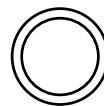




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UTILITY POTHOLOING NOTE:

THE CIRCLED LOCATIONS ARE REQUIRED TO BE POTHOLED TO VERIFY VERTICAL AND HORIZONTAL LOCATION OF EXISTING UTILITY AND/OR POTENTIAL CONFLICTS WITH EXISTING UTILITIES. POTHOLOING SHALL BE PERFORMED PRIOR TO INSTALLING ANY PROPOSED UTILITIES. CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. OF ANY CONFLICTS.

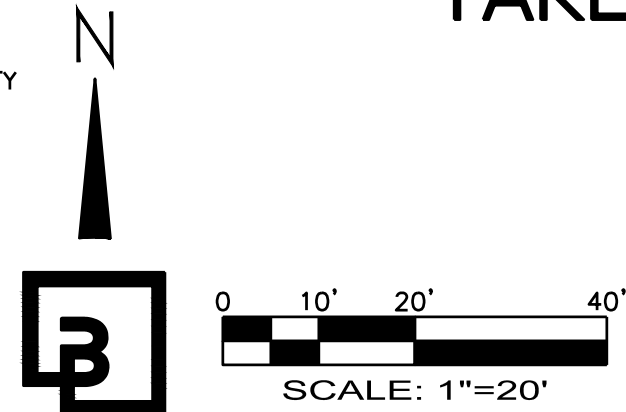
City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 11/17/23
BY: *Reshita Brissett*
HydroTrans # M09D012C

THE APPROVAL OF THESE PLANS SHALL NOT BE
CONSIDERED TO PERMIT VIOLATIONS OF ANY CITY
ORDINANCES OR STATE LAWS AND SHALL NOT BE
USED FOR ANY OTHER PURPOSES. ANY
CONSTRUCTION, OR REPAIR OR MODIFICATION OF PLANS,
SPECIFICATIONS OR CONSTRUCTION SHALL BE APPROVED BY THE
CITY OF ALBUQUERQUE. ANY CHANGES TO THE PLANS
SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT
AUTHORIZATION.

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE
TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY ENGINEER.
BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

TAKE 5 OIL CHANGE - ALBUQUERQUE, NM GRADING AND DRAINAGE PLAN



GEOTECHNICAL GRADING NOTES:

THE FOLLOWING NOTES HAVE BEEN REFERENCED FROM THE GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS, INC. DATED JULY 13, 2023. REFER TO THE COMPLETE REPORT FOR ALL EARTHWORK REQUIREMENTS.

GROUNDWATER:

GROUNDWATER WAS NOT OBSERVED DURING OUR SUBSURFACE EXPLORATION. IT SHOULD BE NOTED THE POSSIBILITY OF GROUNDWATER LEVEL FLUCTUATIONS SHOULD BE CONSIDERED WHEN DEVELOPING THE DESIGN AND CONSTRUCTION PLANS FOR THE PROJECT.

SITE PREPARATION:

PRIOR TO PLACING FILL, VEGETATION, AND TOPSOIL/ROOT MATS SHOULD BE REMOVED. COMPLETE STRIPPING OF THE TOPSOIL/ROOT MATS SHOULD BE PERFORMED IN THE PROPOSED BUILDING AND PARKING/DRIVEWAY AREAS. ALTHOUGH NO EVIDENCE OF FILL OR UNDERGROUND FACILITIES (SUCH AS SEPTIC TANKS, CESSPOOLS, BASEMENTS, AND UTILITIES) WAS OBSERVED DURING THE EXPLORATION AND SITE RECONNAISSANCE, SUCH FEATURES COULD BE ENCOUNTERED DURING CONSTRUCTION. IF UNEXPECTED FILLS OR UNDERGROUND FACILITIES ARE ENCOUNTERED, SUCH FEATURES SHOULD BE REMOVED, AND THE EXCAVATION THOROUGHLY CLEANED PRIOR TO BACKFILL PLACEMENT AND/OR CONSTRUCTION.

