

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 18, 2024

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM, 87109

**RE: Sage Plaza Self Storage
Grading and Drainage Plans
Engineer's Stamp Date: 01/04/24
Hydrology File: M09D012B**

Dear Mr. Bohannon:

Based upon the information provided in your submittal received 01/11/2024, the Grading & Drainage Plans are approved for Building Permit, and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

NM 87103

2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the stormwater quality pond per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

www.cabq.gov

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: PLAT (#of lots) _____ RESIDENCE
DFT SITE ADMIN SITE

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

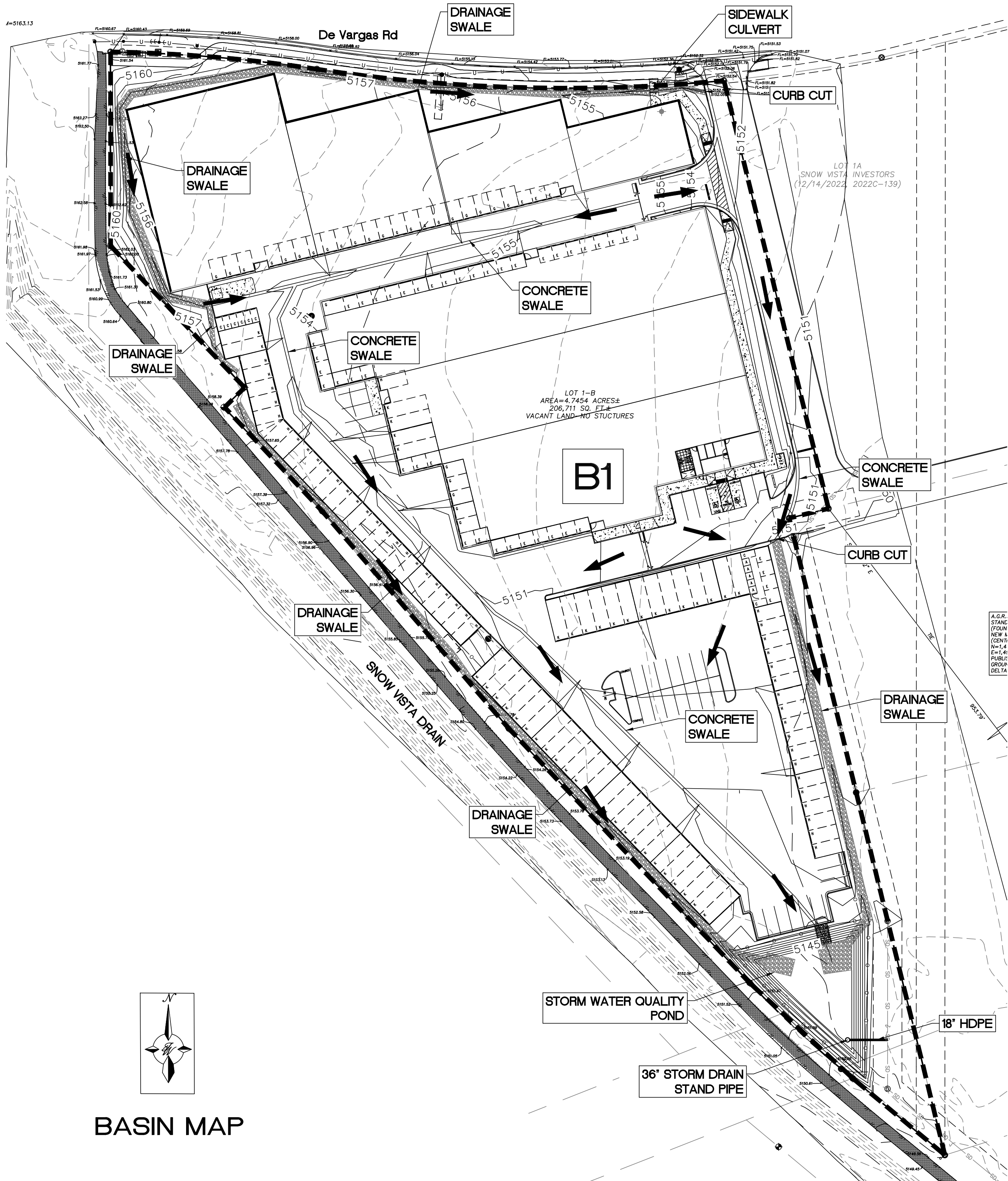
ENGINEER/ARCHITECT CERTIFICATION
PAD CERTIFICATION
CONCEPTUAL G&D PLAN
GRADING & DRAINAGE PLAN
DRAINAGE REPORT
DRAINAGE MASTER PLAN
CLOMR/LOMR
TRAFFIC CIRCULATION LAYOUT (TCL)
ADMINISTRATIVE
TRAFFIC CIRCULATION LAYOUT FOR DFT
APPROVAL
TRAFFIC IMPACT STUDY (TIS)
STREET LIGHT LAYOUT
OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

BUILDING PERMIT APPROVAL
CERTIFICATE OF OCCUPANCY
CONCEPTUAL TCL DFT APPROVAL
PRELIMINARY PLAT APPROVAL
FINAL PLAT APPROVAL
SITE PLAN FOR BLDG PERMIT DFT
APPROVAL
SIA/RELEASE OF FINANCIAL GUARANTEE
FOUNDATION PERMIT APPROVAL
GRADING PERMIT APPROVAL
SO-19 APPROVAL
PAVING PERMIT APPROVAL
GRADING PAD CERTIFICATION
WORK ORDER APPROVAL
CLOMR/LOMR
OTHER (SPECIFY) _____

DATE SUBMITTED: _____

\\TWNASVZ_Drive\2023\2023018 Storage Units Lot 1B Snow Vista Investors\dwg\EPIC\2023018_BASINS.dwg Jan 08, 2024 - 10:45am



BASIN MAP

HYDROLOGY NOTES

THE PROJECT SITE IS LOCATED ON THE WEST SIDE OF ALBUQUERQUE, AND IS BOUNDED BY THE SNOW VISTA DIVERSION CHANNEL TO THE WEST, DE VARGAS RD. TO THE NORTH AND EAST OF THE VACANT LANDS FRONTING SNOW VISTA BLVD. A STORAGE FACILITY IS BEING PROPOSED TO BE CONSTRUCTED ON THE WESTERN TRACT (LOT 1-B) 4.75 ACRE PROPERTY. IT WILL HAVE 2 ACCESS ENTRANCES TO A SHARED ACCESS ROAD ON THE EAST SIDE OF THE PROPERTY. THE SITE IS SHOWN ON ZONE ATLAS PAGE M-9-Z.

THE SITE IS NOT LOCATED IN A 100YR FLOOD ZONE PER FEMA FIRM MAP 35001C0336H, AUGUST 2012.

