

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

November 17, 2023

Hal P. Grubb, P.E.
Barghausen
18215 72nd Ave. South
Kent, WA 98032

**RE: Take 5 Oil – Snow Vista
Grading Plan and Drainage Report
Engineer's Stamp Date: 11/03/23
Hydrology File: M09D012C**

Dear Mr. Grubb:

Based upon the information provided in your submittal received 11/06/2023, the Grading Plan and Drainage Report are approved for Building Permit, Grading Permit, and action by the Development Facilitation Team (DFT) on Site Plan for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the stormwater quality pond per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Project Contact: Brianna Uy, Barghausen Consulting Engineers, Inc. buy@barghausen.com 425-251-6222

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



November 03, 2023

Planning Department
City of Albuquerque
600 2nd St N.W. Suite 300,
Albuquerque, NM 87103

RE: Responses to Comments
Dutch Bros Coffee
1125 Snow Vista Boulevard S.W., Albuquerque, New Mexico 87121
Our Job No. 23007

We have revised the plans and technical documents for the above-referenced project in accordance with your comment letter dated September 29, 2023. Enclosed are the following documents for your review and approval:

1. One (1) set of the Grading Plans
2. One (1) copy of the Storm Report

The following outline provides each of your comments in italics exactly as written, along with a narrative response describing how each comment was addressed:

1. *The only drawing that needs to be submitted to Hydrology is C3.0. Please remove all other drawings in the next submittal.*

Response: Per a conversation with the reviewer, we will submit a full Grading Plan which includes Sheets C3.0, C3.1, and C3.2.

2. *Per the DPM, the following must be on the Grading Plan. Please note the Grading Plan must be a stand-alone construction document.*
 - a. *Please provide a Vicinity Map. Typically, this is the Zone Atlas. This can be downloaded in pdf format from the City of Albuquerque's website.*

Response: The Vicinity Map has been added on Sheet C3.0.

- b. *Please provide the full FIRM Map and flood plain note with effective date.*

Response: The full FIRM Map has been added with the effective date on Sheet C3.2.

3. *Please show the storm pipe the was approved for the overall development on July 20, 2023. Please label as "Overall Developer to construct prior to any further Building Permit approvals for the lots within the development." I have attached a pdf of the drawings for your use.*

Response: The storm pipe that was approved for overall development is shown.

4. *Please change the Title of the sheet to "Conceptual Grading Plan" and change the Drainage Report to "Conceptual Drainage Report".*

Response: Per a conversation with the reviewer, we will be submitting the Grading Plan as a full Grading Plan.

5. *Please add the note, "Not for Construction".*

Response: This note is not needed because the Grading Plan will be submitted as a full Grading Plan.

6. *Please show the stub out that the overall developer is installing for this site based on the Master Drainage Plan. This stub out is for the outfall for this site. I have attached the Master Drainage Plan for your use.*

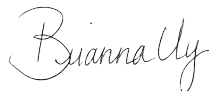
Response: The stub-out is shown on the southwest corner of the site.

7. *In the Drainage Report, please make reference to the Master Drainage Plan by Tierra West dated 07/07/2023.*

Response: The Master Drainage Plan is referenced in the Drainage Report.

We believe that the above responses, together with the enclosed revised plans and technical documents, address all of the comments in your letter dated September 29, 2023. Please review and approve the enclosed at your earliest convenience. If you have questions or need additional information, please do not hesitate to contact me at this office. Thank you.

Sincerely,



Brianna Uy
Project Planner

BU/sr
23007c.001
enc: As Noted
cc:



BARGHAUSEN

STORMWATER CONTROL PLAN

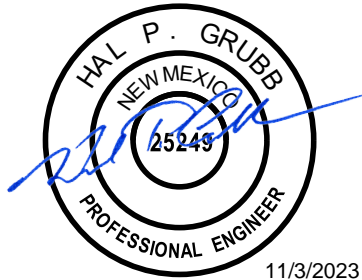
City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION

APPROVED

DATE: 11/17/23
BY: *Renee C. Brissette*
HydroTrans # M09D012C

THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE
CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY
ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT
THE CITY OF ALBUQUERQUE FROM REQUIRING
CORRECTION, OR ERROR OR DIMENSIONS IN PLANS,
SPECIFICATIONS, OR CONSTRUCTIONS. SUCH APPROVED PLANS
SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT
AUTHORIZATION.

APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE
TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO
BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.



Take 5 Oil Change
1125 Snow Vista Boulevard SW
Albuquerque, NM 87121

Prepared for:
Durban Development
C/O Phillip Spence
106 Foster Avenue
Charlotte, NC 28203
(704) 319-8330

November 2023
BCE Job No. 23007

BARGHAUSEN CONSULTING ENGINEERS, INC.

18215 72ND AVENUE SOUTH KENT, WA 98032 P) 425.251.6222 F) 425.251.8782
BRANCH OFFICES: CHEHALIS, WA PUYALLUP, WA RICHLAND, WA KLAMATH FALLS, OR LONG BEACH, CA ROSEVILLE, CA
barghausen.com

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Appendices

- A. ALTA Survey
- B. Exhibits
 - Pre-developed Drainage Exhibit
 - Post-Condition Drainage Management Area Exhibit

1. Introduction and Background:

The following stormwater control plan has been prepared for the proposed commercial development project located on Lot 1C of the overall development at 1125 Snow Vista Boulevard in the City of Albuquerque, New Mexico. The proposed design has been developed in conformance with the City of Albuquerque and Bernalillo County Standards. The proposed development will consist of a 1,672 square feet Take 5 Oil Change facility building, along with vehicular parking and maneuvering areas, amenities for pedestrians and landscaped areas.

2. Existing Conditions:

The project site is located within a 1.26-acre parcel that is bounded to the North, South, and West by future developments, and to the east by Snow Vista Boulevard. The site is zoned for MX-L – Mixed-Use. The existing site is currently undeveloped and consists of shrubs and off-road vehicle trails.

The proposed uses are approved within the development per the City of Albuquerque. Existing topographic features and current land use including all existing utilities, roads, and easements are depicted on the ALTA Survey – Appendix A.

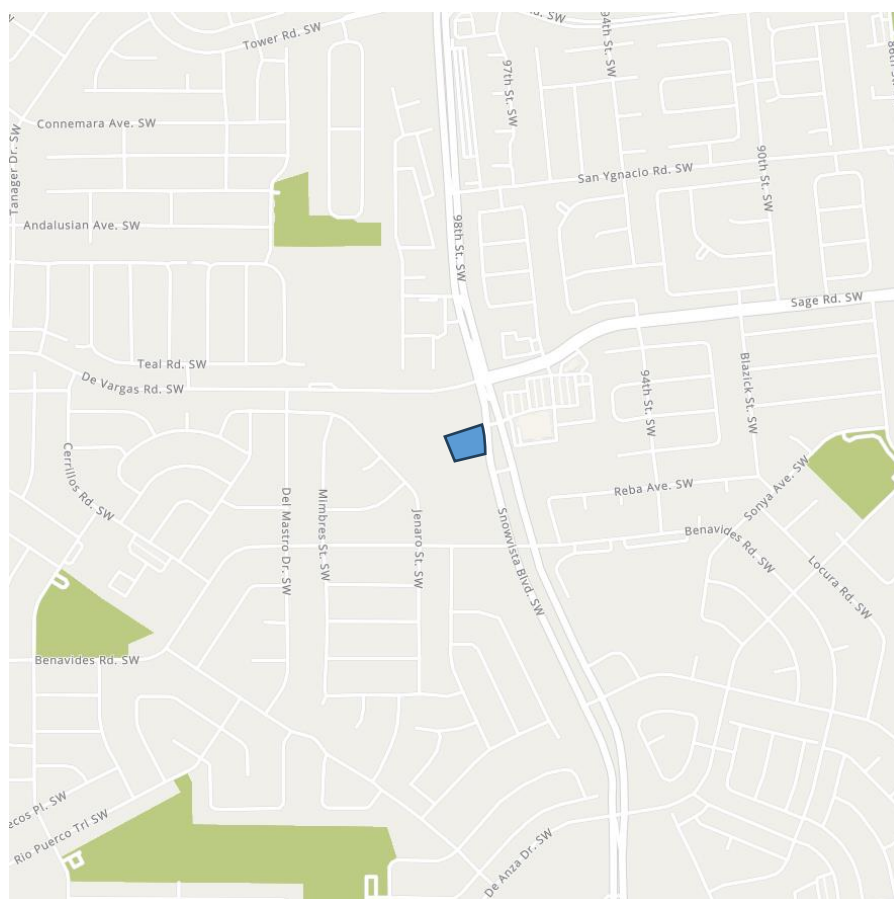


Figure 1: Site Location Map

3. Proposed Conditions:

The project proposes an approximately 0.98-acre development consisting of a Take 5 Oil Change commercial building with a 1,672 square-foot footprint. The project proposes to utilize a shared driveway onto Snow Vista Boulevard that provides direct access to Lot 1C. The project proposes to construct an access roadway for access to future development to the south of the project. The continuation of the shared roadway beyond the property line will be completed by others. Site improvements will include vehicular parking and drive areas with interior and exterior landscaping. The proposed conditions focus on minimizing impervious areas to the maximum extent feasible, while proposing pervious areas to reduce generated stormwater runoff. The proposed development contains one drainage area.

The building roof is designed to drain to downspouts, then to splash blocks, which dissipate the flow, which then sheet flows into the nearest catch basin. Runoff from the DMA will be conveyed to an onsite detention pond. Stormwater volumes in excess of the SWQV will pass through the BMP and bypass into a stormwater pipe as designed in the overall development.

4. Design Assumptions:

The following assumptions were utilized as part of the hydraulic analysis for the project:

- Hydromodification requirements do not apply to the developed site.
- Low Impact Development (LID) requirements do apply to the developed site. The development will implement the following BMP measures: Detention Pond

5. Hydrologic and Hydraulic Methods:

The hydrologic and hydraulic methods utilized for this analysis include:

- The Weighted E method was used to determine the peak flow rate for 100-year storm per section 6.2 of the Development Process Manual for City of Albuquerque.
- A design storm depth of 0.42 inches for new development was used to determine minimum storage capacity for the above ground detention system.
- The pond, outfall, and other drainage elements were designed according to the approved Master Drainage Plan by Tierra West dated 7/7/23.

5.1. Proposed Peak Flow and Volume Calculations (Weighted E Method)

DMA#1

Weighted E Method (PROPOSED)																
											100-Year			10-Year		
DMA	Area (sf)	Area (ac)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E	Volume	Flow	Weighted E	Volume	Flow
			%	acreas	%	acreas	%	acreas	%	acreas	(in)	(ac-ft)	(cfs)	(in)	(ac-ft)	(cfs)
1	55,016	1.26	0	0	0	0	61.0%	0.77	38.8%	0.49	1.45	1.83	4.23	0.82	1.03	2.38

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / Total Area

Volume = Weighted E * Total Area

Flow = Qa*Aa + Qb*Ab + Qc*Ac + Qd*Ad

Excess Precipitation, E (in)		
Zone 1	100-Year	10-Year
Ea	0.55	0.11
Eb	0.73	0.26
Ec	0.95	0.43
Ed	2.24	1.43

Peak Discharge (cfs/acre)		
Zone 1	100-Year	10-Year
Qa	1.54	0.3
Qb	2.16	0.81
Qc	2.87	1.46
Qd	4.12	2.57

Water Quality Calculations *Note: For new developement site, SWQV = 0.42 in*

DMA	Impervious Area (sf)	SWQV (in)	Storm Water Quality Vol (cf)	Storm Water Quality Vol (ac-ft)
1	21,344	0.42	747	0.017

