED & THAT IRRIGATION SYSTEM FUNCTIONS PROPERLY.
30. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ADJACENT CITY STREETS FREE AND CLEAN OF ALL DEBRIS AND DIRT FROM THE JOB SITE.
31. SEVEN (7) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO BERNALILLO COUNTY PUBLIC WORKS DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE BERNALILLO COUNTY TRAFFIC DIVISION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION COORDINATION ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
32. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS WAS EXISTING, OR AS INDICATED BY THIS PLAN SET.

33. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT TO COVER THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
34. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.

GRADING

1. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS. ANY PROPERTY CORNERS DISTURBED OR DAMAGED BY GRADING ACTIVITIES SHALL BE RESET BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF NEW MEXICO, AT THE CONTRACTORS EXPENSE.
2. THE CONTOUR LINES AND BUILDING FLOOR ELEVATIONS SHOWN ARE TO FINISH GRADE FOR SURFACE OF PAVEMENT, TOP OF SIDEWALKS AND CURBS, TOP OF FLOOR SLABS, ETC.. ALL SPOT ELEVATIONS SHOWN ARE TO FLOWLINE UNLESS OTHERWISE INDICATED. REFER TO TYPICAL SECTIONS FOR MULCH, SOD, PAVING, SLAB AND AGGREGATE BASE THICKNESS TO DEDUCT FOR GRADING LINE ELEVATIONS.
3. TOP OF CURB AND SIDEWALK ELEVATIONS AT LOCATIONS OTHER THAN THE SIDEWALK AROUND THE BUILDING SHALL BE 0.5' ABOVE GUTTER ELEVATIONS UNLESS OTHERWISE NOTED. IN AREAS WITH SIDEWALK ABUTTING BACK OF CURB, TOP OF CURB ELEVATIONS SHALL BE EQUAL TO SIDEWALK ELEVATIONS.
4. THE CONTRACTOR SHALL FINISH GRADE SLOPES AS SHOWN NO STEEPER THAN ONE FOOT VERTICAL IN THREE FEET HORIZONTAL.
5. CONTRACTOR SHALL GRADE LANDSCAPED AREAS TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND SIDEWALKS WHEN FINISH LANDSCAPE MATERIALS ARE IN PLACE.
6. THE CONTRACTOR SHALL CLEAN OUT ALL EXISTING AND PROPOSED INLETS, PIPES AND MANHOLES OF DEBRIS AND SEDIMENT AT COMPLETION OF SITEWORK. THIS WORK SHALL BE DONE TO THE SATISFACTION OF THE OWNER.
7. CONTRACTOR SHALL COORDINATE TESTING ACTIVITIES WITH THE GEOTECHNICAL ENGINEER.
8. ALL GRADING, COMPACTION, AND PAVEMENT CONSTRUCTION WILL BE IN ACCORDANCE WITH RECOMMENDATIONS FROM THE GEOTECHNICAL INVESTIGATION.
9. CONTRACTOR SHALL PROVIDE AS-BUILT SURVEY AS NEEDED FOR GRADING AND DRAINAGE CERTIFICATION.

ACCESSIBILITY NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL ACCESSIBLE AREAS ARE BUILT IN ACCORDANCE WITH THE PLANS AND THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) AS WELL AS COMPLIANCE WITH ANSI A117.1.
2. ALL ADA ACCESSIBLE PARKING SHALL BE CONSTRUCTED WITH A MAXIMUM SLOPE OF 2.00% IN ANY DIRECTION.
3. ALL ADA ACCESSIBLE ROUTES SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% AND A MAXIMUM LONGITUDINAL SLOPE OF 5.00%. ALL SIDEWALKS AND CROSSWALKS SHALL MEET ACCESSIBLE ROUTE REQUIREMENTS.
4. ALL ADA MANEUVERING AREAS SHALL BE CONSTRUCTED WITH A MAXIMUM SLOPE OF 2.00% IN ANY DIRECTION.
5. ALL ADA ACCESSIBLE RAMPS SHALL MEET THE ADA REQUIREMENTS PER ADAAG SECTION 4.7 & 4.8.

DEWATERING PERMITS

1. CONTRACTOR TO OBTAIN DEWATERING PERMIT, IF REQUIRED, FROM THE NEW MEXICO OFFICE OF THE STATE ENGINEER PRIOR TO COMMENCING WORK. DISCHARGES SHALL BE MONITORED ACCORDING TO THE CONDITIONS OF THE NEW MEXICO OFFICE OF THE STATE ENGINEER PERMIT.