BASIN DATA

THE INTENT OF THIS PLAN IS TO PROVIDE COMPLETE DETENTION OF THE DEVELOPED WATER QUALITY VOLUME FOR THE 100 YEAR, 24 HR. STORM FOR ALL OF LOT 1-B. THIS GRADING PLAN WILL CONTAIN THE RUN-OFF FROM ALL BUILDINGS PER THE APPROVED SITE PLAN. THE SITE HAS BEEN GRANTED FREE DISCHARGE AS THE RUN-OFF VOLUMES HAVE BEEN ACCOUNTED FOR IN THE OVERALL MASTER DRAINAGE PLAN.

ACS BENCHMARK

A.G.R.S. MONUMENT "11_M9"
STANDARD C.O.A. ALUMINUM DISC
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,474,735.261 US SURVEY FEET
E=1,493,878.618 US SURVEY FEET
PUBLISHED EL=5139.276 US SURVEY FT (NAVD 1988)
GROUND TO GRID FACTOR=0.999682709
DELTA ALPHA ANGLE=-0°16'52.37"



FIRM MAP: 35001C0336H

LEGAL DESCRIPTION

LOT "1B", SNOW VISTA INVESTORS, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "PLAT OF LOTS 1A, 1B, 1C, 1D AND 1E, SNOW VISTA INVESTORS, TOWN OF ATRISCO GRANT, PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO," FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 14, 2022, IN PLAT BOOK 2022C, PAGE 139.

DPM CH6 HYDROLOGY SECTION

Precipitation Zone 1

SAGE PLAZA STORAGE

SW Corner of De Vargas Rd & Snowvista Blvd, Albuquerque, NM.

TWLLC

Date

12/20/2023

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed

Volume = Weighted E * Total Area

Flow = Qa*Aa + Qb*Ab + Qc*Ac + Qd*Ad

HYDROLOGY CALCULATION TABLES

Historic Conditions

Basin ID	Tract	Area			Treatment A		Treatment B		Treatment C		Treatment D		100-Year, 6-Hour		
		(sf)	(acres)	(sq miles)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs
B1	1-B	206,385	4.74	0.00740	100%	4.738	0%	0.000	0%	0.000	0%	0.000	0.550	0.217	7.30
Total		206,385	4.74	0.00740		4.738		0.000		0.000		0.000		0.217	7.296

Proposed Conditions

Basin ID	Tract	Area			Treatment A		Treatment B		Treatment C		Treatment D		100-Year, 6-Hour		
		(sf)	(acres)	(sq miles)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs
B1	1-B	206,385	4.74	0.00740	0%	0.000	0%	0.000	15%	0.711	85%	4.027	2.047	0.808	18.63
Total		206,385	1.31	0.00740		0.000		0.000		0.711		4.027		0.808	18.632

Stormwater Quality Volume			
Total Impervious Area =		ΣArea in "Treatment D"	
Retainage depth = 0.42" Per DPM		0.4200	IN
Retention Volume =		0.42 x area D / 12	CF
Area D (4.027 AC-FT) =		175,416	CF
Volume Required =		6140	CF
Volume Provided =		6805	CF

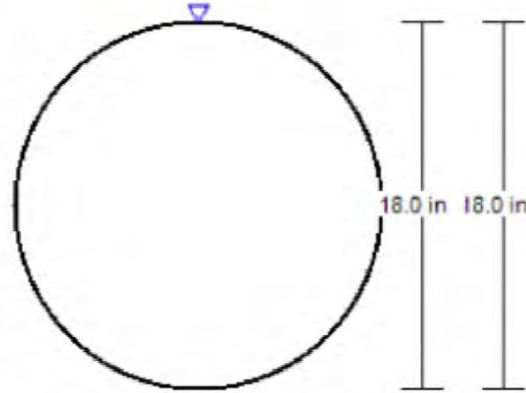
POND VOLUME CALCULATIONS			
ELEVATION (ft)	AREA (sf)	VOLUME (cf)	CUMULATIVE VOLUME (cf)
44.5	2627	0	0
45.5	3379	3003	3003
46.5	4225	3802	6805
47.5	5164	4694.5	11500

POND STORAGE				
ACTUAL ELEV.	H (FT)	VOLUME (CF)	Q (CFS)	VOLUME (AC-FT)
44.5	0.00	0	0.00	0.0000
45.5	0.00	3003	0.00	0.0689
46.5	0.00	6805	0.00	0.1562
47.5	1.00	11500	34.04	0.2640

Orifice Equation			
Q =	CA(2gH) ^{0.5}		
C =	0.6		
A (FT^2) =	7.07	3" STAND PIPE	
H (FT) =	1.00		
Q (CFS) =	34.04		

18" HDPE PIPE CALCS

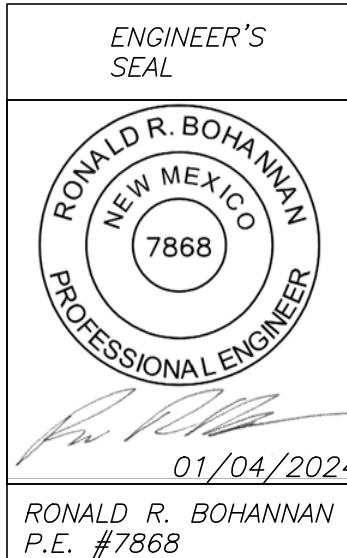
Project Description	
Friction Method	Manning Formula
Solve For	Discharge
Input Data	
Roughness Coefficient	0.011
Channel Slope	0.025 ft/ft
Normal Depth	18.0 in
Diameter	18.0 in
Discharge	19.63 cfs



V: 1
H: 1



APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.