MATERIALS FOR FILL:

FILL REQUIRED TO ACHIEVE DESIGN GRADE SHOULD BE CLASSIFIED AS STRUCTURAL FILL AND GENERAL FILL. STRUCTURAL FILL IS MATERIAL USED BELOW, OR WITHIN 10 FEET OF THE STRUCTURE TO INCLUDE THE FLOOR SLAB, EXTERIOR FLATWORK, SIDEWALKS, PAVEMENTS, AND OTHER MOVEMENT SENSITIVE ELEMENTS OF THE PROJECT. GENERAL FILL IS MATERIAL USED TO ACHIEVE GRADE OUTSIDE OF THESE AREAS. EXCAVATED SOIL ON-SITE MAY BE SELECTIVELY REUSED AS FILL BELOW STRUCTURES, SLABS, PAVEMENT, AND LANDSCAPING AREAS. SEE THE REFERENCED GEOTECHNICAL INVESTIGATION FOR MATERIAL PROPERTY REQUIREMENTS.

TRENCH PREPARATION AND BACKFILL:

ANY SOFT OR UNSUITABLE MATERIALS ENCOUNTERED AT THE BOTTOM OF UTILITY TRENCH EXCAVATIONS SHOULD BE REMOVED AND REPLACED WITH STRUCTURAL FILL OR BEDDING MATERIAL. IN ACCORDANCE WITH PUBLIC WORKS SPECIFICATIONS, THE UTILITY TO BE SUPPORTED, THIS RECOMMENDATION IS PARTICULARLY APPLICABLE TO UTILITY WORK REQUIRING GRADE CONTROL AND/OR IN AREAS WHERE SUBSEQUENT GRADE RAISING COULD CAUSE SETTLEMENT IN THE SUBGRADE SUPPORTING THE UTILITY. TRENCH EXCAVATION SHOULD NOT BE CONDUCTED BELOW A DOWNWARD 1:1 PROJECTION FROM EXISTING FOUNDATIONS WITHOUT ENGINEERING REVIEW OF SHORING REQUIREMENTS AND GEOTECHNICAL OBSERVATION DURING CONSTRUCTION. ON-SITE MATERIALS ARE CONSIDERED SUITABLE FOR FOUNDATION, EMBEDEDMENT, AND BACKFILL OF UTILITY AND PIPE TRENCHES FROM 1 FOOT ABOVE THE TOP OF THE PIPE TO THE FINAL GROUND SURFACE, PROVIDED THE MATERIAL IS FREE OF ORGANIC MATTER AND DELETERIOUS SUBSTANCES. UTILITY INSTALLATION SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE LOCAL OR STATE JURISDICTION. TRENCH BACKFILL SHOULD BE MECHANICALLY PLACED AND COMPACTED AS DISCUSSED EARLIER IN THIS REPORT. COMPACTION OF INITIAL LIFTS SHOULD BE ACCOMPLISHED WITH HAND-OPERATED TAMPERS OR OTHER LIGHTWEIGHT COMPACTORS. WHERE TRENCHES ARE PLACED BENEATH SLABS OR FOOTINGS, THE BACKFILL SHOULD SATISFY THE GRADATION AND PLASTICITY INDEX REQUIREMENTS OF STRUCTURAL/ENGINEERED FILL DISCUSSED IN THE REPORT. FLOODING OR JETTING FOR PLACEMENT AND COMPACTION OF BACKFILL IS NOT RECOMMENDED.

GRADING GENERAL NOTES:

- ALL GRADING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE CURRENT CITY ORDINANCE AND STANDARD PLANS. THE GRADING IS SUBJECT TO THE OBSERVATION AND APPROVAL OF THE PUBLIC WORKS DEPARTMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPOSED GRADES IN RELATIONSHIP TO SURVEYED BASIS OF ELEVATION.
- BUILDING FINISH FLOOR (FF) ELEVATION. THE FINISH FLOOR OF THE BUILDING(S) IS DESIGNED TO BE FLUSH WITH SURROUNDING CONCRETE PAVING UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL EXISTING UTILITY STRUCTURES AND ASSOCIATED LIDS THAT FALL WITHIN THE AREA OF WORK SHALL BE ADJUSTED TO FINISHED GRADE ELEVATIONS. CONTRACTOR SHALL CONFIRM THE FEASIBILITY OF ADJUSTING EXISTING UTILITY STRUCTURE LIDS TO FINISHED GRADE PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR TO PROTECT AND MAINTAIN EROSION CONTROL FACILITIES DURING GRADING OPERATIONS.
- CONTRACTOR TO OBTAIN ANY NECESSARY RIGHT-OF-WAY PERMITS IF REQUIRED FOR WORK SHOWN ON PLANS.
- ALL MATCH EXISTING ELEVATIONS SHALL BE CONSTRUCTED TO BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES. ALL SAWCUT LOCATIONS, SHALL BE REPLACED TO MATCH EXISTING CONDITIONS.

FF - FINISHED FLOOR
FL - FLOWLINE
FSH - FLUSH
SW - SIDEWALK
GB - GRADE BREAK
GRD - GROUND
MA - MATCH OFFSITE TIE IN ELEVATION
ME - MATCH EXISTING
TC - TOP OF CURB/SIDEWALK
TP - TOP OF PAVING
RIM - RIM/GRADE ELEVATION OF STRUCTURE

LEGEND

BUILDING LINE	
EXISTING CURB TO REMAIN	
PROPOSED CURB	
PROPOSED LANDSCAPING	
PROPOSED ASPHALT	
PROPOSED CONCRETE	

PROJECT DATA

PARCEL ADDRESS: 1125 SNOW VISTA BLVD SW, ALBUQUERQUE, NM 87121
APN PARCEL#1: 101505550050811603
EXISTING ZONE: NR-C (NON-RESIDENTIAL COMMERCIAL)
PROPOSED USE: OIL CHANGE - DRIVE-UP
QUEUEING: = 9
PARKING CALCULATIONS:
REQUIRED:
1 SPACE/1000 SF OF GFA
2 REGULAR PARKING SPACES
3 BICYCLE PARKING SPACES
1 MOTORCYCLE PARKING SPACE
PARKING SPACES PROVIDED:
4 REGULAR
1 ADA/VAN ACCESSIBLE SPACE
2 MOTORCYCLE SPACE
3 BICYCLE SPACES

REQUIRED SETBACKS
FRONT: 25 FEET MIN
SIDE AND REAR: 15 FEET MIN
HEIGHT: 18 FEET MIN
PARCEL AREA: 55,016 SF (1.26 AC)
PROJECT AREA: 55,016 SF (1.26 AC)

TRASH ENCLOSURE = 15' x 15'

SITE COVERAGE:
BUILDINGS W/ TRASH ENCLOSURE: ±1,897 SF (3.4%)
PARKING AND MANEUVERING: ±15,070 SF (27.4%)
WALKWAYS: ±1,650 SF (3.0%)
LANDSCAPE: ±36,399 SF (66.2%)
TOTAL: ±55,016 SF (100%)

CONSTRUCTION NOTES:

- FACILITATE DOWNSPOUT DRAINAGE. PROVIDE SPLASH BLOCK PER DETAIL 2/C5.2.
- ELEVATIONS BASED ON OVERALL DEVELOPMENT. ELEVATIONS ALONG PROPERTY LINES NEED TO MATCH OVERALL DEVELOPMENT WITH TRANSITIONS ON ADJACENT PROPERTIES. IT MAY BE NECESSARY TO ADJUST ELEVATIONS BASED ON EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO VERIFY TIE-IN ELEVATIONS AND REPORT FINDINGS TO ENGINEER PRIOR TO CONSTRUCTION.
- CONSTRUCT ADA IMPROVEMENTS PER CITY OF ALBUQUERQUE STANDARDS. REFER TO SHEET C3.1 FOR DETAILED GRADING INFORMATION.
- STORMWATER QUALITY POND:
TOP OF POND: 5147.50
BOTTOM OF POND: 5144.50
W.S. ELEV: 5146.50
SWOV REQ.: 747 CF
SWOV PROVIDED: 1,600 CF
TOTAL VOL.: 3,400 CF
- PROVIDE ROCK SPLASH PAD.
DIMENSIONS: 48" L X 36" W X 6" DEEP AVERAGE STONE: 4"
- CONSTRUCT 24"x24" CONCRETE CATCH BASIN WITH STANDARD GRATE PER DETAIL 4/C5.1. RIM AND INVERT ELEVATIONS PER PLAN
- INSTALL 18" NYOPLAST DRAIN BASIN AS OVERFLOW STRUCTURE PER DETAIL 1/C5.1. PROVIDE BEEHIVE GRATE PER DETAIL 2/C5.1.
- CONNECT EXISTING STORM PIPE, IE=5143.65. CONTRACTOR TO VERIFY LOCATION, DEPTH, AND MATERIAL OF EXISTING PIPE CONNECTIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES.