GEOTECHNICAL REPORT NOTE

1. CONTRACTOR TO OBTAIN AND READ THE GEOTECHNICAL ENGINEERING STUDY (GEOTECHNICAL EVALUATION REPORT SEC RIO BRAVO BLVD AND LORIS DRIVE, BERNALILLO COUNTY, NEW MEXICO, WT REFERENCE: 3220JU011, MARCH 1, 2021) PREPARED BY WESTERN TECHNOLOGIES INC. FOR AVANZANDO LLC. IN CASE OF ANY CONFLICT WITH THESE PLANS AND SITEWORK SPECIFICATIONS REGARDING PAVING AND EARTHWORK, THE GEOTECHNICAL REPORT WILL GOVERN. ALL PAVING AND EARTH WORK SHALL CONFORM TO THE RECOMMENDATIONS OF THIS REPORT.

UTILITIES

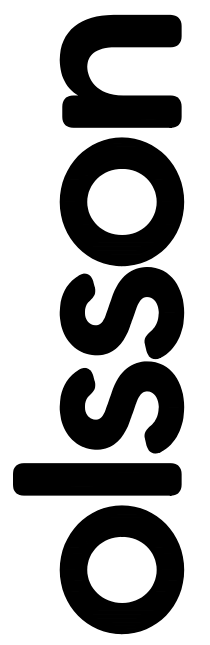
1. CONTRACTOR TO FIELD VERIFY LOCATIONS AND SIZES OF ALL EXISTING UTILITIES BEFORE BEGINNING WORK.
2. THE CONTRACTOR SHALL COORDINATE EXACT LOCATIONS AND SIZES OF ALL UTILITY SERVICE LINE HOOKUPS TO THE BUILDINGS WITH THE MECHANICAL, ELECTRICAL AND PLUMBING PLANS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO THE ENGINEER AND ARCHITECT PRIOR TO BEGINNING UTILITIES CONSTRUCTION.
3. THE CONTRACTOR SHALL CONSTRUCT THE SANITARY SEWER SERVICE CONNECTIONS IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND SPECIFICATIONS OF THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
4. THE CONTRACTOR SHALL CONSTRUCT ALL WATER SERVICE CONNECTIONS IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND SPECIFICATIONS OF THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
5. THE CONTRACTOR SHALL CONSTRUCT ALL ELECTRIC, GAS, TELEPHONE, AND CABLE TELEVISION SERVICES IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND SPECIFICATIONS OF THE UTILITY PROVIDER.
6. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
7. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
8. UTILITY TRENCHES ARE TO BE SLOPED OR BRACED AND SHEETED AS NECESSARY FOR THE SAFETY OF THE WORKMEN AND THE PROTECTION OF OTHER UTILITIES IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS.
9. CONTRACTOR TO SET AND ADJUST ALL MANHOLE COVERS, INLET GRATES, WATER VALVES, CLEANOUTS, AND ANY OTHER ACCESS COVERS TO FINISHED PAVEMENT SURFACE OR FINISHED GRADE.

EROSION & SEDIMENT CONTROL

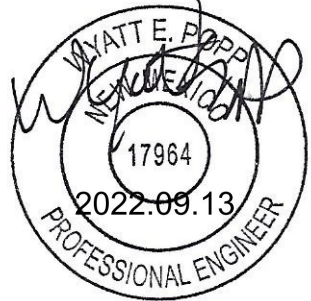
1. THE CONTRACTOR SHALL OBTAIN A NPDES PERMIT PRIOR TO COMMENCEMENT OF ANY SOIL DISTURBING ACTIVITIES.
2. CONTRACTOR SHALL REFER TO THE STORMWATER POLLUTION PREVENTION PLAN, BY OTHERS, FOR LOCATION AND DETAILS OF ALL BEST MANAGEMENT PRACTICES UTILIZED FOR THIS PROJECT.
3. THE CONTRACTOR SHALL INSTALL EROSION/SEDIMENTATION CONTROLS PRIOR TO ANY SITE PREPARATION WORK (E.G., CLEARING, GRUBBING, OR EXCAVATION).
4. THE PLACEMENT OF EROSION/SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION AND EROSION CONTROL PLAN PREPARED BY OTHERS.
5. CONTRACTOR TO ADJUST EROSION CONTROL MEASURES AS NEEDED FOR VARIOUS PHASES OF WORK.
6. CONTRACTOR TO ENSURE THAT NO DIRT AND SEDIMENT IS TRACKED ONTO ADJACENT STREETS AND WATERWAYS.
7. TOPSOIL SHALL BE STOCKPILED WITHIN LIMITS OF CONSTRUCTION FOR USE ON AREAS TO BE RE-VEGETATED. ANY AND ALL STOCKPILES SHALL BE PLACED IN AN APPROVED LOCATION AND PROTECTED FROM EROSIIVE ELEMENTS USING MEASURES SPECIFIED IN THE EROSION CONTROL PLAN PREPARED BY OTHERS.
8. ANY SETTLEMENT OR SOIL ACCUMULATIONS BEYOND THE LIMITS OF CONSTRUCTION DUE TO GRADING OR EROSION SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, PROPERTIES, ETC. RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
9. A WATER SOURCE MUST BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
10. THE CONTRACTOR MUST KEEP ALL POLLUTANTS, INCLUDING SEDIMENT, CONSTRUCTION DEBRIS, AND TRENCH BACKFILL MATERIALS FROM ENTERING THE STORM SEWER SYSTEM.
11. ALL SPILLS INCLUDING, BUT NOT LIMITED TO, PETROLEUM PRODUCTS, SOLVENTS, AND CEMENT SHALL BE CLEANED UP IMMEDIATELY PER THE REQUIREMENTS OUTLINED IN THE STORMWATER POLLUTION PREVENTION PLAN BY OTHERS.
12. THE CONTRACTOR SHALL ENSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THE SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC RIGHT-OF-WAY.
13. THE CONTRACTOR SHALL ENSURE THAT ALL MATERIAL EXPORTED FROM THE SITE, IS DISPOSED OF AT A SITE PERMITTED TO ACCEPT SUCH MATERIAL.
14. REFER TO PROJECT PAVING AND LANDSCAPE PLAN FOR PERMANENT STABILIZATION MEASURES.