98TH & SAGE STORAGE
ALBUQUERQUE, NM

GRADING AND DRAINAGE
BASIN MAP

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY
BF

DATE
01/04/2024

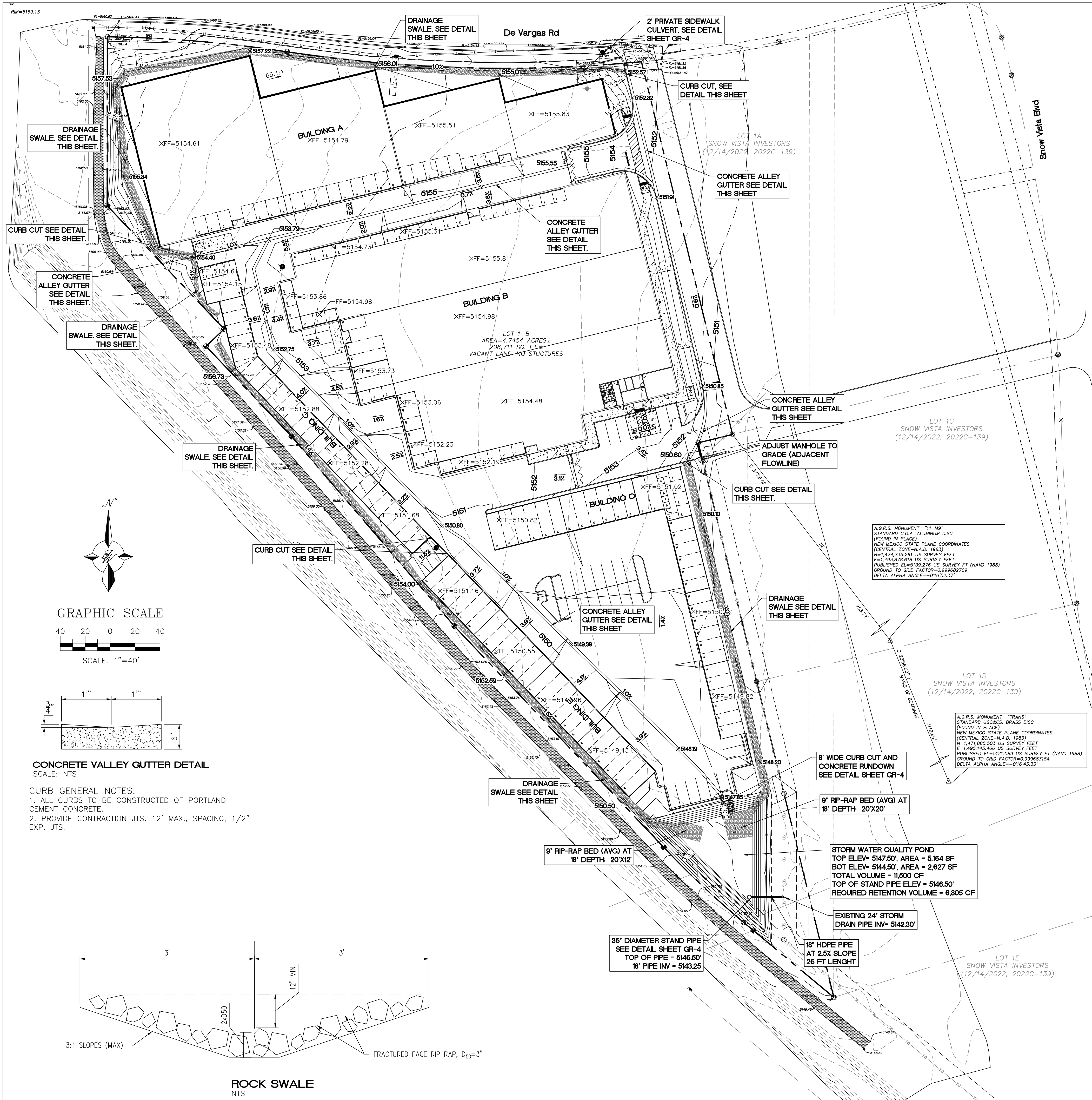
2023018_BASINS

SHEET #

GR-0

JOB #
2023018

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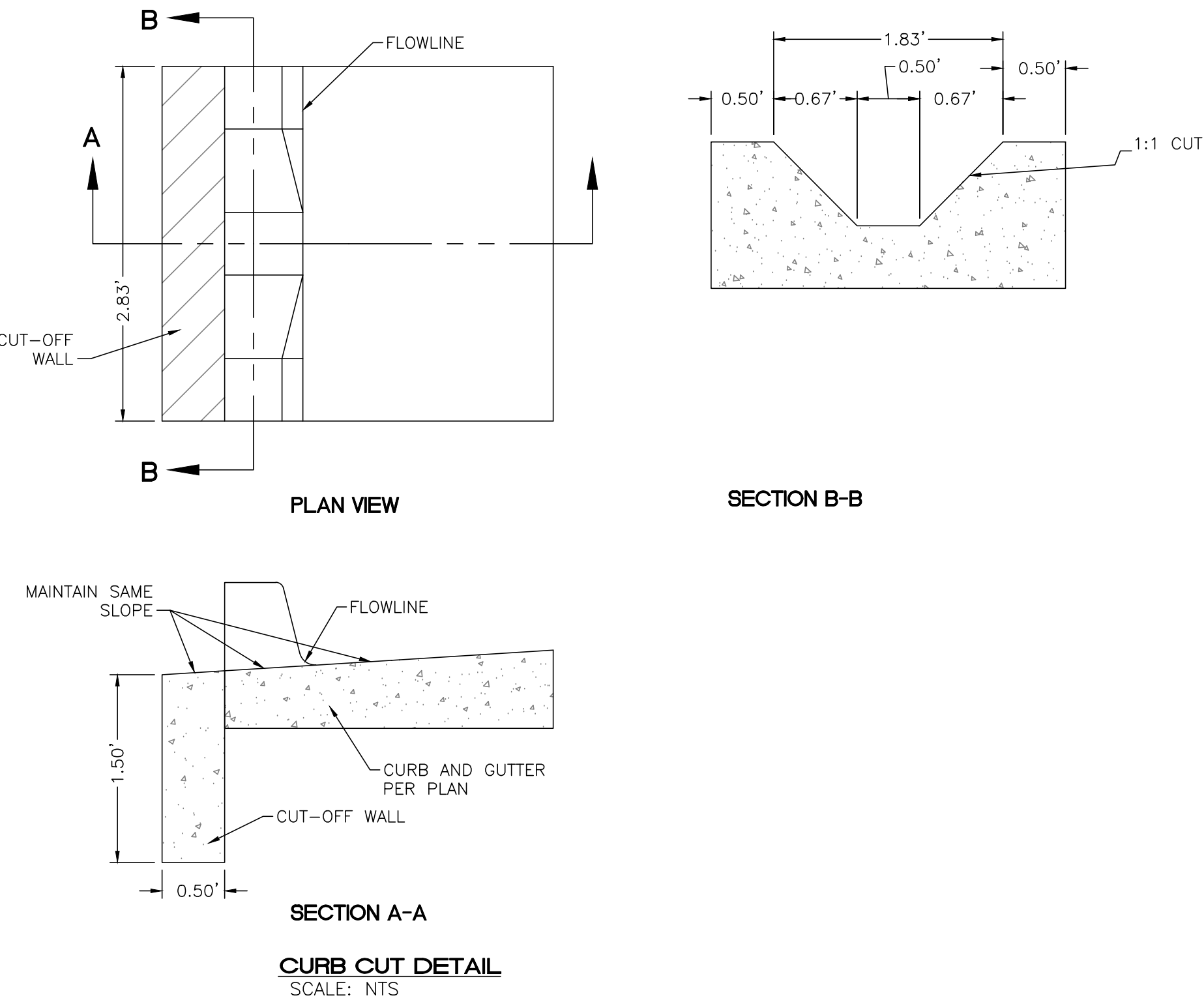
LEGEND		
	CURB & GUTTER	x 5048.25 SPOT ELEVATION
	BOUNDARY LINE	→ FLOW ARROW
	EASEMENT	--- EXISTING CURB & GUTTER
	BUILDING	--- EXISTING BOUNDARY LINE
	SIDEWALK	--- 5010 --- EXISTING CONTOUR MAJOR
	STEM WALL	--- 5011 --- EXISTING CONTOUR MINOR
	CONTOUR MAJOR	x 5048.25 EXISTING SPOT ELEVATION
	CONTOUR MINOR	~~~~~ GRADE BREAK

- COA NOTICE TO CONTRACTORS**
1. ALL WORK IN THE RIGHT-OF-WAY SHALL BE INCLUDED IN A WORK ORDER.
 2. BUILD ALL PUBLIC SIDEWALK CULVERTS PER COA STD DWG 2236.
 3. CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
 4. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 5. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 6. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT **NEW MEXICO ONE CALL, DIAL "811"** (OR (505) 260-1990) FOR THE LOCATION OF EXISTING UTILITIES.
 7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 8. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 9. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
 10. WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
 11. CONTRACTOR MUST CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION. FOR EXCAVATING AND BARRICADE INSPECTIONS, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.