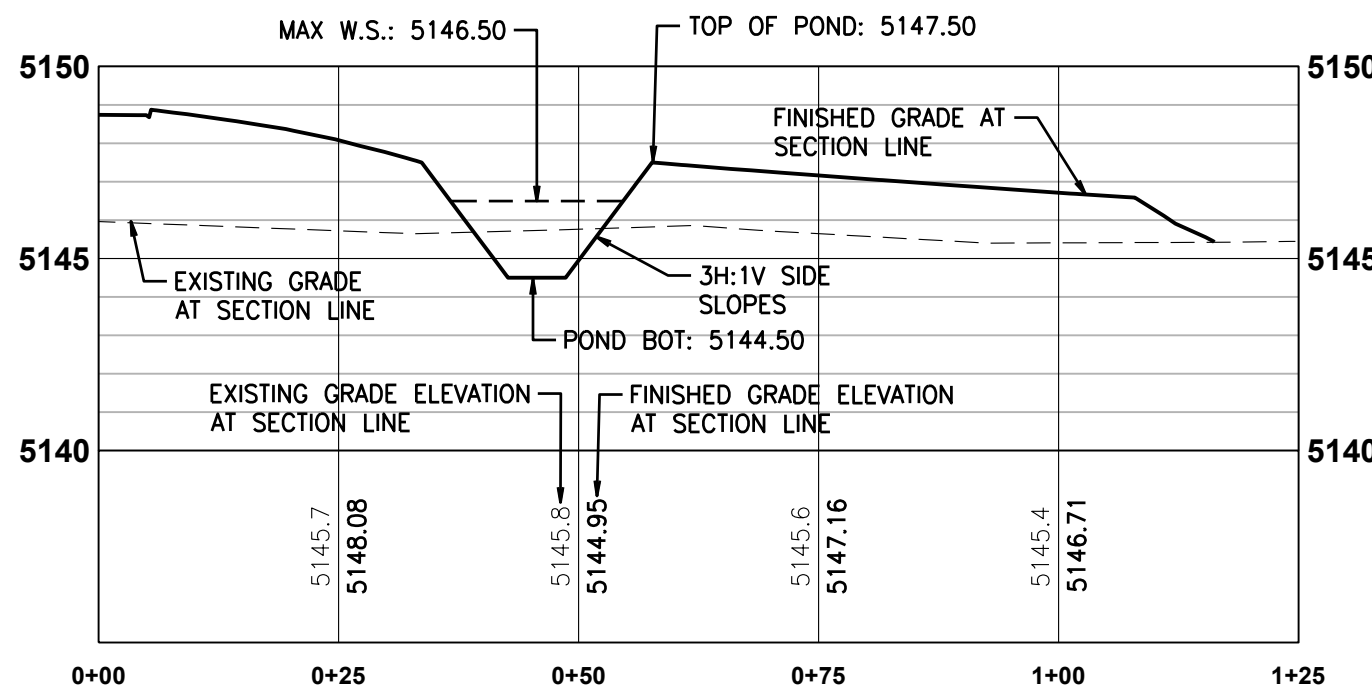
STORM DRAIN GENERAL NOTES:

- ALL STRUCTURE ELEVATIONS SHOWN ARE TO CENTER OF STRUCTURE AT FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.
- ALL STORM DRAINAGE STRUCTURES EXPOSED TO TRAFFIC SHALL BE TRAFFIC RATED INCLUDING STRUCTURE, LID, GRATE, ETC.
- ALL STORM DRAIN PIPING DENOTED AS "PVC" SHALL CONFORM TO ASTM D3034, SDR 35.
- ALL STORM PIPING INSTALL WITH LESS THAN 2 FEET OF COVER SHALL BE BACKFILLED WITH A CONTROLLED DENSITY FILL (SLURRY).
- ALL STORM DRAINAGE STRUCTURES WITH LIDS EXPOSED TO PEDESTRIAN TRAFFIC SHALL BE HEEL PROOF AND SLIP RESISTANT IN ACCORDANCE WITH ACCESSIBILITY REQUIREMENTS.
- PROVIDE ALL INCIDENTAL FITTINGS, BENDS, WYES, TEES, COUPLINGS, GASKETS, ETC. REQUIRED TO CONSTRUCT THE INFRASTRUCTURE DEPICTED.
- ALL TRENCHING SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE PURVEYOR.
- PROVIDE MARKING TAPE AND LOCATE WIRE WITH ALL TRENCH INSTALLATIONS.
- CONTRACTOR TO OBTAIN ANY NECESSARY RIGHT-OF-WAY PERMITS IF REQUIRED FOR WORK SHOWN ON PLANS.
- CONTRACTOR TO RAISE AND ADJUST ALL EXISTING AND PROPOSED CATCH BASIN RIMS TO FINAL GRADE AS NECESSARY. CATCH BASINS WITHIN ADA ACCESSIBLE PATHS SHALL BE ADJUSTED TO FINAL ELEVATIONS IN COMPLIANCE WITH CURRENT ADA REQUIREMENTS.

FLOOD ZONE:

THE SUBJECT PROPERTY (AS SHOWN HEREON) LIES WITHIN ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE NO. 35001C0336 H, EFFECTIVE DATE 08/16/2012.

STORM STRUCTURE TABLE	
6	CB #1, TYPE 1, W/STANDARD GRATE RIM=5147.86 IE=5145.28 (12" SE)
6	CB #2, TYPE 1, W/STANDARD GRATE RIM=5147.43 IE=5144.70 (12" NW) IE=5144.70 (8" S) IE=5144.70 (12" W)
6	CB #3, TYPE 1, W/STANDARD GRATE RIM=5146.39 IE=5144.89 (8" N)
6	CB #4, TYPE 1, W/STANDARD GRATE RIM=5148.41 IE=5145.43 (12" SE)
6	CB #5, TYPE 1, W/STANDARD GRATE RIM=5146.22 IE=5143.65 (12" NE) IE=5143.65 (EXISTING)
8	EXISTING SDMH, 48" SDMH RIM=5147.34 IE=5143.47 (EXISTING) IE=5143.57 (EXISTING)
7	OVERFLOW STRUCTURE, 18" NYOPLAST DRAIN RIM=5146.50 IE=5144.50 (12" SW)