STORM SEWER

1. REFERENCE POINTS FOR STRUCTURES ARE AS FOLLOWS:
 - CENTER OF CLEANOUTS
 - CENTER OF TOP BACK OF CURB FOR CURB INLETS
2. STORM SEWER PIPE LENGTHS ARE MEASURED AS FOLLOWS:
 - CENTER OF CLEANOUTS
 - INSIDE FACE OF CURB INLET WALL
 - LENGTHS LISTED ARE 2D MEASUREMENTS
3. THE CONDUIT LAYING SHALL BEGIN AT THE DOWNSTREAM END OF THE CONDUIT LINE. THE LOWER SEGMENT OF THE CONDUIT SHALL BE IN CONTACT WITH THE PREPARED BEDDING THROUGHOUT ITS FULL LENGTH BELL OR GROOVE ENDS OF CONCRETE PIPE CONDUITS AND OUTSIDE CIRCUMFERENTIAL LAPS OF METAL OR PLASTIC PIPE SHALL BE PLACED FACING UPSTREAM. SEE NMDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION, SECTION 570.3 FOR FURTHER EXPLANATION.
4. WHEN JOINING CONDUITS, CONCRETE SECTIONS SHALL BE JOINED IN SUCH A MANNER THAT THE ENDS ARE FULLY ENTERED AND THE INNER SURFACES ARE REASONABLY FLUSH AND EVEN. WHERE RUBBER GASKETS ARE SHALL BE USED ON ALL CONDUIT JOINTS AND SHALL CONFORM TO NMDOT STANDARD 570.3.5. SEE NMDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION, SECTION 570.3.5 FOR FURTHER EXPLANATION.




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OLSSON ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL OR VERTICAL), THE EXISTING UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS HOWEVER THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

CALL UTILITY NOTIFICATION
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Know what's below.
Call before you dig.
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE
YOU DIG, GRADE, OR EXCAVATE FOR THE
MARKING OF UNDERGROUND MEMBER
UTILITIES.

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REV. NO.									