Appendix A

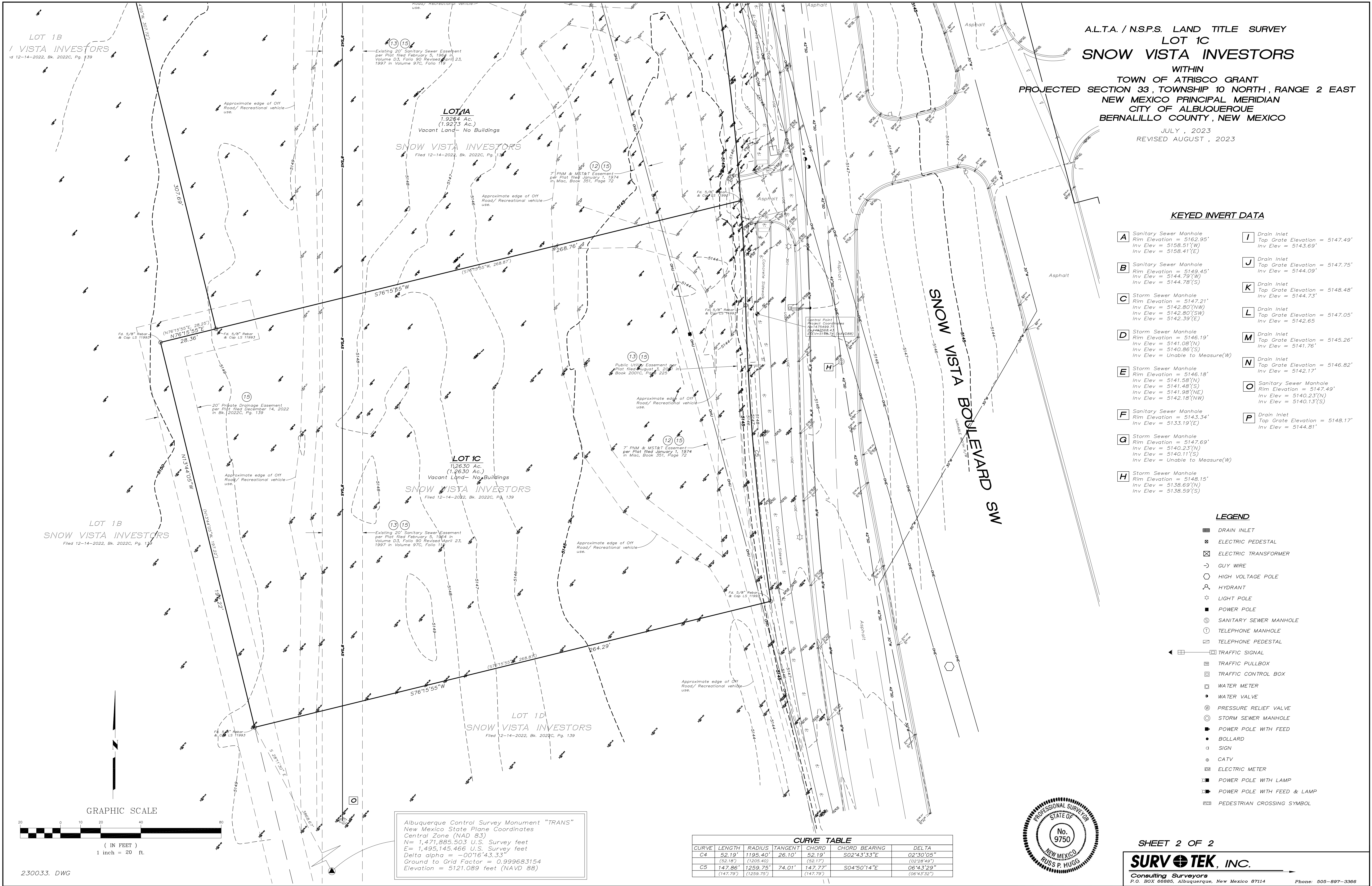
Alta Survey



1. Bearings are read based on New Mexico State Coordinate System, Central Zone (NAD 83).
2. Distances are ground.
3. Distances along curved lines are arc lengths.
4. Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parentheses ().
5. All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
6. All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
7. Field surveys were performed during the month of June, 2023.
8. Vertical Datum is based upon Albuquerque Control Survey Monument "ACS BM 7-M9", Elevation = 5146.25 feet (NAVD 88).
9. Contour interval is one foot.
10. This property is subject to all exceptions pertaining to this property as listed in the Title Commitment prepared for this property by Old Republic National Title Insurance Company Commitment Number 2300816, Effective Date: February 23, 2023.
11. The above described Title Commitment was used in defining easements as shown hereon. Numbers in circles by the easements description correspond to the Title Commitments SCHEDULE B, SECTION II item number. Where possible, said easements have been plotted.
12. Subject property is currently Vacant Land and contains no existing pointed parking spaces.
13. The word Certify or Certification as used herein is understood to be an expression of professional opinion by the surveyor, based upon his best knowledge, information and belief, as such, and does not constitute a guarantee, nor a warranty, expressed or implied.
14. There is observed current earth moving work, construction of underground utilities and new curb and gutter being constructed at the time of this field survey.
15. Apparent changes in street line right of way is shown hereon and has been indicated by replat filed December 14, 2022 in Book 2022C, Page 139.
16. With regard to Table A, item 11, source information from Plans and markings will be combined with observed evidence of utilities to develop a view of those underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary.

NM 811 LOCATE REQUEST TICKET NUMBER 23JN070468, CREATION
DATE: 6/7/2023.

17. The subject properties are currently Zoned MX-L as shown and designated on the City of Albuquerque GIS Zone Atlas Page M-9, dated May 17, 2018.



Appendix B

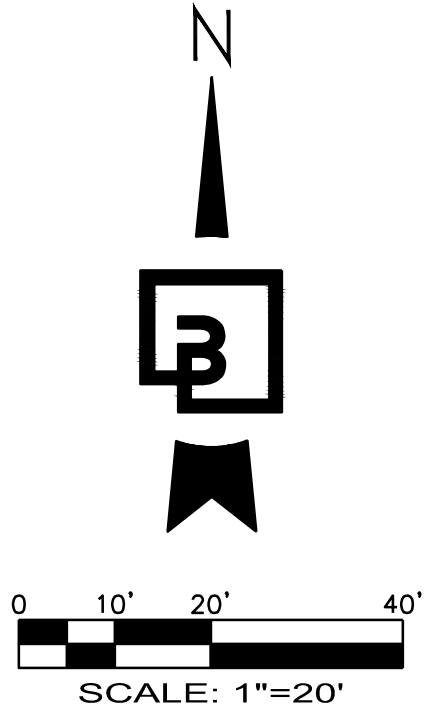
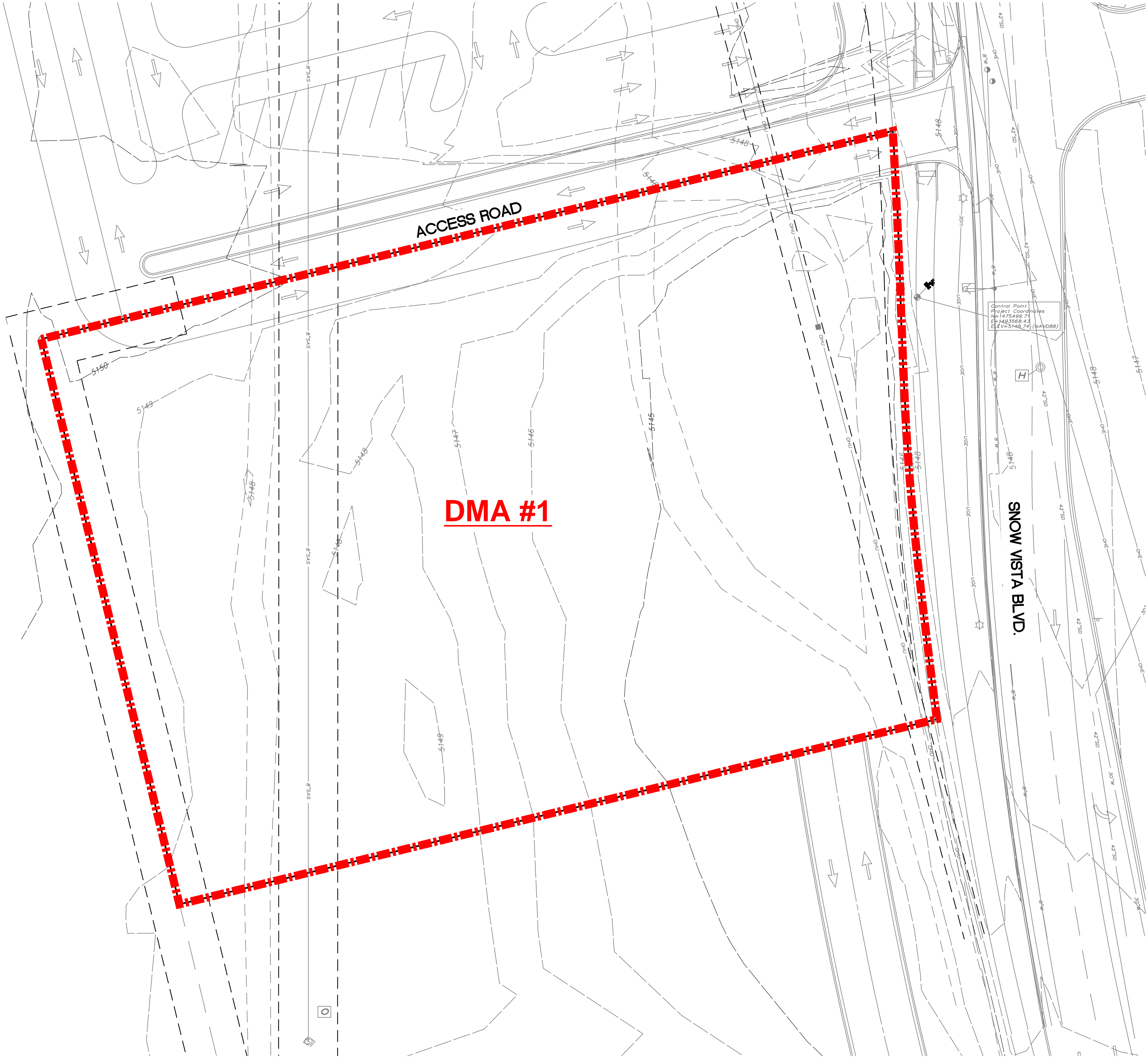
Pre-Developed Drainage Exhibit Proposed Drainage Management Areas Exhibit





Know what's below.
Call before you dig.
Dial 811

TAKE 5 OIL CHANGE - ALBUQUERQUE, NM

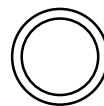
EXISTING DRAINAGE CONDITIONS



Job Number	23007	Sheet	1 OF 1		Barghausen Consulting Engineers, Inc. 18215 72nd Avenue South Kent, WA 98032 425.251.6222 barghausen.com	Designed NRN Drawn NRN Checked MTL Approved HPG Date 11/03/23	Scale: Horizontal 1" = 20' Vertical N/A		For: TAKE 5 OIL CHANGE DURBAN DEVELOPMENT	Title: EXISTING DRAINAGE CONDITIONS 1125 SNOW VISTA BOULEVARD SW ALBUQUERQUE, NM	No.	Date	By	Chd.	Appr.	Revision



Know what's below.
Call before you dig.
Dial 811

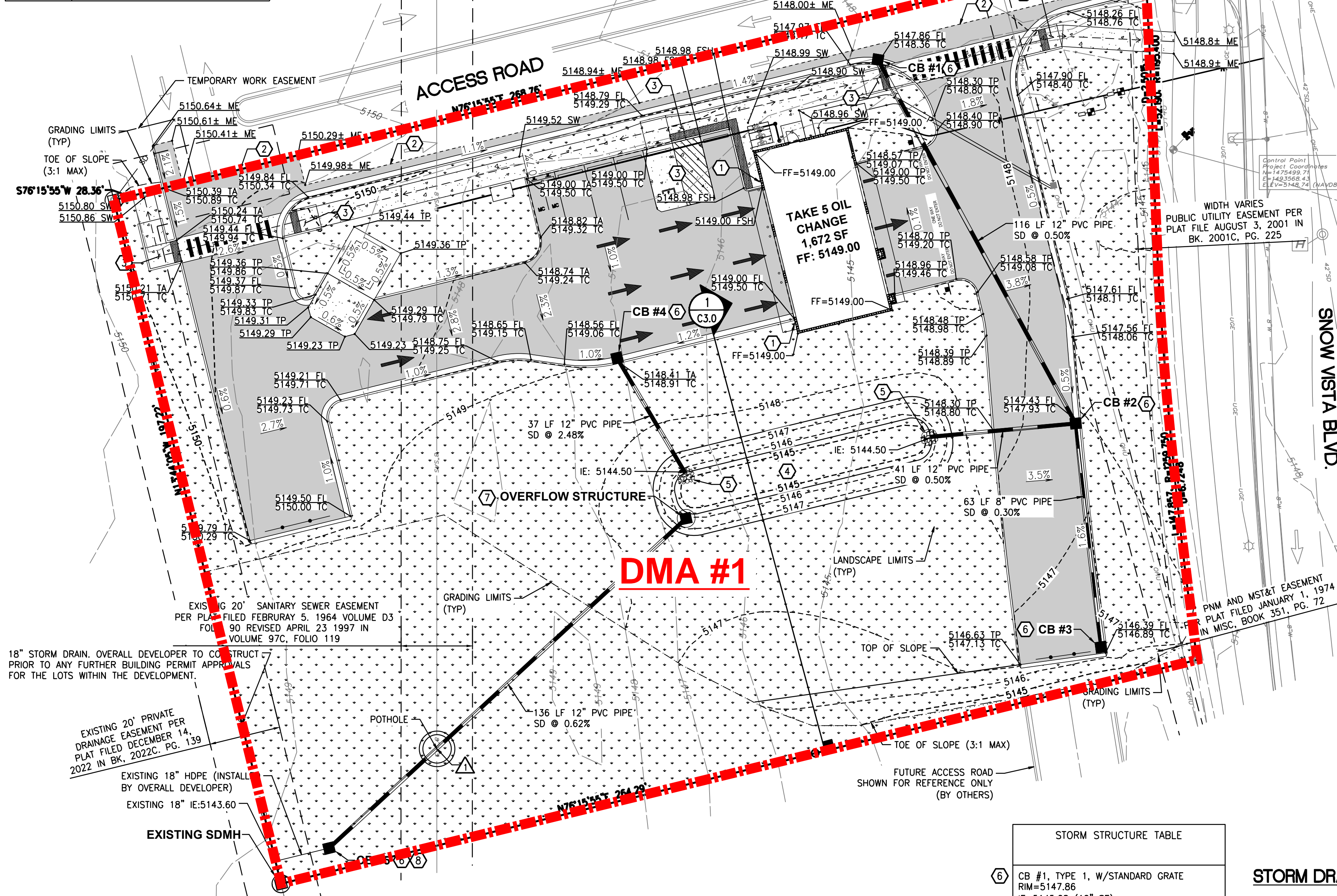


UTILITY POTHOLING NOTE:

THE CIRCLED LOCATIONS ARE REQUIRED TO BE POTHOLED TO VERIFY VERTICAL AND HORIZONTAL LOCATION OF EXISTING UTILITY AND/OR POTENTIAL CONFLICTS WITH EXISTING UTILITIES. POTHOLING SHALL BE PERFORMED PRIOR TO INSTALLING ANY PROPOSED UTILITIES. CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. OF ANY CONFLICTS.