SPOT ELEVATION NOTE:
ALL SPOT ELEVATIONS ARE FLOW LINE UNLESS OTHERWISE NOTED.

FF = FINISH FLOOR ELEVATION
TW = FINISH GRADE NEAR TOP OF STEM WALL
FL = FLOW LINE ELEVATION
TC = TOP OF CURB ELEVATION




CAUTION
ALL EXISTING UTILITIES/TOPOGRAPHY SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

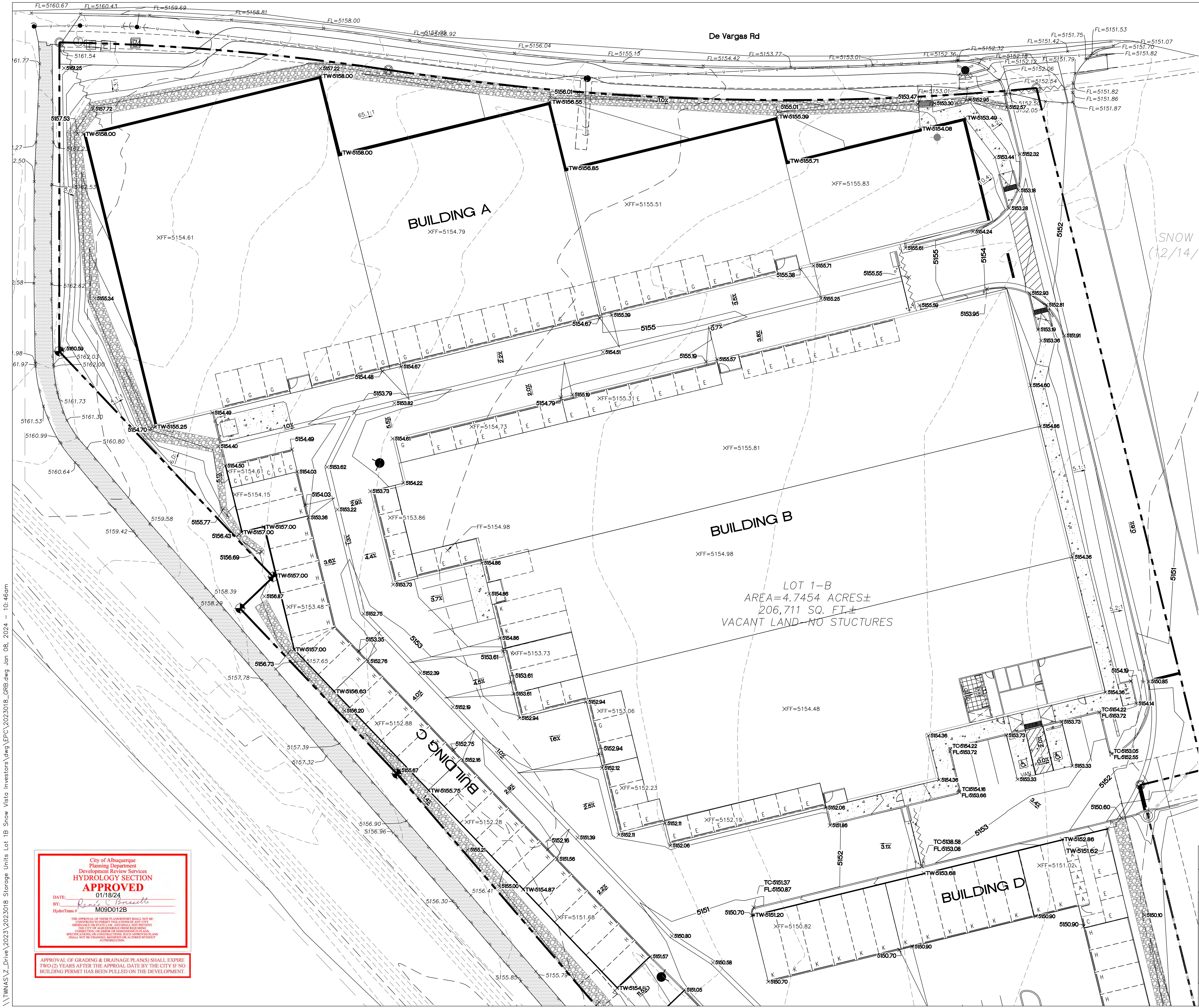


City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 01/18/24
BY: *Ronald R. Bohannan*
HydroTeam # M09D012B

THE APPROVAL OF THESE PLANS REPRESENTS THAT THE CITY ENGINEER HAS REVIEWED THE PLANS AND FOUND THEM TO BE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE, NEW MEXICO, AND LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH. THIS APPROVAL DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED OR THE RESULTS OF THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE SAFETY OF THE CONSTRUCTION. THE CITY OF ALBUQUERQUE, NEW MEXICO, AND LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH SHALL NOT BE CONSIDERED AS A GUARANTEE OF THE RESULTS OF THE CONSTRUCTION.

APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

<div>ENGINEER'S SEAL</div> <div><div>RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER</div><div></div><div>01/04/2024</div><div>RONALD R. BOHANNAN P.E. #7868</div></div>	98TH & SAGE STORAGE ALBUQUERQUE, NM		DRAWN BY BF
	GRADING & DRAINAGE PLAN	DATE 01/04/2024	
		2023018_GRB	
		SHEET # GR-1	
<div>TIERRA WEST, LLC</div> <div>5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com</div>		JOB # 2023018	

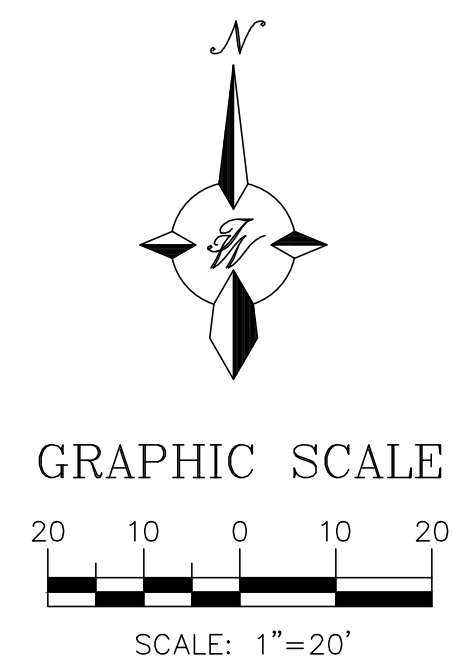


- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - CENTERLINE
 - BUILDING
 - SIDEWALK
 - STEM WALL
 - CONTOUR MAJOR
 - CONTOUR MINOR
 - SPOT ELEVATION
 - FLOW ARROW
 - EXISTING CURB & GUTTER
 - EXISTING BOUNDARY LINE
 - EXISTING CONTOUR MAJOR
 - EXISTING CONTOUR MINOR
 - EXISTING SPOT ELEVATION
 - GRADE BREAK