OLSSON STANDARD NOTES		HUTTON SNOW VISTA MOWWASH CONSTRUCTION DOCUMENTS	
		2022	
		ALBURQUERQUE, NM	

drawn by: _____ TE

checked by: _____ DP

approved by: _____ RB

QA/QC by: _____ RB

project no.: _____ C21-08757

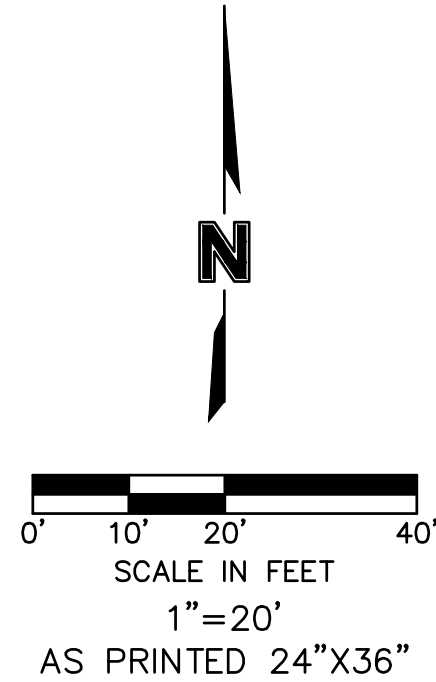
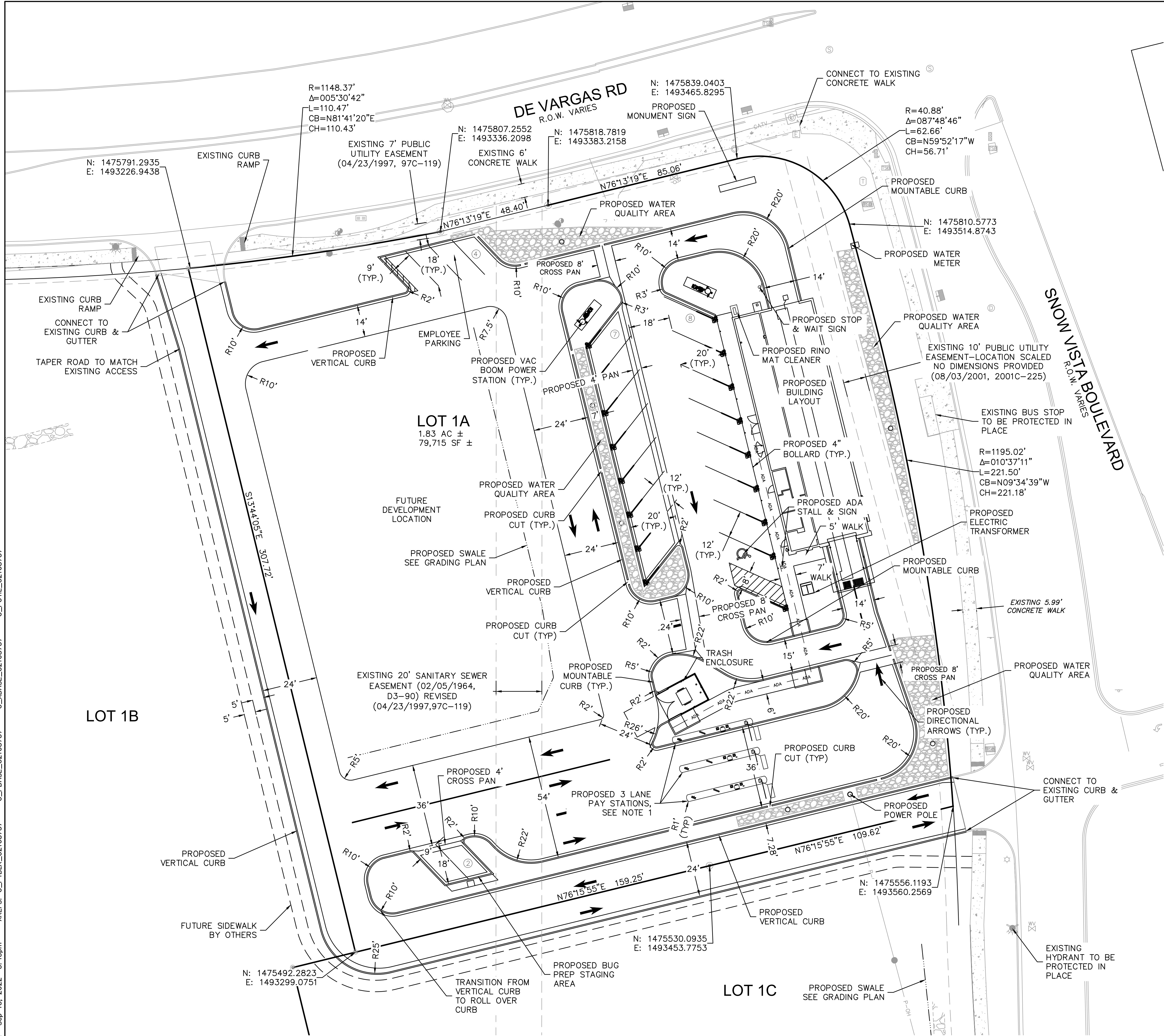
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date: _____ 9/13/2022

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NOTES:

- 3 PROPOSED LANE PAY STATIONS WITH LICENSE PLATE READERS. SEE ARCHITECTURAL PLANS FOR DETAILS.

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WYATT E. PETERSON
17984
2022-08-13
PROFESSIONAL ENGINEER

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2022

SITE PLAN

HUTTON SNOW VISTA MODWASH
CONSTRUCTION DOCUMENTS

ALBUQUERQUE, NM

drawn by: TE

checked by: DP

approved by: RB

QA/QC by: RB

project no.: C21-08757

drawing no.: 9/13/2022

SHEET

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