Sheet List Table

Sheet Number	Sheet Title
C3.0	GRADING AND DRAINAGE PLAN
C3.1	ADA ENLARGEMENTS
C3.2	FIRM MAP
C5.0	CIVIL DETAILS
C5.1	CIVIL DETAILS
C5.2	CIVIL DETAILS

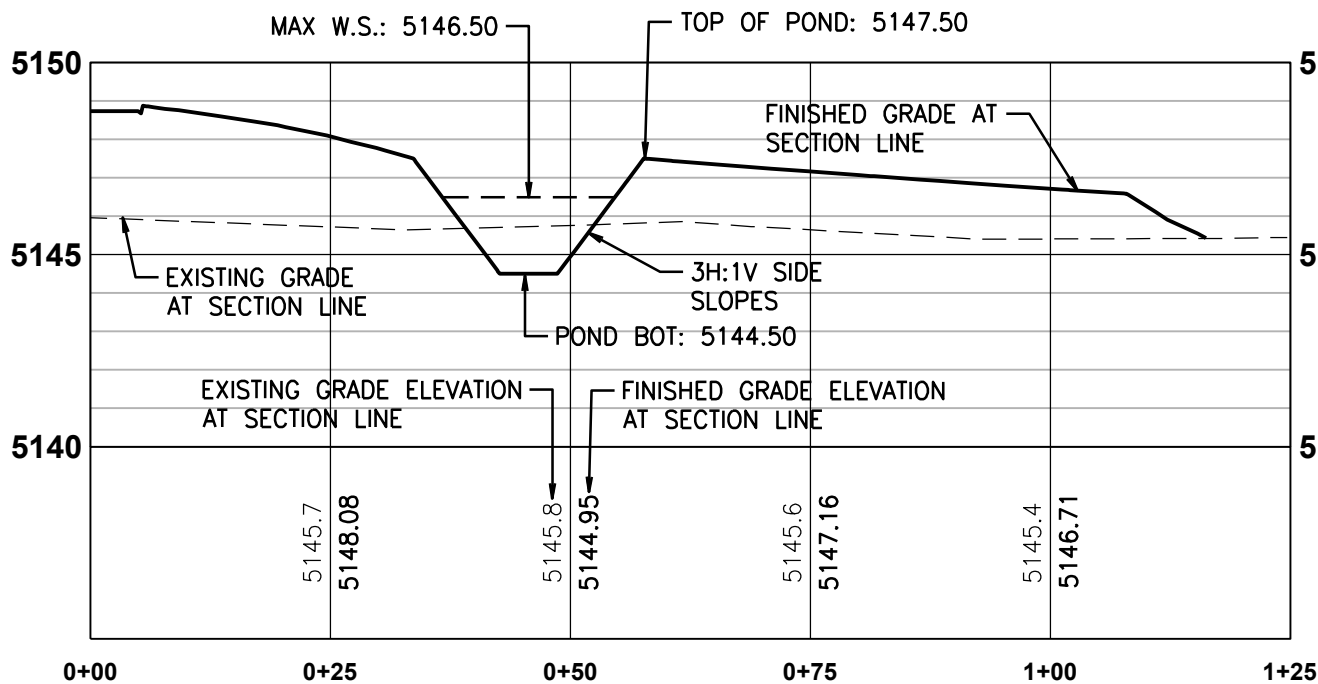


ID	STORM INVERT	SEWER CROWN*	SEPARATION
	5143.86	5141.55	2.31'

* CONTRACTOR TO POTHOLE ALL CROSSINGS TO CONFIRM DEPTH, SIZE, MATERIAL, AND LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF RESULTS PRIOR TO START OF CONSTRUCTION

FLOWLINE GRADING NOTE:

ALL PROPOSED FLOWLINE ELEVATIONS DESIGNED WITH CROSS SLOPE MATCHING EXISTING FROM SAWCUT LINE. CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION TO CONFIRM EXISTING CROSS SLOPE FROM SAWCUT IS ACHIEVED. GUTTER UP SHALL BE SET 3/4-INCHES HIGHER THAN THE GUTTER FLOWLINE PER CITY OF ALBUQUERQUE REQUIREMENTS. CONTRACTOR TO CONFIRM POSITIVE DRAINAGE FROM WEST TO EAST TO MATCH THE EXISTING DRAINAGE PATTERN WITHIN THE ACCESS ROAD. CONTACT BARGHAUSEN CONSULTING ENGINEERS, INC. WITH ANY DISCREPANCIES.



STORMWATER QUALITY POND

SCALE: SCALE: 1"=20' H 1"=5' V

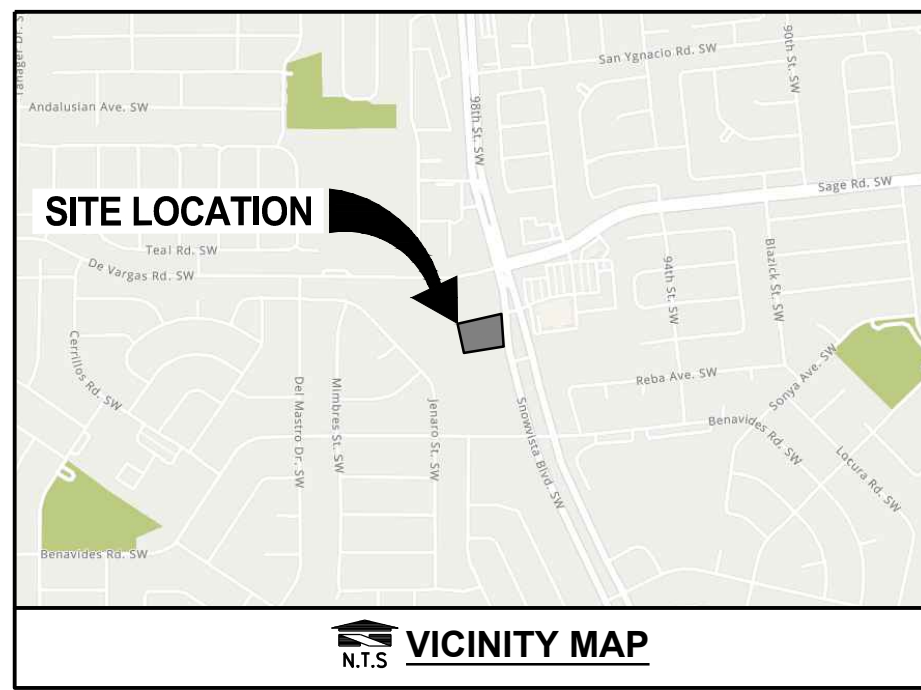
STORM STRUCTURE TABLE	
⑥	CB #1, TYPE 1, W/STANDARD GRATE RIM=5147.86 IE=5145.28 (12" SE)
⑥	CB #2, TYPE 1, W/STANDARD GRATE RIM=5147.43 IE=5144.70 (12" NW) IE=5144.70 (8" S) IE=5144.70 (12" W)
⑥	CB #3, TYPE 1, W/STANDARD GRATE RIM=5146.39 IE=5144.89 (8" N)
⑥	CB #4, TYPE 1, W/STANDARD GRATE RIM=5148.41 IE=5145.43 (12" SE)
⑥	CB #5, TYPE 1, W/STANDARD GRATE RIM=5146.22 IE=5143.65 (12" NE) IE=5143.65 (EXISTING)
⑧	EXISTING SDMH, 48" SDMH RIM=5147.34 IE=5143.47 (EXISTING) IE=5143.57 (EXISTING)
⑦	OVERFLOW STRUCTURE, 18" NYOPLAST DRAIN RIM=5146.50 IE=5144.50 (12" SW)

STORM DRAIN GENERAL NOTES:

- ALL STRUCTURE ELEVATIONS SHOWN ARE TO CENTER OF STRUCTURE AT FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.
- ALL STORM DRAINAGE STRUCTURES EXPOSED TO TRAFFIC SHALL BE TRAFFIC RATED INCLUDING STRUCTURE, LID, GRATE, ETC.
- ALL STORM DRAIN PIPING DENOTED AS "PVC" SHALL CONFORM TO ASTM D3034, SDR 35.
- ALL STORM PIPING INSTALL WITH LESS THAN 2 FEET OF COVER SHALL BE BACKFILLED WITH A CONTROLLED DENSITY FILL (SLURRY).
- ALL STORM DRAINAGE STRUCTURES WITH LIDS EXPOSED TO PEDESTRIAN TRAFFIC SHALL BE HEEL PROOF AND SLIP RESISTANT IN ACCORDANCE WITH ACCESSIBILITY REQUIREMENTS.
- PROVIDE ALL INCIDENTAL FITTINGS, BENDS, WYES, TEES, COUPLINGS, GASKETS, ETC. REQUIRED TO CONSTRUCT THE INFRASTRUCTURE DEPICTED.
- ALL TRENCHING SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE PURVEYOR.
- PROVIDE MARKING TAPE AND LOCATE WIRE WITH ALL TRENCH INSTALLATIONS.
- CONTRACTOR TO OBTAIN ANY NECESSARY RIGHT-OF-WAY PERMITS IF REQUIRED FOR WORK SHOWN ON PLANS.
- CONTRACTOR TO RAISE AND ADJUST ALL EXISTING AND PROPOSED CATCH BASIN RIMS TO FINAL GRADE AS NECESSARY. CATCH BASINS WITHIN ADA ACCESSIBLE PATHS SHALL BE ADJUSTED TO FINAL ELEVATIONS IN COMPLIANCE WITH CURRENT ADA REQUIREMENTS.

FLOOD ZONE:

THE SUBJECT PROPERTY (AS SHOWN HEREON) LIES WITHIN ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE NO. 35001C0336 H, EFFECTIVE DATE 08/16/2012.



PROJECT DATA

PARCEL ADDRESS:	1125 SNOW VISTA BLVD SW, ALBUQUERQUE, NM 87121
APN PARCEL#1:	101505550050811603
EXISTING ZONE:	NR-C (NON-RESIDENTIAL COMMERCIAL)
PROPOSED USE:	OIL CHANGE - DRIVE-UP
QUEUEING	= 9
PARKING CALCULATIONS:	1 SPACE/1000 SF OF GFA
REQUIRED:	2 REGULAR PARKING SPACES 3 BICYCLE PARKING SPACES 1 MOTORCYCLE PARKING SPACE
PARKING SPACES PROVIDED:	4 REGULAR 1 ADA/VAN ACCESSIBLE SPACE 2 MOTORCYCLE SPACE 3 BICYCLE SPACES
REQUIRED SETBACKS	25 FEET MIN
FRONT:	15 FEET MIN
SIDE AND REAR:	18 FEET MIN
HEIGHT:	18 FEET MIN
PARCEL AREA:	55,016 SF (1.26 AC)
PROJECT AREA:	55,016 SF (1.26 AC)
TRASH ENCLOSURE	= 15' x 15'
SITE COVERAGE:	
BUILDINGS W/ TRASH ENCLOSURE:	±1,897 SF (3.4%)
PARKING AND MANEUVERING:	±15,070 SF (27.4%)
WALKWAYS:	±1,650 SF (3.0%)
LANDSCAPE:	±36,399 SF (66.2%)
	±55,016 SF (100%)

CONSTRUCTION NOTES:

- FACILITATE DOWNSPOUT DRAINAGE. PROVIDE SPLASH BLOCK PER DETAIL 2/C5.2.
- ELEVATIONS BASED ON OVERALL DEVELOPMENT. ELEVATIONS ALONG PROPERTY LINES NEED TO MATCH OVERALL DEVELOPMENT WITH TRANSITIONS ON ADJACENT PROPERTIES. IT MAY BE NECESSARY TO ADJUST ELEVATIONS BASED ON EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO VERIFY TIE-IN ELEVATIONS AND REPORT FINDINGS TO ENGINEER PRIOR TO CONSTRUCTION.
- CONSTRUCT ADA IMPROVEMENTS PER CITY OF ALBUQUERQUE STANDARDS. REFER TO SHEET C3.1 FOR DETAILED GRADING INFORMATION.
- STORMWATER QUALITY POND:
TOP OF POND: 5147.50
BOTTOM OF POND: 5144.50
W.S. ELEV: 5146.50
SWOV REQ.: 747 CF
SWOV PROVIDED: 1,600 CF
TOTAL VOL.: 3,400 CF
- PROVIDE ROCK SPLASH PAD.
DIMENSIONS: 48"L x 36"W x 6" DEEP AVERAGE STONE: 4"
- CONSTRUCT 24"x24" CONCRETE CATCH BASIN WITH STANDARD GRATE PER DETAIL 4/C5.1. RIM AND INVERT ELEVATIONS PER PLAN
- INSTALL 18" NYOPLAST DRAIN BASIN AS OVERFLOW STRUCTURE PER DETAIL 1/C5.1. PROVIDE BEEHIVE GRATE PER DETAIL 2/C5.1.
- CONNECT EXISTING STORM PIPE, IE=5143.65. CONTRACTOR TO VERIFY LOCATION, DEPTH, AND MATERIAL OF EXISTING PIPE CONNECTIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES.