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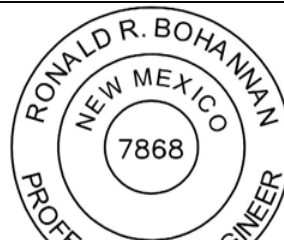
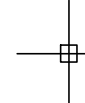
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City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 01/18/24
BY: *Randy C. Bonicelli*
HydroTrans # M09D012B

THE APPROVAL OF THESE PLANS DOES NOT BE
CONSIDERED TO BE A GUARANTEE OF ANY CITY
ENGINEER OR PLANNING DEPARTMENT. THE CITY OF ALBUQUERQUE, NM, AND ITS EMPLOYEES
DO NOT ASSUME ANY LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY
RESULTING FROM THE USE OF THESE PLANS. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR
OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
SPECIFICATIONS ON CONSTRUCTION SHALL BE APPROVED BY THE CITY OF ALBUQUERQUE, NM.

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE
TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO
BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

<div>ENGINEER'S SEAL</div> <div> <i>R. Bohannon</i> 01/04/2024</div> <div>RONALD R. BOHANNAN P.E. #7868</div>	98TH & SAGE STORAGE ALBUQUERQUE, NM	DRAWN BY BF	
		DATE 01/04/2024	
		2023018_GRB	
		SHEET # GR-2	
		<div><div>TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com</div></div>	JOB # 2023018



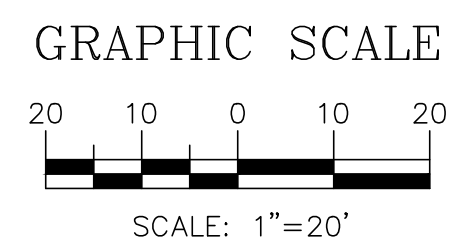
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
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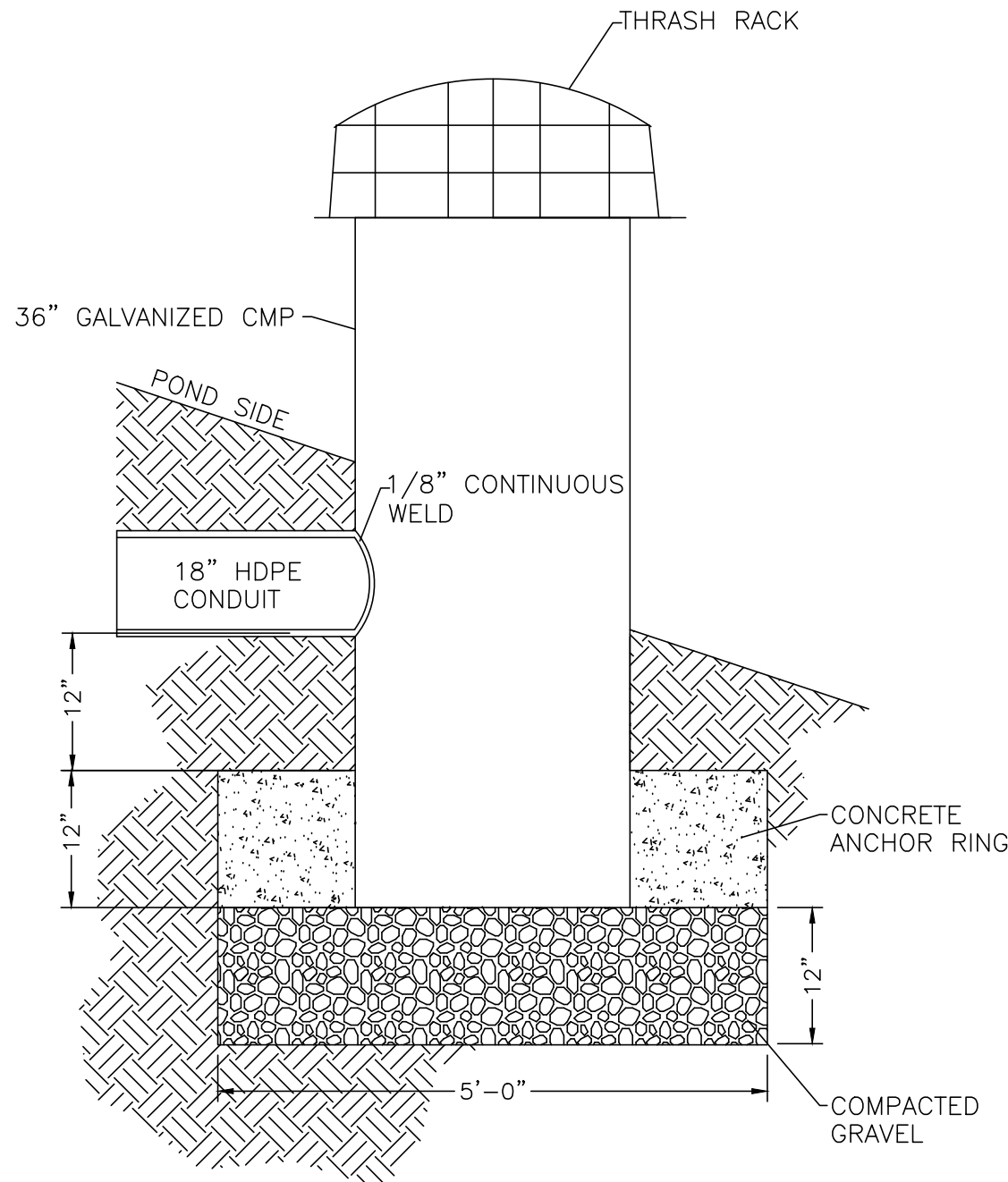