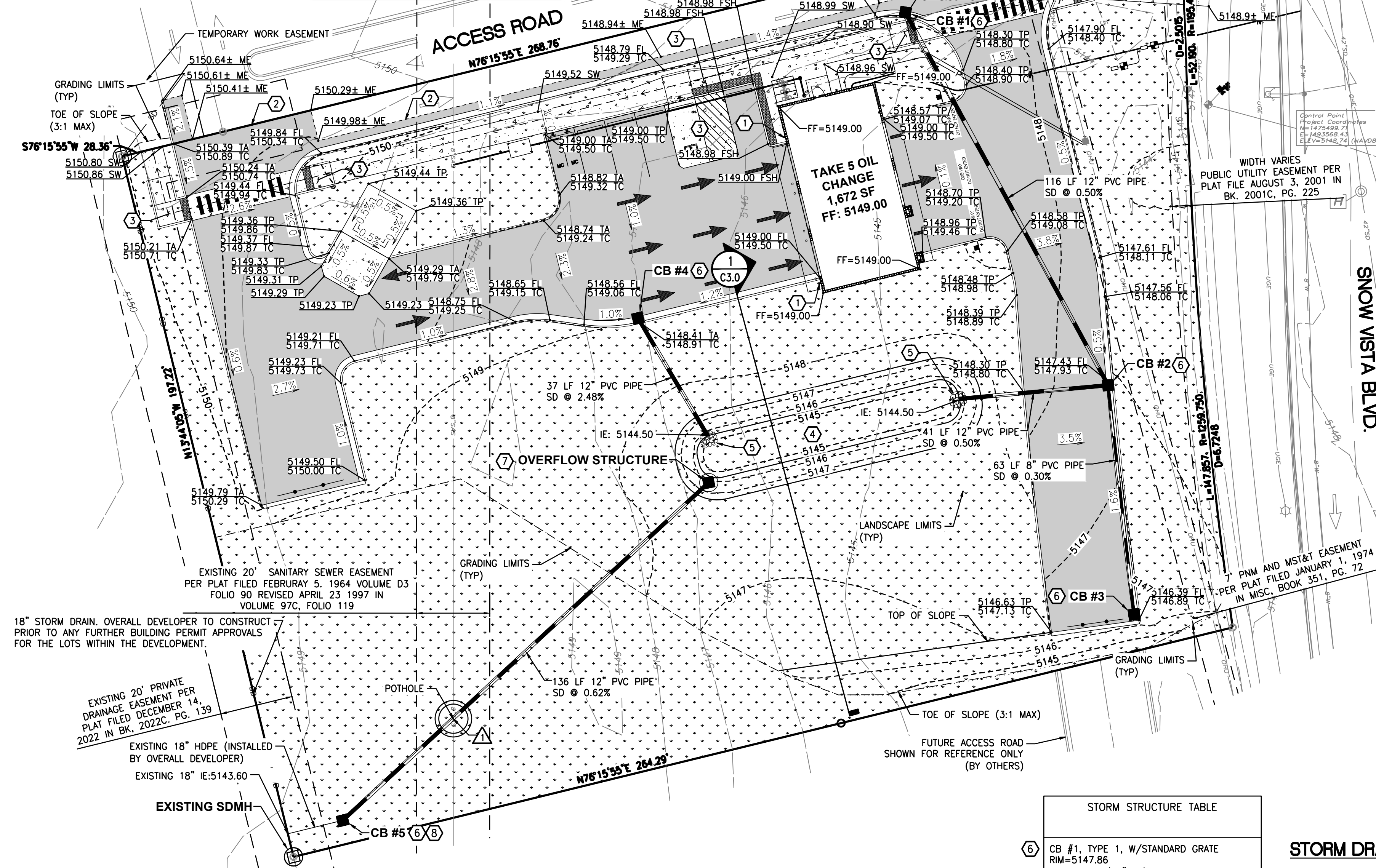


STORMWATER QUALITY POND

SCALE: SCALE: 1"=20' H 1"=5' V

Sheet List Table

Sheet Number	Sheet Title
C3.0	GRADING AND DRAINAGE PLAN
C3.1	ADA ENLARGEMENTS
C3.2	FIRM MAP
C5.0	CIVIL DETAILS
C5.1	CIVIL DETAILS
C5.2	CIVIL DETAILS



EXISTING 20" PRIVATE DRAINAGE EASEMENT PER PLAT FILED DECEMBER 14, 2022 IN BK. 2022C, PG. 139

EXISTING 18" HDPE (INSTALLED BY OVERALL DEVELOPER)

EXISTING 18" IE=5143.60

EXISTING SDMH

EXISTING 20" SANITARY SEWER EASEMENT PER PLAT FILED FEBRUARY 5, 1964 VOLUME D3 FOLIO 90 REVISED APRIL 23, 1997 IN VOLUME 97C, FOLIO 119

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