GEOTECHNICAL GRADING NOTES:

THE FOLLOWING NOTES HAVE BEEN REFERENCED FROM THE GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS, INC. DATED JULY 13, 2023. REFER TO THE COMPLETE REPORT FOR ALL EARTHWORK REQUIREMENTS.

GROUNDWATER:

GROUNDWATER WAS NOT OBSERVED DURING OUR SUBSURFACE EXPLORATION. IT SHOULD BE NOTED THE POSSIBILITY OF GROUNDWATER LEVEL FLUCTUATIONS SHOULD BE CONSIDERED WHEN DEVELOPING THE DESIGN AND CONSTRUCTION PLANS FOR THE PROJECT.

SITE PREPARATION:

PRIOR TO PLACING FILL, VEGETATION, AND TOPSOIL/ROOT MATS SHOULD BE REMOVED. COMPLETE STRIPPING OF THE TOPSOIL/ROOT MATS SHOULD BE PERFORMED IN THE PROPOSED BUILDING AND PARKING/DRIVEWAY AREAS. ALTHOUGH NO EVIDENCE OF FILL OR UNDERGROUND FACILITIES (SUCH AS SEPTIC TANKS, CESSPOOLS, BASEMENTS, AND UTILITIES) WAS OBSERVED DURING THE EXPLORATION AND SITE RECONNAISSANCE, SUCH FEATURES COULD BE ENCOUNTERED DURING CONSTRUCTION. IF UNEXPECTED FILLS OR UNDERGROUND FACILITIES ARE ENCOUNTERED, SUCH FEATURES SHOULD BE REMOVED, AND THE EXCAVATION THOROUGHLY CLEANED PRIOR TO BACKFILL PLACEMENT AND/OR CONSTRUCTION.

MATERIALS FOR FILL:

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TRENCH PREPARATION AND BACKFILL:

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LEGEND

BUILDING LINE	
EXISTING CURB TO REMAIN	
PROPOSED CURB	
PROPOSED LANDSCAPING	
PROPOSED ASPHALT	
PROPOSED CONCRETE	

Revision	No.	Date	By	Chd.	Appr.
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GRADING AND DRAINAGE PLAN
1125 SNOW VISTA BOULEVARD SW
ALBUQUERQUE, NM

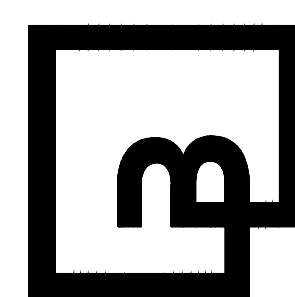
TAKE 5 OIL CHANGE
DURBAN DEVELOPMENT

For:



Scale:	Horizontal	Vertical
	1" = 20'	N/A
Designed	NRN	NRN
Drawn	NRN	NRN
Checked	MTL	MTL
Approved	HFG	HFG
Date	11/03/23	

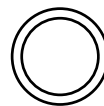
Barghausen
Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com



Job Number
23007
Sheet
C3.0



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UTILITY POTHOLOGING NOTE:

THE CIRCLED LOCATIONS ARE REQUIRED TO BE POTHOLED TO VERIFY VERTICAL AND HORIZONTAL LOCATION OF EXISTING UTILITY AND/OR POTENTIAL CONFLICTS WITH EXISTING UTILITIES. POTHOLOGING SHALL BE PERFORMED PRIOR TO INSTALLING ANY PROPOSED UTILITIES. CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. OF ANY CONFLICTS.

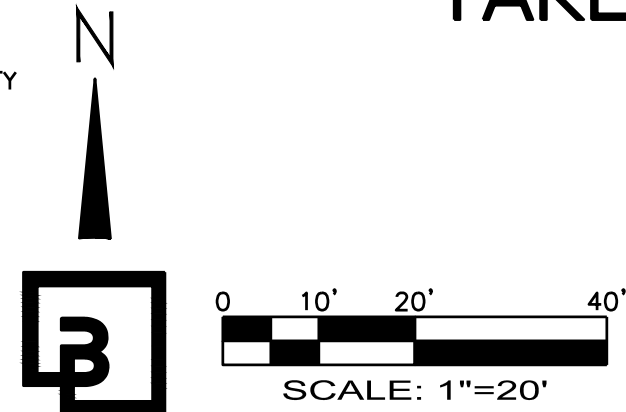
City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 11/17/23
BY: *Res. J. Brumett*
HydroTrans # M09D012C

THE APPROVAL OF THESE PLANS SHALL NOT BE
CONSIDERED TO PERMIT VIOLATIONS OF ANY CITY
ORDINANCES OR STATE LAWS AND SHALL NOT BE
USED FOR ANY OTHER PURPOSES. ANY
CONSTRUCTION OR REVISION OF THE PLANS
SPECIFIC TO THIS PROJECT SHALL BE APPROVED BY THE
CITY OF ALBUQUERQUE. ANY CHANGES TO THE
PLANS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT
AUTHORIZATION.

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE
TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY OF
ALBUQUERQUE. BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

TAKE 5 OIL CHANGE - ALBUQUERQUE, NM GRADING AND DRAINAGE PLAN



GEOTECHNICAL GRADING NOTES:

THE FOLLOWING NOTES HAVE BEEN REFERENCED FROM THE GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS, INC. DATED JULY 13, 2023. REFER TO THE COMPLETE REPORT FOR ALL EARTHWORK REQUIREMENTS.

GROUNDWATER:

GROUNDWATER WAS NOT OBSERVED DURING OUR SUBSURFACE EXPLORATION. IT SHOULD BE NOTED THE POSSIBILITY OF GROUNDWATER LEVEL FLUCTUATIONS SHOULD BE CONSIDERED WHEN DEVELOPING THE DESIGN AND CONSTRUCTION PLANS FOR THE PROJECT.

SITE PREPARATION:

PRIOR TO PLACING FILL, VEGETATION, AND TOPSOIL/ROOT MATS SHOULD BE REMOVED. COMPLETE STRIPPING OF THE TOPSOIL/ROOT MATS SHOULD BE PERFORMED IN THE PROPOSED BUILDING AND PARKING/DRIVEWAY AREAS. ALTHOUGH NO EVIDENCE OF FILL OR UNDERGROUND FACILITIES (SUCH AS SEPTIC TANKS, CESSPOOLS, BASEMENTS, AND UTILITIES) WAS OBSERVED DURING THE EXPLORATION AND SITE RECONNAISSANCE, SUCH FEATURES COULD BE ENCOUNTERED DURING CONSTRUCTION. IF UNEXPECTED FILLS OR UNDERGROUND FACILITIES ARE ENCOUNTERED, SUCH FEATURES SHOULD BE REMOVED, AND THE EXCAVATION THOROUGHLY CLEANED PRIOR TO BACKFILL PLACEMENT AND/OR CONSTRUCTION.

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LEGEND

BUILDING LINE	
EXISTING CURB TO REMAIN	
PROPOSED CURB	
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PROPOSED ASPHALT	
PROPOSED CONCRETE	

PROJECT DATA

PARCEL ADDRESS:	1125 SNOW VISTA BLVD SW, ALBUQUERQUE, NM 87121
APN PARCEL#1:	101505550050811603
EXISTING ZONE:	NR-C (NON-RESIDENTIAL COMMERCIAL)
PROPOSED USE:	OIL CHANGE - DRIVE-UP
QUEUEING	= 9
PARKING CALCULATIONS:	1 SPACE/1000 SF OF GFA
REQUIRED:	2 REGULAR PARKING SPACES 3 BICYCLE PARKING SPACES 1 MOTORCYCLE PARKING SPACE
PARKING SPACES PROVIDED:	4 REGULAR 1 ADA/VAN ACCESSIBLE SPACE 2 MOTORCYCLE SPACE 3 BICYCLE SPACES

REQUIRED SETBACKS	25 FEET MIN
FRONT:	15 FEET MIN
SIDE AND REAR:	18 FEET MIN
HEIGHT:	18 FEET MIN

PARCEL AREA:	55,016 SF (1.26 AC)
PROJECT AREA:	55,016 SF (1.26 AC)

TRASH ENCLOSURE = 15' x 15'

SITE COVERAGE:	
BUILDINGS W/ TRASH ENCLOSURE:	±1,897 SF (3.4%)
PARKING AND MANEUVERING:	±15,070 SF (27.4%)
WALKWAYS:	±1,650 SF (3.0%)
LANDSCAPE:	±36,399 SF (66.2%)
	±55,016 SF (100%)

CONSTRUCTION NOTES:

- FACILITATE DOWNSPOUT DRAINAGE. PROVIDE SPLASH BLOCK PER DETAIL 2/C5.2.
- ELEVATIONS BASED ON OVERALL DEVELOPMENT. ELEVATIONS ALONG PROPERTY LINES NEED TO MATCH OVERALL DEVELOPMENT WITH TRANSITIONS ON ADJACENT PROPERTIES. IT MAY BE NECESSARY TO ADJUST ELEVATIONS BASED ON EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO VERIFY TIE-IN ELEVATIONS AND REPORT FINDINGS TO ENGINEER PRIOR TO CONSTRUCTION.
- CONSTRUCT ADA IMPROVEMENTS PER CITY OF ALBUQUERQUE STANDARDS. REFER TO SHEET C3.1 FOR DETAILED GRADING INFORMATION.
- STORMWATER QUALITY POND:
TOP OF POND: 5147.50
BOTTOM OF POND: 5144.50
W.S. ELEV: 5146.50
SWOV REQ.: 747 CF
SWOV PROVIDED: 1,600 CF
TOTAL VOL.: 3,400 CF
- PROVIDE ROCK SPLASH PAD.
DIMENSIONS: 48" L X 36" W X 6" DEEP AVERAGE STONE: 4"
- CONSTRUCT 24"x24" CONCRETE CATCH BASIN WITH STANDARD GRATE PER DETAIL 4/C5.1. RIM AND INVERT ELEVATIONS PER PLAN
- INSTALL 18" NYOPLAST DRAIN BASIN AS OVERFLOW STRUCTURE PER DETAIL 1/C5.1. PROVIDE BEEHIVE GRATE PER DETAIL 2/C5.1.
- CONNECT EXISTING STORM PIPE, IE=5143.65. CONTRACTOR TO VERIFY LOCATION, DEPTH, AND MATERIAL OF EXISTING PIPE CONNECTIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES.

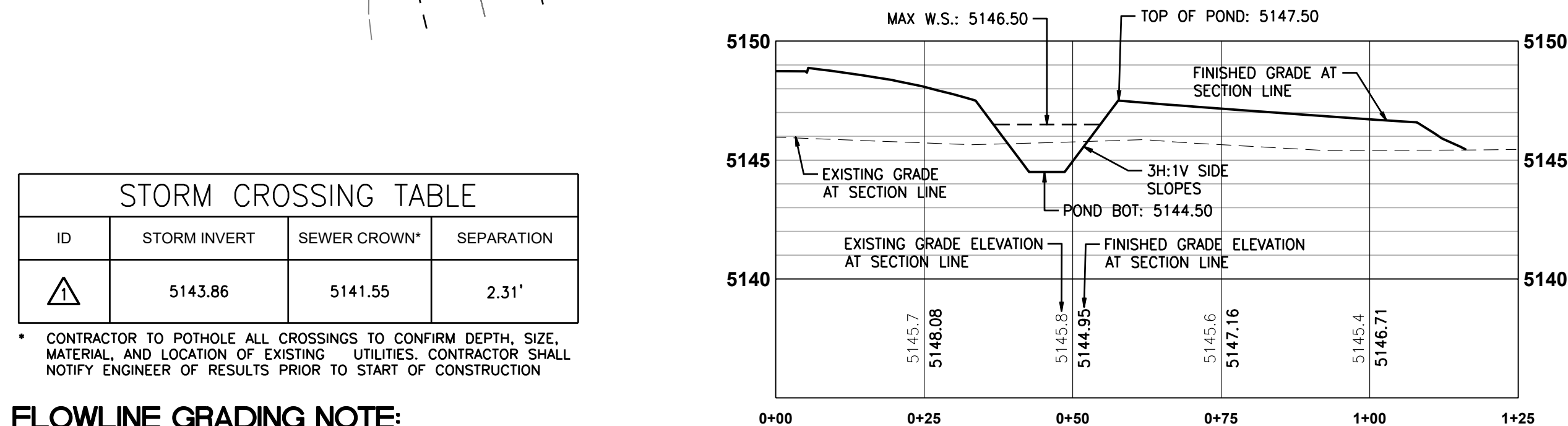
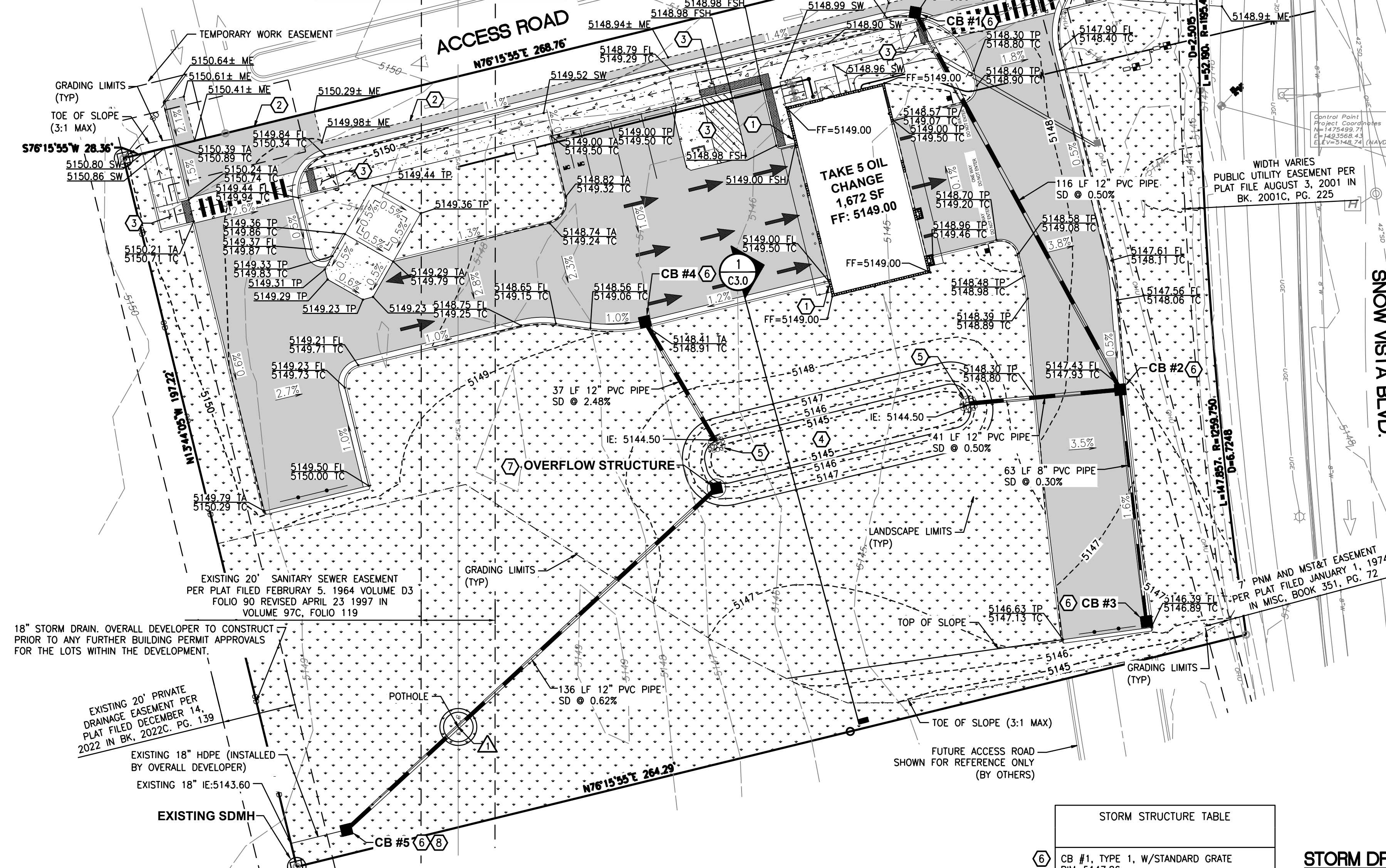
STORM DRAIN GENERAL NOTES:

- ALL STRUCTURE ELEVATIONS SHOWN ARE TO CENTER OF STRUCTURE AT FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.
- ALL STORM DRAINAGE STRUCTURES EXPOSED TO TRAFFIC SHALL BE TRAFFIC RATED INCLUDING STRUCTURE, LID, GRATE, ETC.
- ALL STORM DRAIN PIPING DENOTED AS "PVC" SHALL CONFORM TO ASTM D3034, SDR 35.
- ALL STORM PIPING INSTALL WITH LESS THAN 2 FEET OF COVER SHALL BE BACKFILLED WITH A CONTROLLED DENSITY FILL (SLURRY).
- ALL STORM DRAINAGE STRUCTURES WITH LIDS EXPOSED TO PEDESTRIAN TRAFFIC SHALL BE HEEL PROOF AND SLIP RESISTANT IN ACCORDANCE WITH ACCESSIBILITY REQUIREMENTS.
- PROVIDE ALL INCIDENTAL FITTINGS, BENDS, WYES, TEES, COUPLINGS, GASKETS, ETC. REQUIRED TO CONSTRUCT THE INFRASTRUCTURE DEPICTED.
- ALL TRENCHING SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE PURVEYOR.
- PROVIDE MARKING TAPE AND LOCATE WIRE WITH ALL TRENCH INSTALLATIONS.
- CONTRACTOR TO OBTAIN ANY NECESSARY RIGHT-OF-WAY PERMITS IF REQUIRED FOR WORK SHOWN ON PLANS.
- CONTRACTOR TO RAISE AND ADJUST ALL EXISTING AND PROPOSED CATCH BASIN RIMS TO FINAL GRADE AS NECESSARY. CATCH BASINS WITHIN ADA ACCESSIBLE PATHS SHALL BE ADJUSTED TO FINAL ELEVATIONS IN COMPLIANCE WITH CURRENT ADA REQUIREMENTS.

FLOOD ZONE:

THE SUBJECT PROPERTY (AS SHOWN HEREON) LIES WITHIN ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE NO. 35001C0336 H, EFFECTIVE DATE 08/16/2012.

Sheet List Table	
Sheet Number	Sheet Title
C3.0	GRADING AND DRAINAGE PLAN
C3.1	ADA ENLARGEMENTS
C3.2	FIRM MAP
C5.0	CIVIL DETAILS
C5.1	CIVIL DETAILS
C5.2	CIVIL DETAILS



FLOWLINE GRADING NOTE:

ALL PROPOSED FLOWLINE ELEVATIONS DESIGNED WITH CROSS SLOPE MATCHING EXISTING FROM SAWCUT LINE. CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION TO CONFIRM EXISTING CROSS SLOPE FROM SAWCUT LINE. GUTTER LIP SHALL BE SET 3/4-INCHES HIGHER THAN THE GUTTER FLOWLINE PER CITY OF ALBUQUERQUE REQUIREMENTS. CONTRACTOR TO CONFIRM POSITIVE DRAINAGE FROM WEST TO EAST TO MATCH THE EXISTING DRAINAGE PATTERN WITHIN THE ACCESS ROAD. CONTACT BARGHAUSEN CONSULTING ENGINEERS, INC. WITH ANY DISCREPANCIES.

STORMWATER QUALITY POND

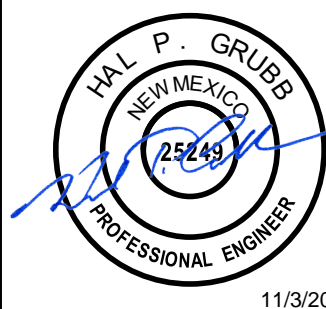
SCALE: SCALE: 1"=20' H 1"=5' V

STORM STRUCTURE TABLE	
6	CB #1, TYPE 1, W/STANDARD GRATE RIM=5147.86 IE=5145.28 (12" SE)
6	CB #2, TYPE 1, W/STANDARD GRATE RIM=5147.43 IE=5144.70 (12" NW) IE=5144.70 (8" S) IE=5144.70 (12" W)
6	CB #3, TYPE 1, W/STANDARD GRATE RIM=5146.39 IE=5144.89 (8" N)
6	CB #4, TYPE 1, W/STANDARD GRATE RIM=5148.41 IE=5145.43 (12" SE)
6	CB #5, TYPE 1, W/STANDARD GRATE RIM=5146.22 IE=5143.65 (12" NE) IE=5143.65 (EXISTING)
8	EXISTING SDMH, 48" SDMH RIM=5147.34 IE=5143.47 (EXISTING) IE=5143.57 (EXISTING)
7	OVERFLOW STRUCTURE, 18" NYOPLAST DRAIN RIM=5146.50 IE=5144.50 (12" SW)

Revision	No.	Date	By	Ctd.	Appr.
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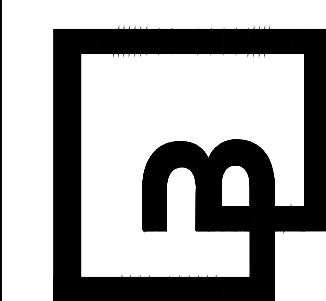
Title:
GRADING AND DRAINAGE PLAN
1125 SNOW VISTA BOULEVARD SW
ALBUQUERQUE, NM

For:
TAKE 5 OIL CHANGE
DURBAN DEVELOPMENT



Scale:	Horizontal	Vertical
	1" = 20'	N/A
Designed	NRN	NRN
Drawn	NRN	NRN
Checked	MTL	MTL
Approved	HPG	HPG
Date	11/03/23	11/03/23