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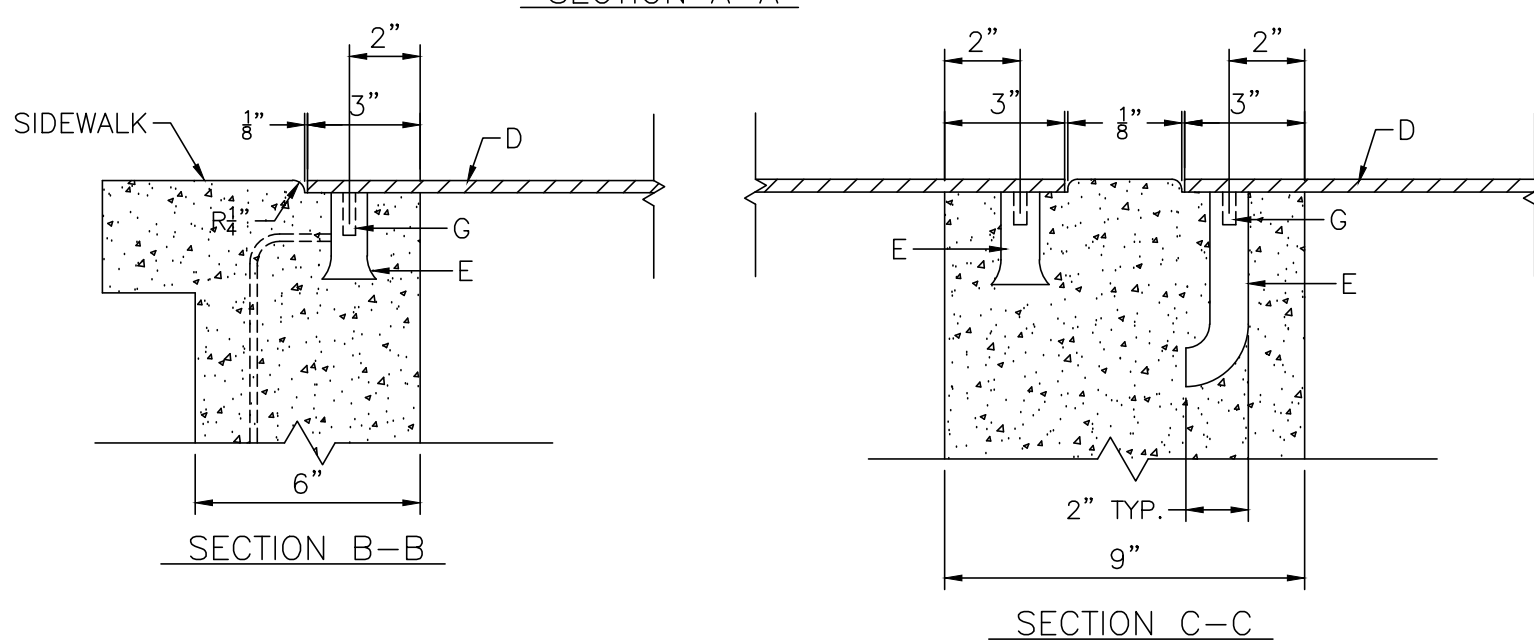
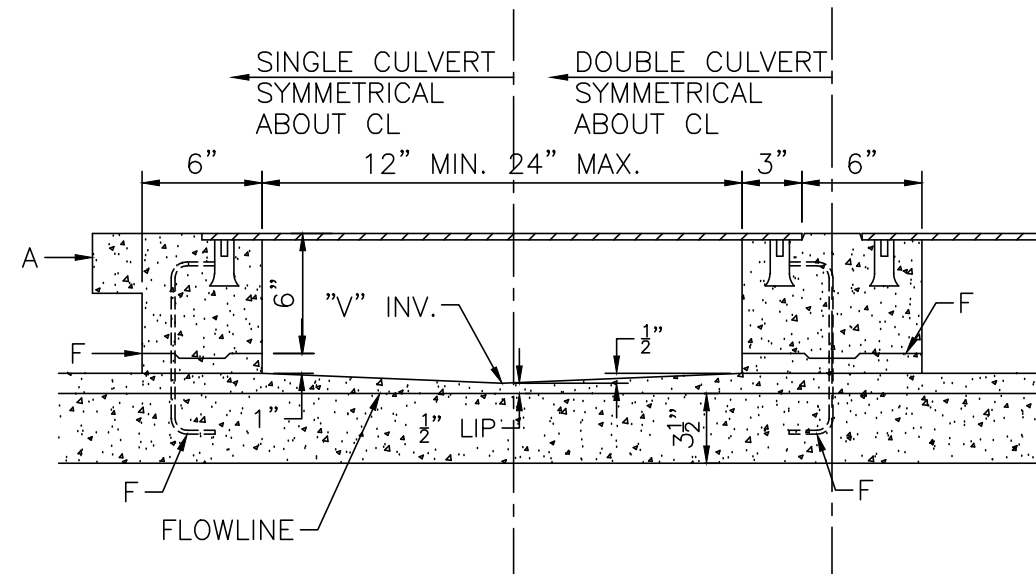
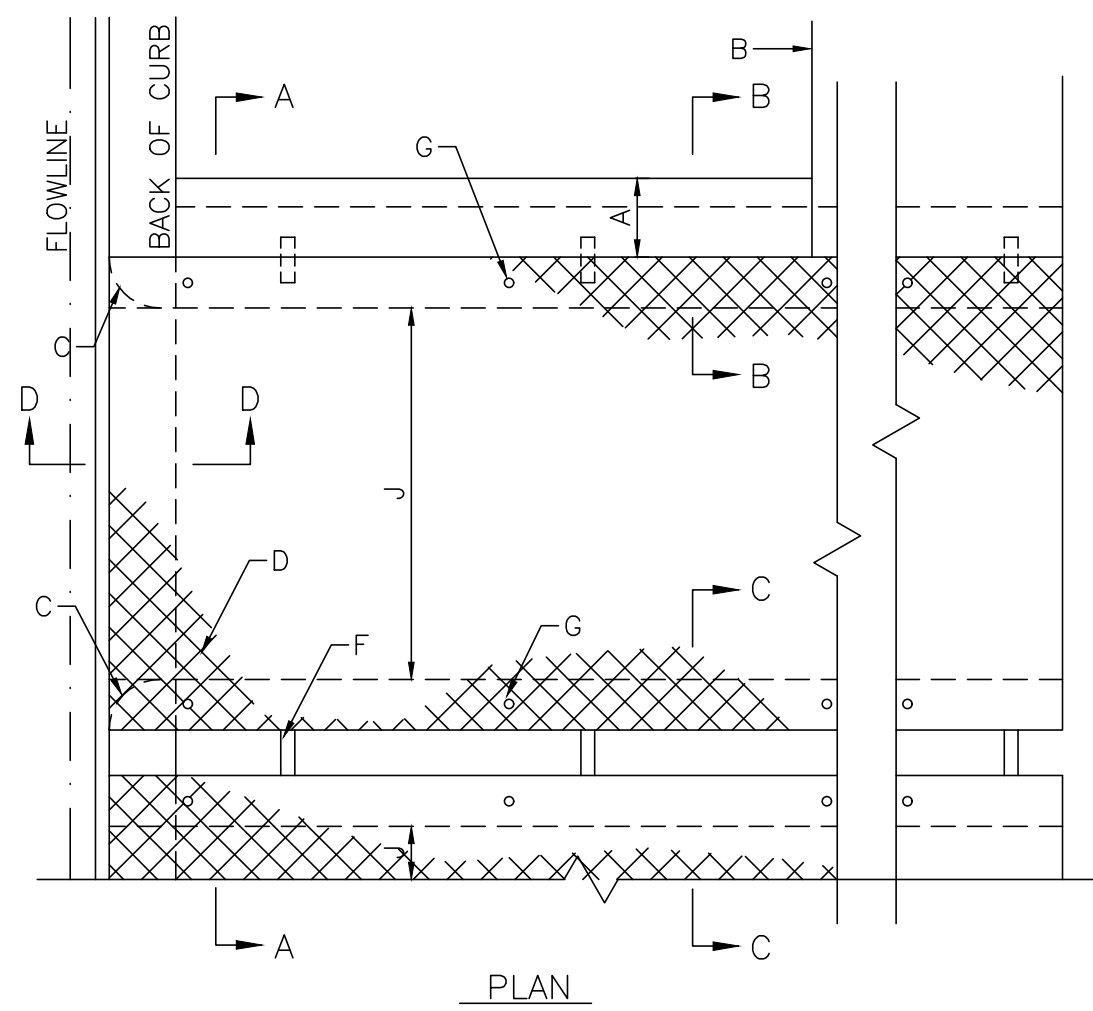