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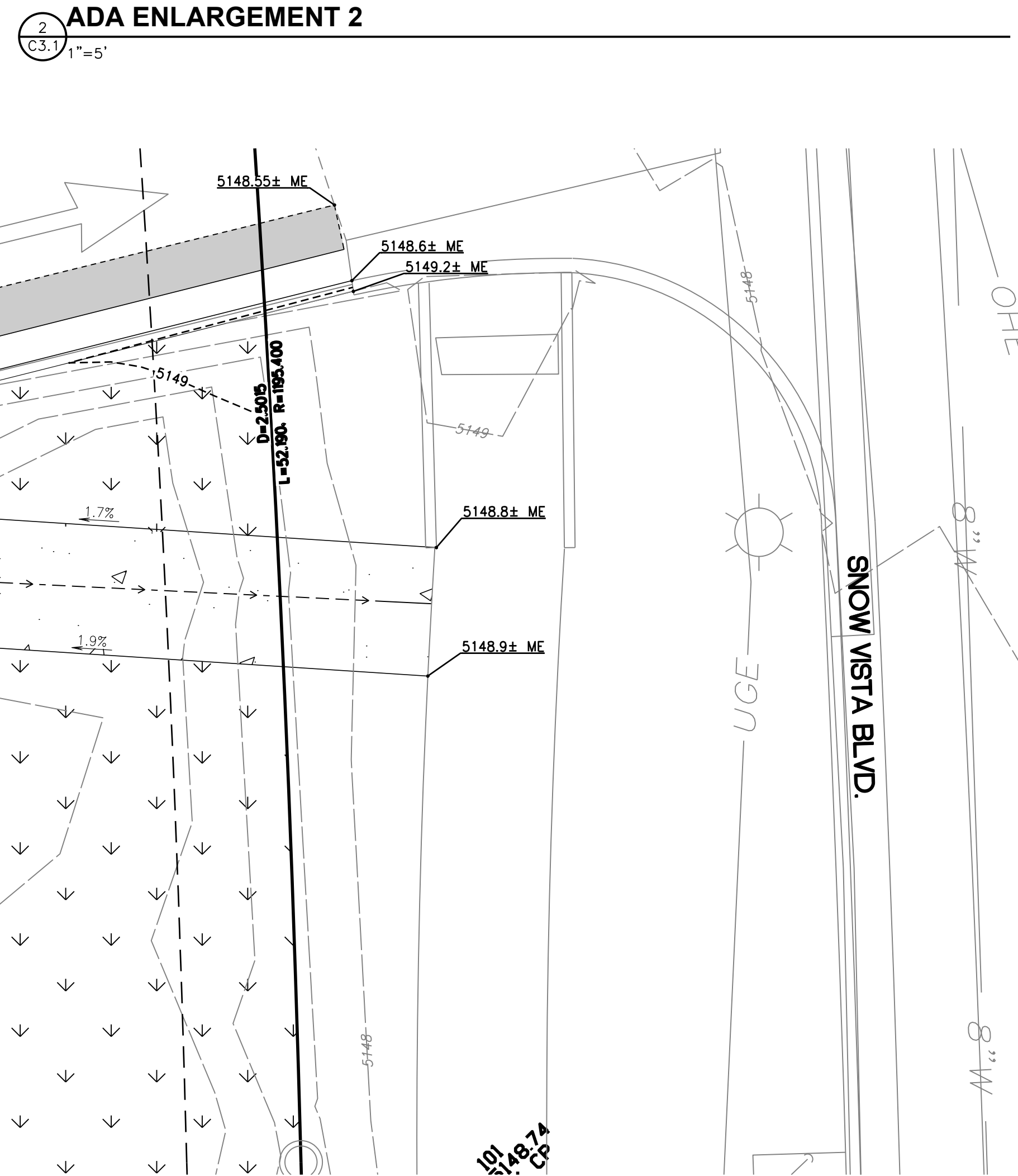
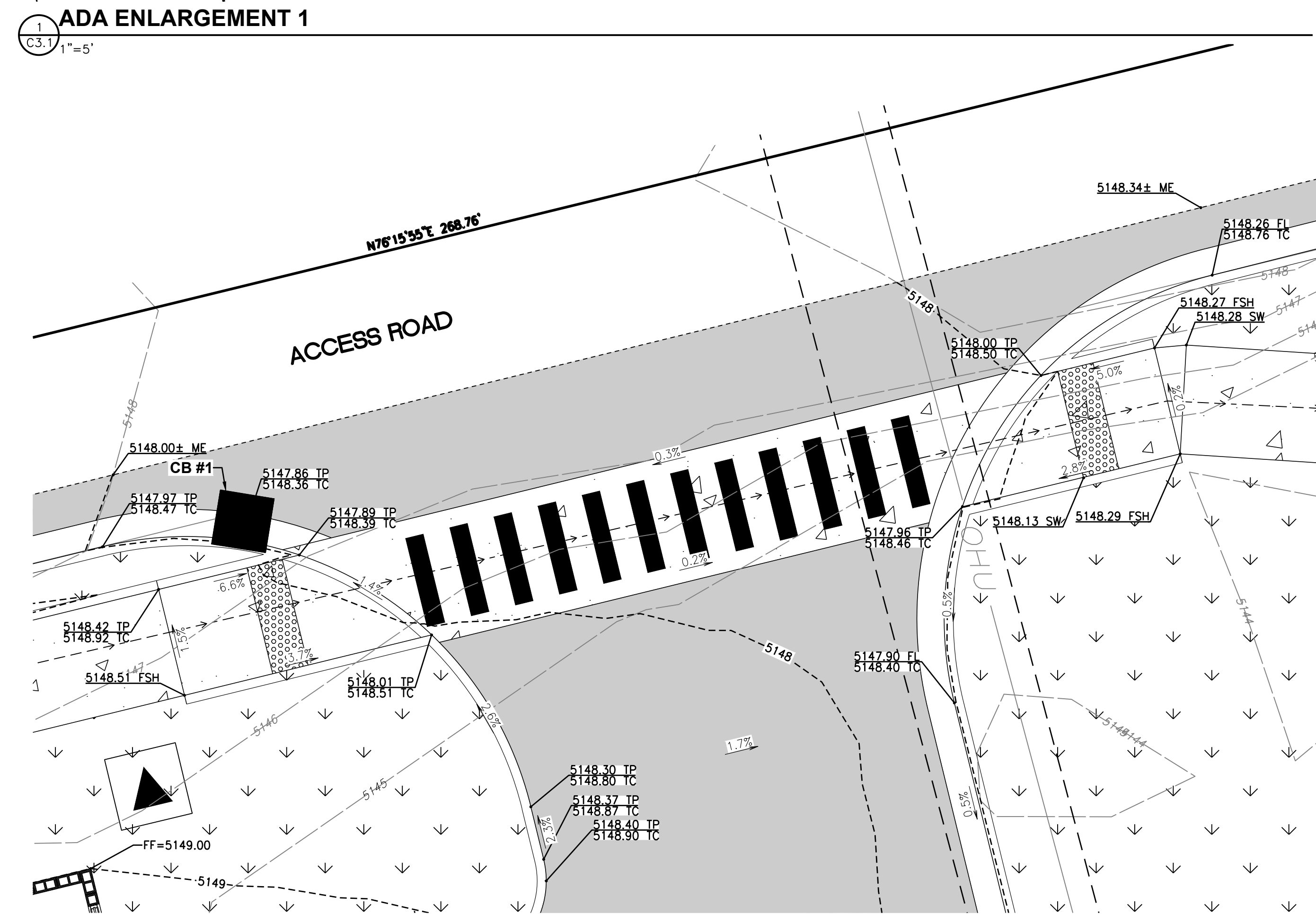
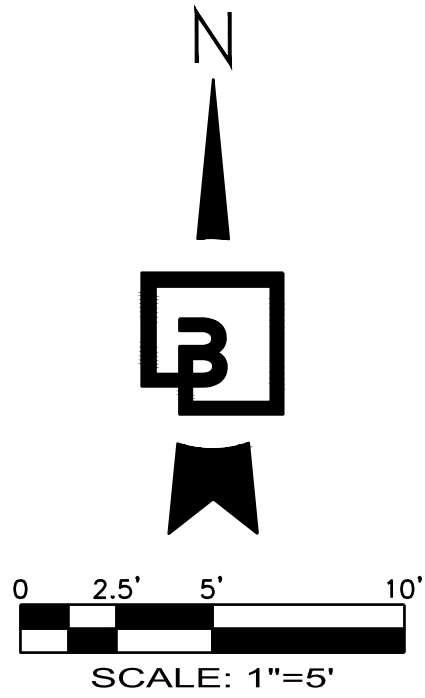
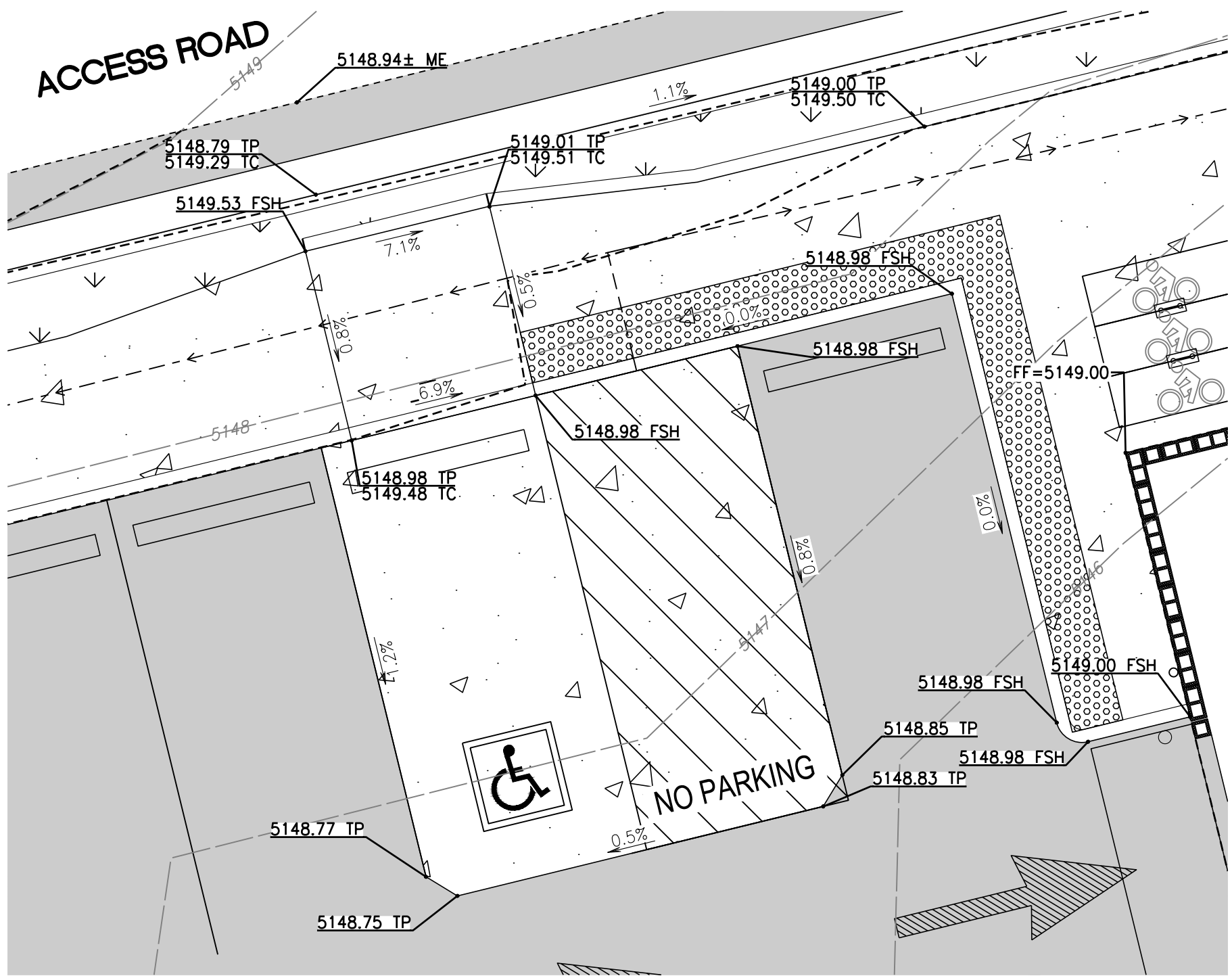
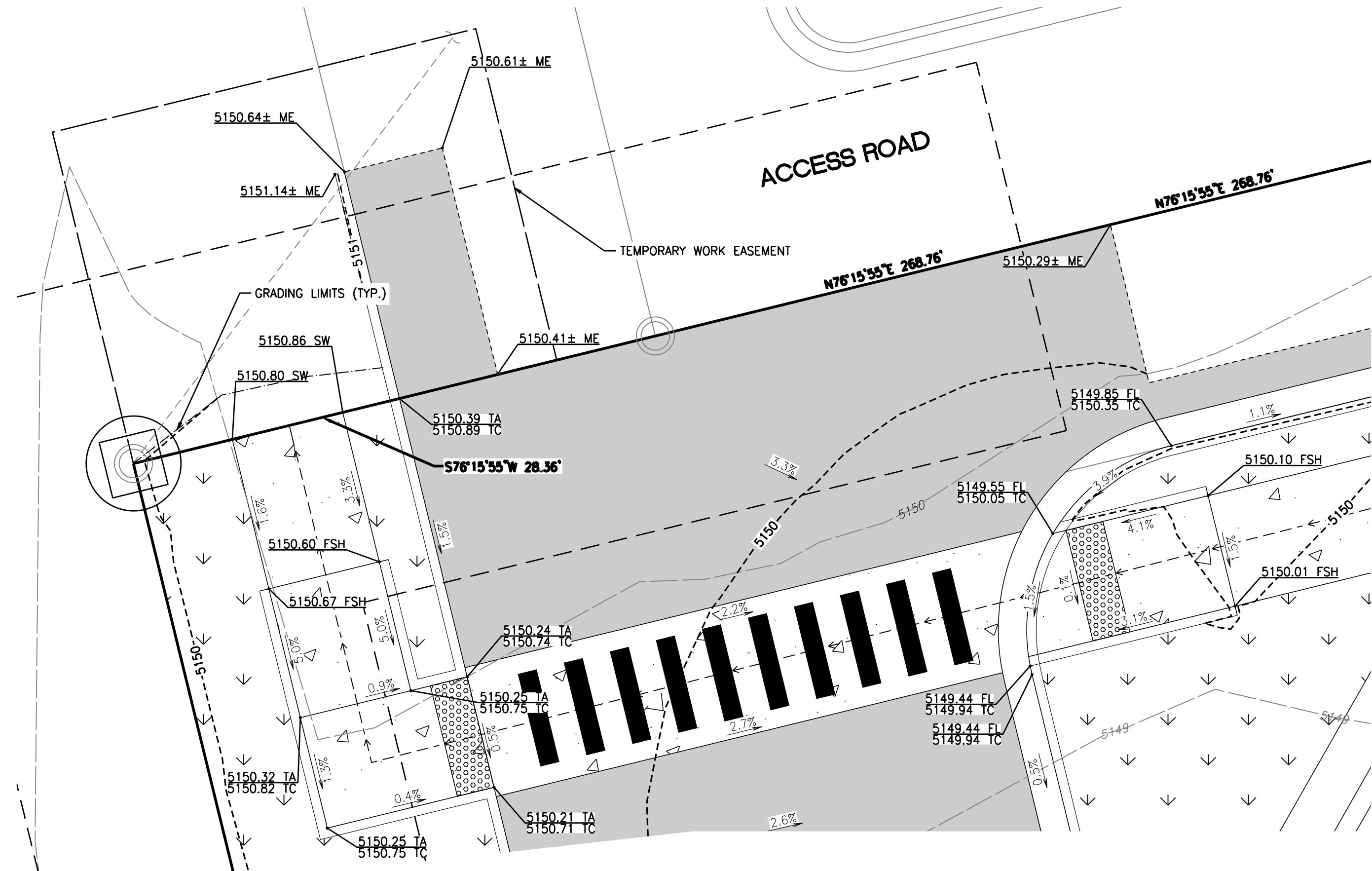


Job Number
23007
Sheet
C3.0



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TAKE 5 OIL CHANGE - ALBUQUERQUE, NM ADA ENLARGEMENTS



GRADING GENERAL NOTES:

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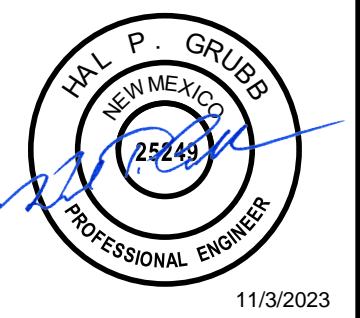
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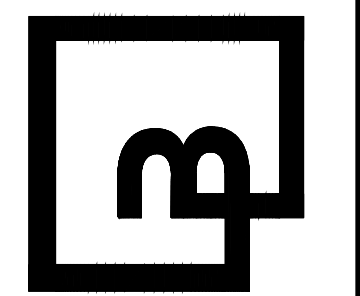
No.	Date	By	Chd.	Appr.	Revision
Title:					
ADA ENLARGEMENTS 1125 SNOW VISTA BOULEVARD SW ALBUQUERQUE, NM					

For: TAKE 5 OIL CHANGE
DURBAN DEVELOPMENT



Scale:	Horizontal	Vertical
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Designed	Drawn	Checked
NRN	NRN	MTL
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Job Number	23007	Sheet	C3.1
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NOTES TO USERS

To obtain more detailed information in areas where **Base Flood Elevations (BFEs)** and/or **floodways** have been determined, users are encouraged to consult the Flood Profiles and Floodway Data and/or Summary of Stillwater Elevations tables contained within the Flood Insurance Study (FIS) report that accompanies this FIRM. Users should be aware that BFEs shown on the FIRM represent rounded whole-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS report should be utilized in conjunction with the FIRM for purposes of construction and/or floodplain management.

Boundaries of the **floodways** were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

The **projection** used in the preparation of this map was New Mexico State Plane, Central Zone (FIPS 3002). The **horizontal datum** was NAD83, GRS80 spheroid. Differences in datum, spheroid, projection or State Plane zones used in the production of FIRMs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of this FIRM.