ENGINEER'S SEAL	98TH & SAGE STORAGE ALBUQUERQUE, NM	DRAWN BY BF
	GRADING & DRAINAGE PLAN SOUTH	DATE 01/04/2024
		2023018_GRB
 01/04/2024	 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	SHEET # GR-3
RONALD R. BOHANNAN P.E. #7868		JOB # 2023018

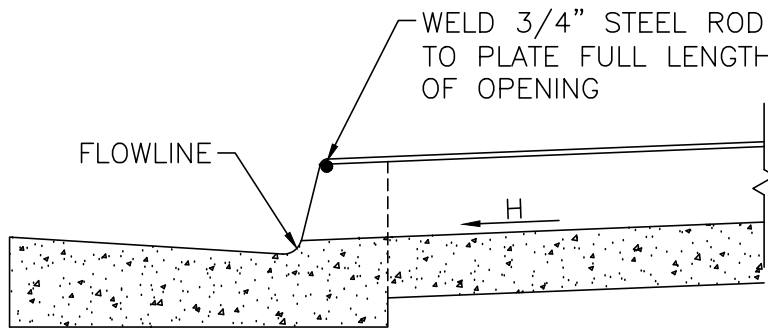
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CMP RISER DETAIL
NTS



SIDEWALK CULVERT DETAIL
NTS

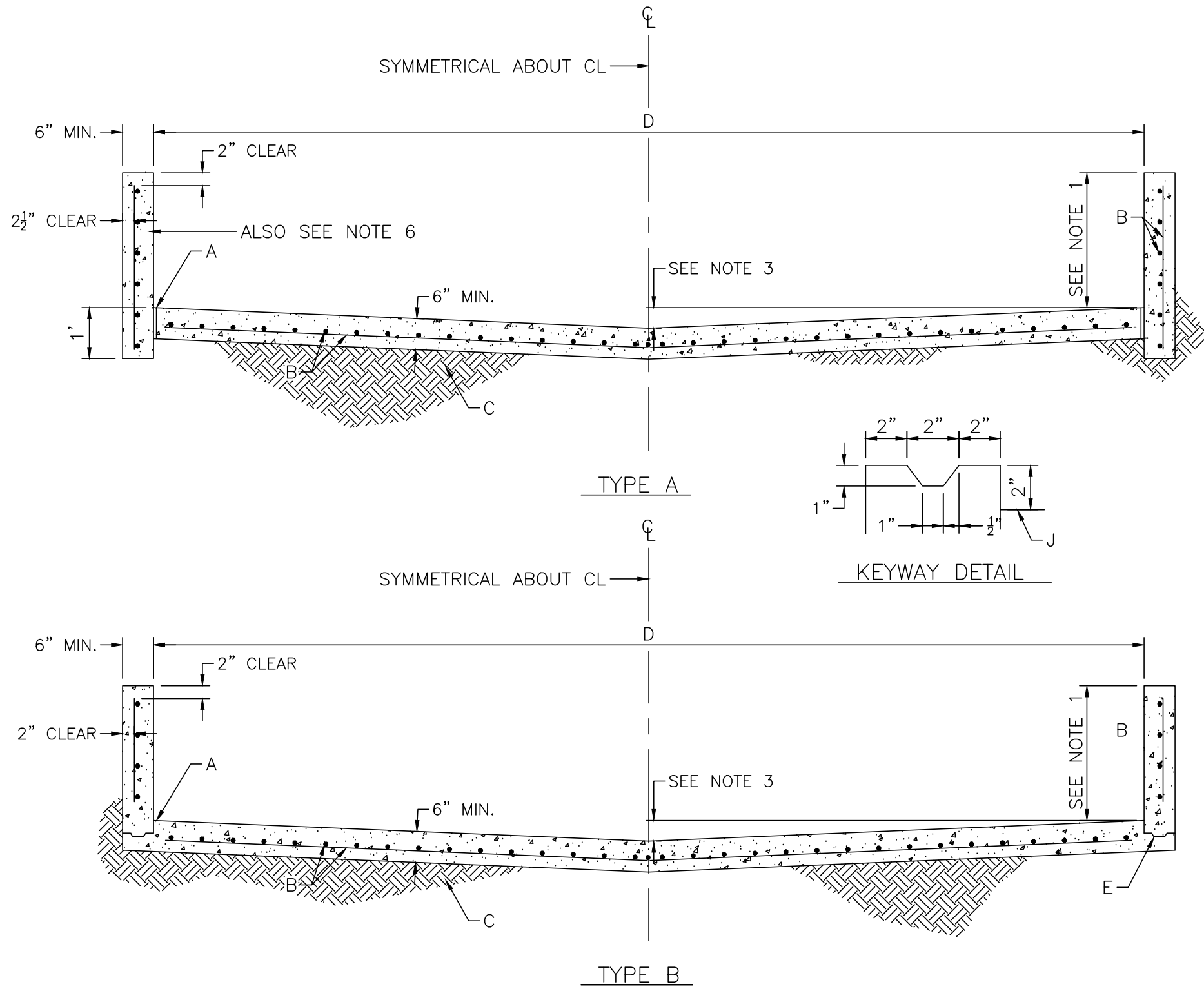


GENERAL NOTES:

1. PLACING OF DRAIN THRU EX. SIDEWALK AND C&G REQUIRES THAT ENTIRE STONES BE REMOVED AND REPLACED AS DETAILED.
2. BOTTOM SLAB OF CULVERT SHALL BE POURED MONOLITHICALLY WITH NEW GUTTER
3. THE INVERT SHALL BE TROWELED TO PRODUCE A HARD POLISHED SURFACE OF MAX DENSITY AND SMOOTHNESS. INVERT SHALL BE V-SHAPED TO WITHIN 3" OF OUTLET, THEN WARPED TO PARALLEL FLOWLINE AT OUTLET.
4. ALL EXPOSED CONC. SURFACE SHALL MATCH GRADE. COLOR, FINISH AND SCORING OF ADJACENT CURB AND SIDEWALK
5. SIDEWALK REPLACED DURING CONSTRUCTION SHALL BE POURED MONOLITHICALLY WITH CULVERT WALLS.
6. IF ROD ANCHORS ARE USED, DRILL & TAP FOR F.H. MACHINE SCREW. ATTACH ANCHORS TO PLATE AND SECURE PLATE IN PLACE PRIOR TO POURING WALLS.
7. LENGTH OF EACH PLATE SHALL BE SUCH THAT THE WEIGHT WILL NOT EXCEED 300LBS. AND SHALL BE STRESS RELIEVED AFTER FABRICATION. CLEAN SURFACE OF PLATE AND FRAMING MEMBERS AND PAINT W/ONE SHOP COAT RED OXIDE AND TWO FINISH COATS ALUMINUM PAINT (AASHTO M 69)
8. THE CITY WILL NOT ASSUME RESPONSIBILITY FOR MAINTENANCE OF ANY SIDEWALK CULVERT INSTALLED BY OR FOR PRIVATE PROPERTY OWNERS

CONSTRUCTION NOTES:

- A. MATCH NEAREST CONTROL JOINT, INSTALL 1/2" EXPANSION JOINT
- B. EDGE OF SIDEWALK OR SETBACK
- C. 3" RADIUS
- D. 3/8" CHECKERED STEEL PLATE (PAINT PER NOTE 7, ABOVE)
- E. FOR SECURING PLATE USE 1"x5" S.S. ROD ANCHOR, "RED HEAD MULTI-SET II SRM-38 ANCHOR" OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S INSTRUCTIONS AT MAX. 24" O.C. A MIN. OF 2 PER SIDE AND ONE WITHIN 6" OF EACH OTHER
- F. CONSTRUCTION JOINT IS OPTIONAL. IF USED SPACE DOWELS AT 18" O.C. MAX. 1-1/2" MIN. FROM FACE OF CONC.
- G. 3/8" - 16x1-1/4" COUNTERSUNK, F.H. STAINLESS STEEL, MACHINE SCREW.
- H. SLOPE 1/4" PER FT. MIN.
- J. DRAIN WIDTH PER PLAN (12" MIN, 24" MAX.)

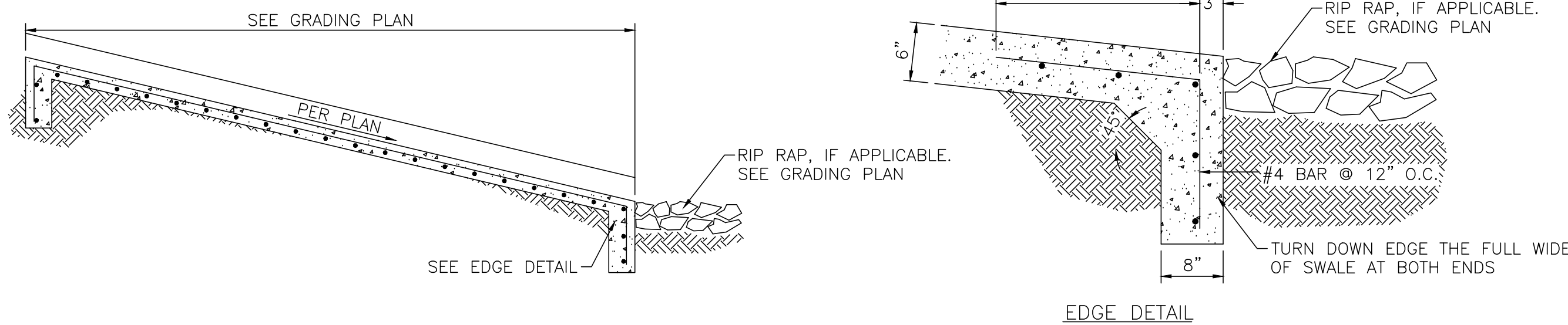


GENERAL NOTES:

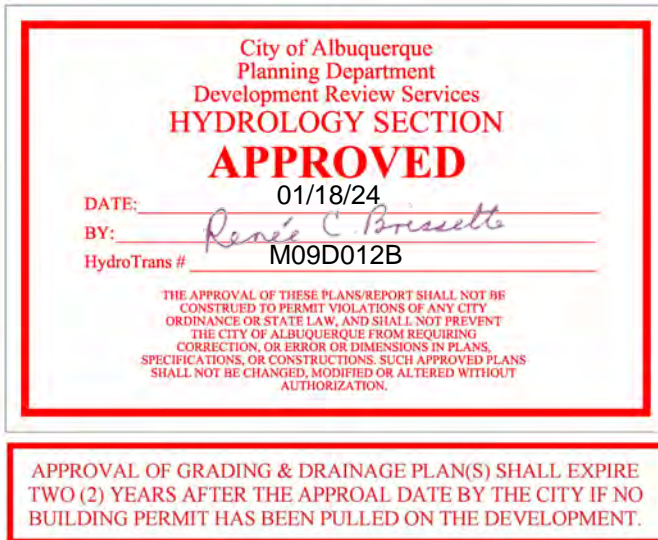
1. CHANNEL DEPTHS EXCEEDING 2' WILL REQUIRE SEPARATE DESIGN FOR FLOOR AND WALLS.
2. TYPE B LINING WILL BE USED ONLY WHERE NO UTILITIES ARE LOCATED OR PROPOSED.
3. UP TO 16' WIDTH USE 4" INVERTED CROWN. 16' WIDTH AND OVER USE 6" INVERTED CROWN.
4. WARNING: THESE WALLS ARE NOT DESIGNED TO SUPPORT THE ADDITION OF GARDEN OR RETAINING TYPE WALLS.
5. THE OUTSIDE OF DRAINAGE WALLS SHALL NOT EXTEND BEYOND EASEMENT LINES OR ROW LINES.
6. 6" CONC. BLOCK WITH CORES FILLED WITH CONC. AND #4 BARS INSERTED INTO CORES AT 1'-6" O.C. MAY BE SUBSTITUTED FOR FORMED CONC. WALLS.

CONSTRUCTION NOTES:

- A. EXPANSION JOINT
- B. #4 REBARS @ 6" O.C. LONG AND 12" O.C. TRANSVERSE
- C. 6" COMPACTED SOIL 95% ASTM D 1557
- D. WIDTH OF CHANNEL
- E. KEYED CONSTRUCTION JOINT



CONCRETE DRAINAGE RUNDOWN
NTS



ENGINEER'S SEAL		
RONALD R. BOHANNAN NEW MEXICO PROFESSIONAL ENGINEER 7868 01/04/2024 RONALD R. BOHANNAN P.E. #7868	98TH & SAGE STORAGE ALBUQUERQUE, NM	DRAWN BY BF
	GRADING & DRAINAGE DETAILS	DATE 01/04/2024
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # GR-4	
	JOB # 2023018	