NGS Information Services
NOAA, N/NGS12
National Geodetic Survey, SSMC-3, #9202
1315 East-West Highway
Silver Spring, Maryland 20910-3282
(301) 713-3242

Base map information shown on this FIRM was provided in digital format by City of Albuquerque, 2010, Bernalillo County, 2004, and 2010, Bureau of Land Management, 2003, National Geodetic Survey, 2003, and United States Geological Survey (USGS), 1999. Additional information was photogrammetrically compiled at a scale of 1:12,000 from U.S. Department of Agriculture aerial photography dated 2009 and Bernalillo County aerial photography dated 1999.

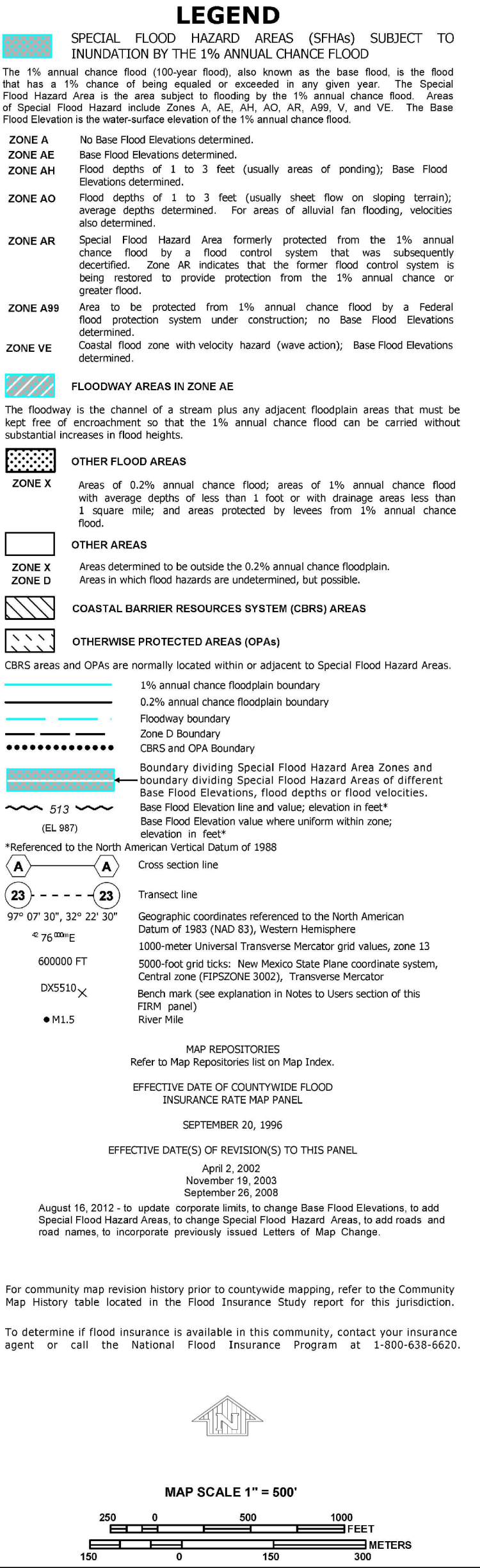
This map reflects more detailed and up-to-date **stream channel configurations** than those shown on the previous FIRM for this jurisdiction. The floodplains and floodways that were transferred from the previous FIRM may have been adjusted to conform to these new stream channel configurations. As a result, the Flood Profiles and Floodway Data tables in the Flood Insurance Study report (which contains authoritative hydraulic data) may reflect stream channel distances that differ from what is shown on this map.

Corporate limits shown on this map are based on the best data available at the time of publication. Because changes due to annexations or de-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

Please refer to the separately printed **Map Index** for an overview map of the county showing the layout of map panels; community map repository addresses; and a Listing of Communities table containing National Flood Insurance Program dates for each community as well as a listing of the panels on which each community is located.

For information on available products associated with this FIRM visit the **Map Service Center (MSC)** website at <http://msc.fema.gov>. Available products may include previously issued Letters of Map Change, a Flood Insurance Study Report, and/or digital versions of this map. Many of these products can be ordered or obtained directly from the MSC website.

If you have **questions about this map**, how to order products or the National Flood Insurance Program in general, please call the **FEMA Map Information eXchange (FMIX)** at 1-877-FEMA-MAP (1-877-336-2627) or visit the FEMA website at <http://www.fema.gov/business/nfip>.



NFP

PANEL 0336H

FIRM

FLOOD INSURANCE RATE MAP

**BERNALILLO COUNTY,
NEW MEXICO**

AND INCORPORATED AREAS

PANEL 336 OF 825

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY

ALBUQUERQUE, CITY OF
BERNALILLO COUNTY
UNINCORPORATED AREAS

NUMBER

350002
0036
350001

PANEL

0036
0036

SUFFIX

H
H
H

Notice to User: The **Map Number** shown below should be used when placing map orders; the **Community Number** shown above should be used on insurance applications for the subject community.

The seal of the United States Department of Commerce, Federal Emergency Management Agency. It features an eagle with wings spread, perched on a shield. The shield contains a smaller shield with a scale of justice. The words "DEPARTMENT OF COMMERCE" and "UNITED STATES OF AMERICA" are inscribed around the border.

MAP NUMBER
35001C0336H

MAP REVISED
AUGUST 16, 2012

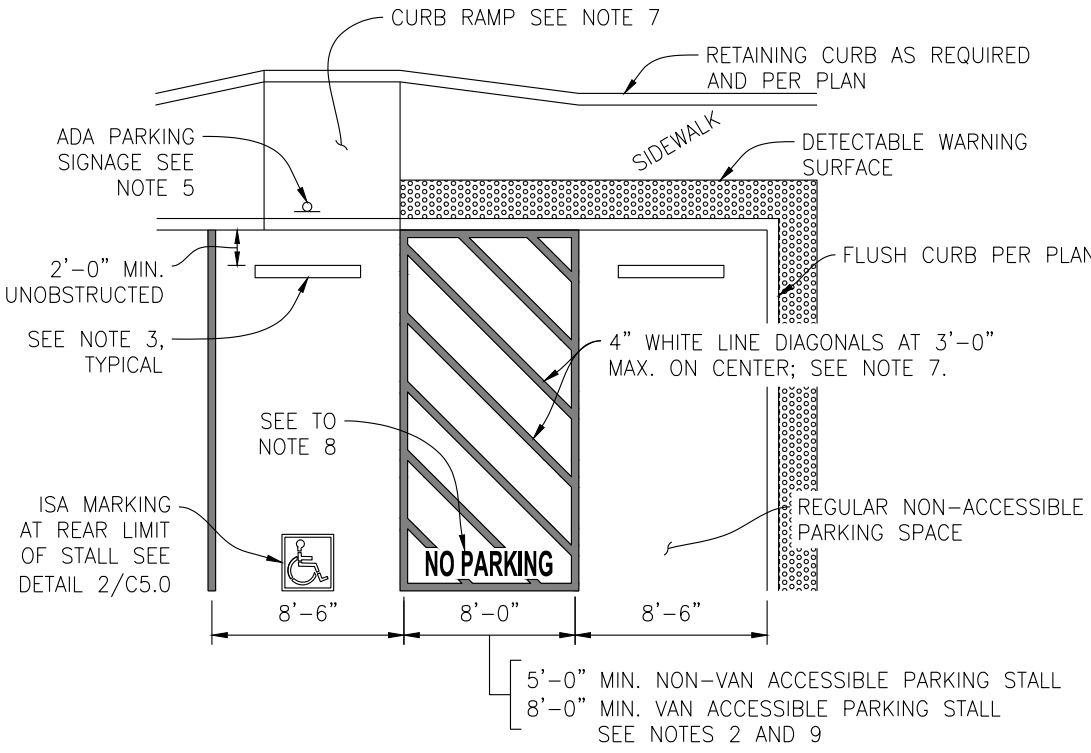
Federal Emergency Management Agency

NATIONAL FLOOD INSURANCE PROGRAM

P:\23000s\23007\engineering\23007-G.dwg 11/3/2023 9:13 AM NNAZARCHUK



Know what's below.
Call before you dig.
Dial 811



SINGLE ACCESSIBLE PARKING STALL



SIGN R7-8
SIZE = 12"x18"



SIGN R7-8b
See Notes 2 and 6
SIZE = 12"x9"

OFF-STREET PARKING SIGNS

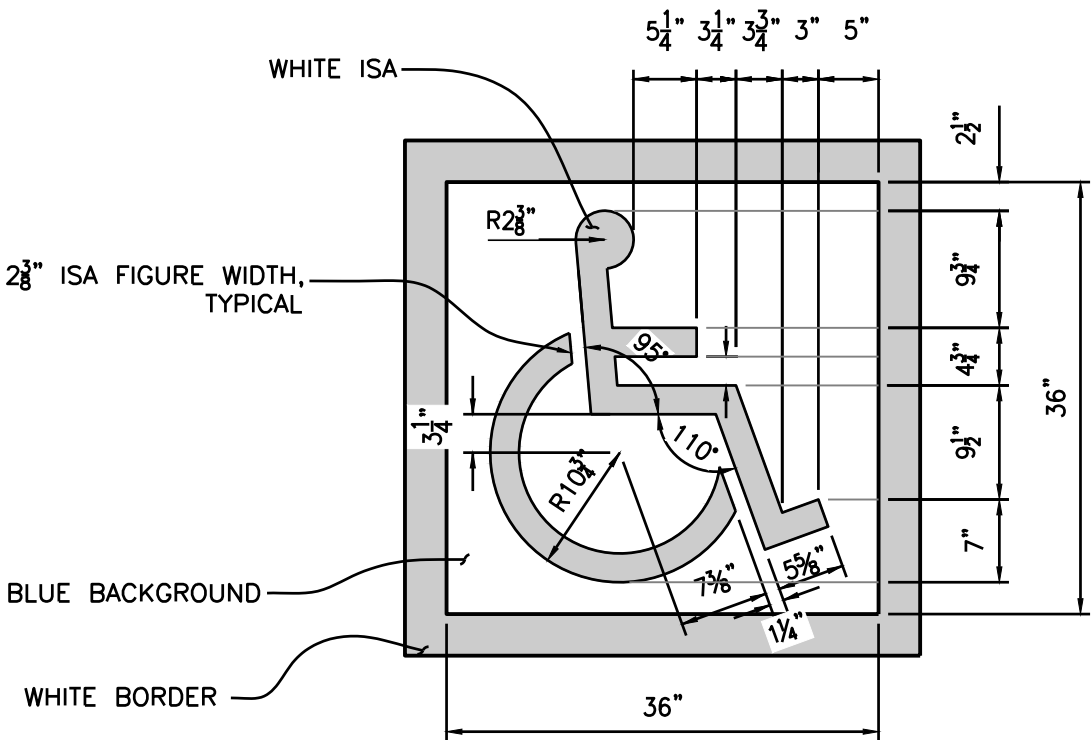
NOTES:

1. ACCESSIBLE PARKING SPACES SERVING A PARTICULAR BUILDING SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE ENTRANCE.
2. THE FIRST ONE OUT OF EVERY SIX ACCESSIBLE OFF-STREET ACCESSIBLE PARKING STALLS, SHALL BE SERVED BY AN ACCESSIBLE AISLE OF 8'-0" MINIMUM WIDTH AND SHALL BE SIGNED VAN ACCESSIBLE. THE R7-8B SIGN SHALL BE MOUNTED BELOW THE R7-8 PLAQUE.
3. IN EACH PARKING STALL, A CURB OR PARKING BUMPER SHALL BE PROVIDED IF REQUIRED TO PREVENT ENCROACHMENT OF VEHICLES OVER THE REQUIRED WIDTH OF WALKWAYS. PARKING STALLS SHALL BE SO LOCATED THAT PERSONS WITH DISABILITIES ARE NOT COMPELLED TO WHEEL OR WALK BEHIND PARKED VEHICLES OTHER THAN THEIR OWN.
4. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES DESIGNED TO NOT EXCEED 1.5% IN ANY DIRECTION (CONSTRUCTED SURFACES SLOPES SHALL NOT EXCEED 2.0% IN ANY DIRECTION).
5. WHERE PLAQUE R7-8, OR SIGN R7-8B ARE INSTALLED, THE BOTTOM OF THE SIGN OF PLAQUE SHALL BE A MINIMUM OF 7'-0" ABOVE THE SURROUNDING SURFACE. INSTALL IN CONFORMANCE WITH CITY STANDARD DRAWING 2600-702 AND 2600-703 ON SHEET C6.2.
6. CURB RAMP SHALL BE AS REFERENCED PER PLAN AND SHALL BE CONSTRUCTED COMPLYING WITH DETAIL 2 OF C5.0.
7. BLUE PAINT, INSTEAD OF WHITE MAY BE USED FOR MARKING ACCESSIBILITY AISLES IN AREAS WHERE SNOW MAY CAUSE VISIBILITY ISSUES WITH WHITE MARKINGS.
8. THE WORDS "NO PARKING", SHALL BE PAINTED IN WHITE LETTERS NO LESS THAN 1'-0" TALL AND LOCATED SO THAT IT IS VISIBLE TO TRAFFIC ENFORCEMENT OFFICIALS.
9. ALL SINGLE SPACE ACCESSIBLE PARKING SPACES SHALL PROVIDE, THE LOADING AND UNLOADING ACCESS AISLE ON THE PASSENGER SIDE OF THE VEHICLE.
10. ACCESSIBLE PARKING ONLY SIGN SHALL BE SIGN R7-8 WITH REQUIRED LANGUAGE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" PER 66-7-352.4C NMSA 1978. VAN ACCESSIBLE PLAQUE SHALL BE R7-8A OF THE M.U.T.C.D. AND INSTALL IN CONFORMANCE WITH CITY STANDARD DRAWING 2600-702 AND 2600-703 ON SHEET C6.2.

NOTE: ISA = INTERNATIONAL SYMBOL OF ACCESSIBILITY

TAKE 5 OIL CHANGE - ALBUQUERQUE, NM

CIVIL DETAILS

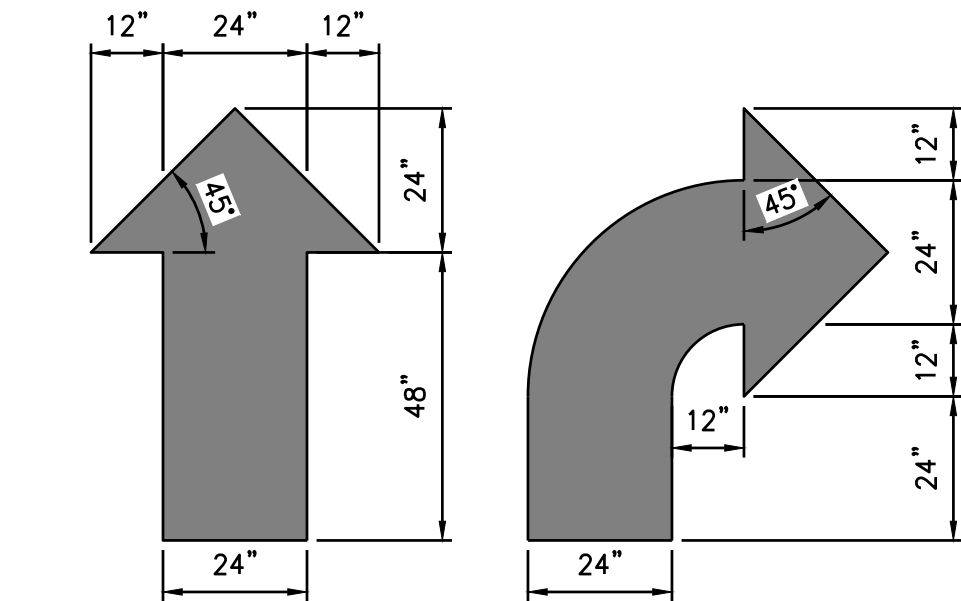


PAVEMENT INTERNATIONAL SYMBOL OF ACCESSIBILITY NOTES:

- A. SYMBOL TO BE CENTERED ON WIDTH OF PARKING STALL.
- B. BOTTOM OF SYMBOL TO BE LOCATED FLUSH WITH ACCESS DRIVE, CENTERED ON PARKING SPACE.
- C. SYMBOL IS REQUIRED TO CONTRAST WITH BACKGROUND.

INTERNATIONAL SYMBOL OF ACCESSIBILITY

2
C5.0 NOT TO SCALE

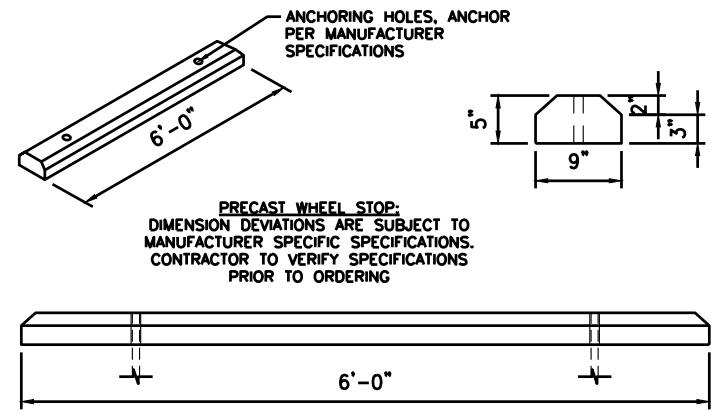


DETAIL NOTES:

APPLY 2 COATS OF CHLORINATED RUBBER-TYPE TRAFFIC-LANE MARKING PAINT OVER CLEANED PAVING SURFACE ACCORDING TO LAYOUT SHOWN ON THE SITE PLAN. PAINT AS REQUIRED BY CITY CODE.

TRAFFIC MARKINGS

3
C5.0 NOT TO SCALE

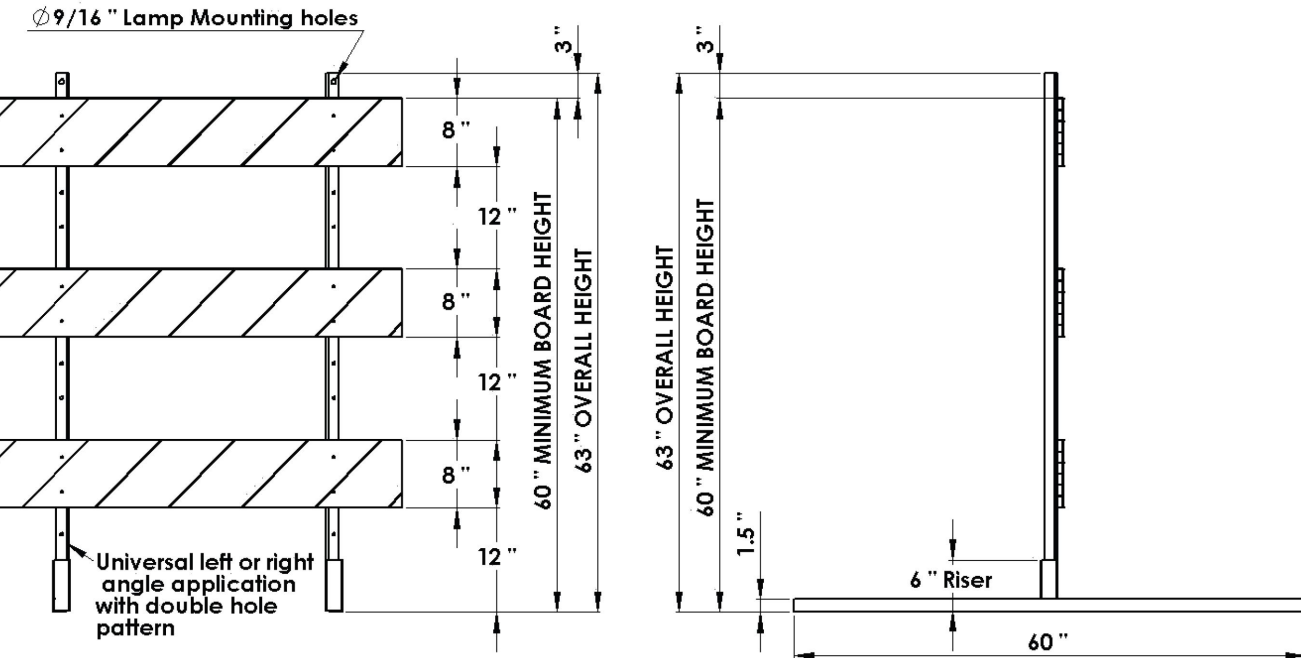


CONCRETE WHEEL STOP

4
C5.0 NOT TO SCALE

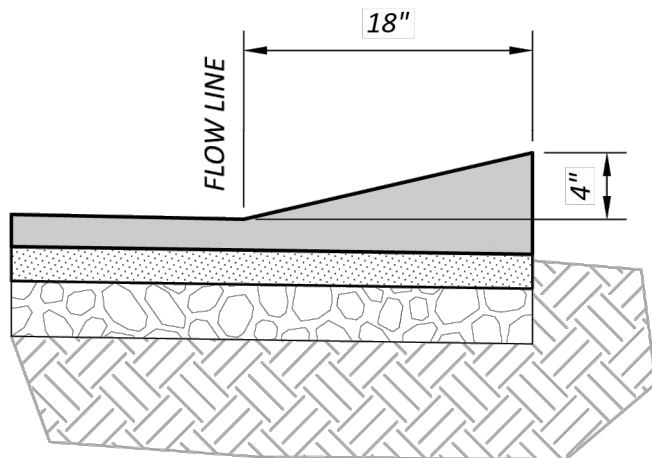
PLASTICAIDE

Angle Iron
Type III Barricade



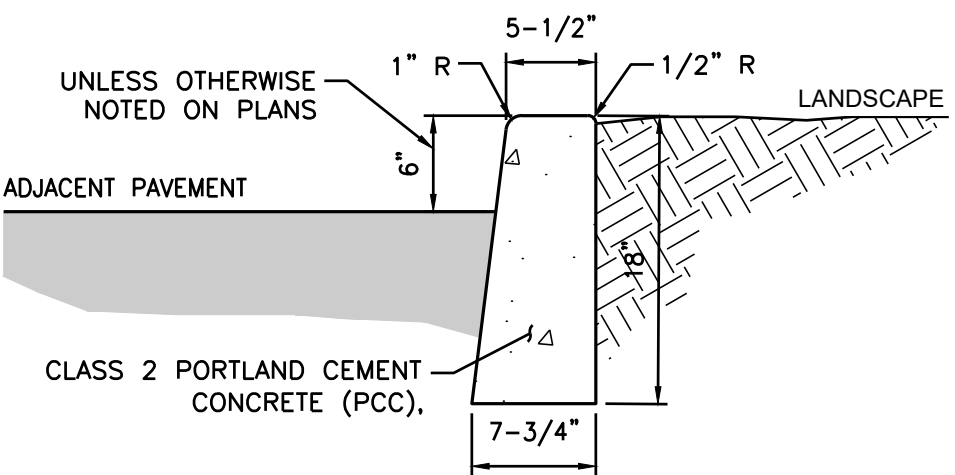
TYPE III BARICADE

7
C5.0 NOT TO SCALE



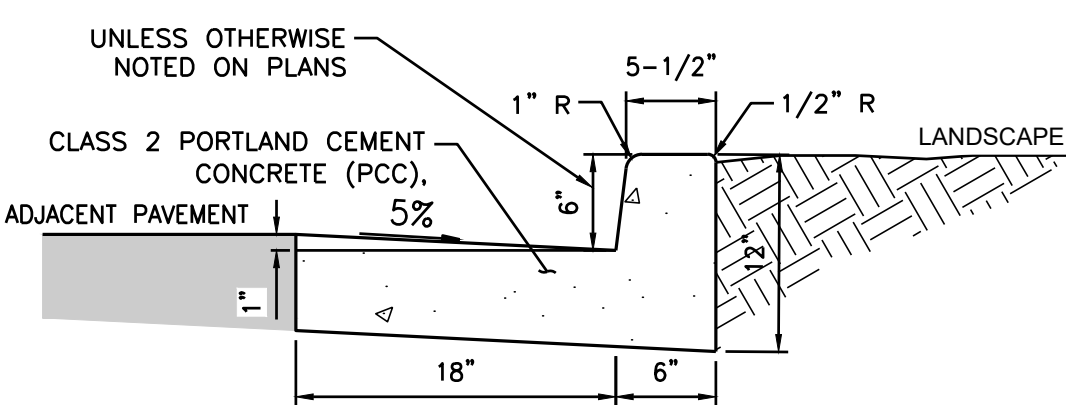
ASPHALT RAISED EDGE CURB

8
C5.0 NOT TO SCALE



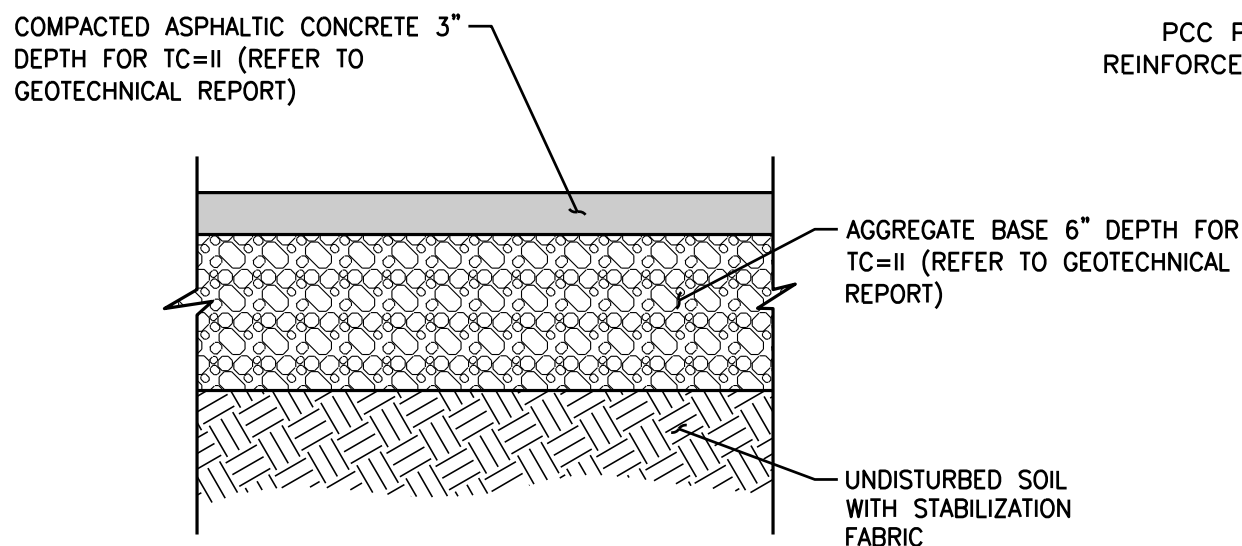
ON-SITE BARRIER CURB

5
C5.0 NOT TO SCALE



ON-SITE CURB AND GUTTER

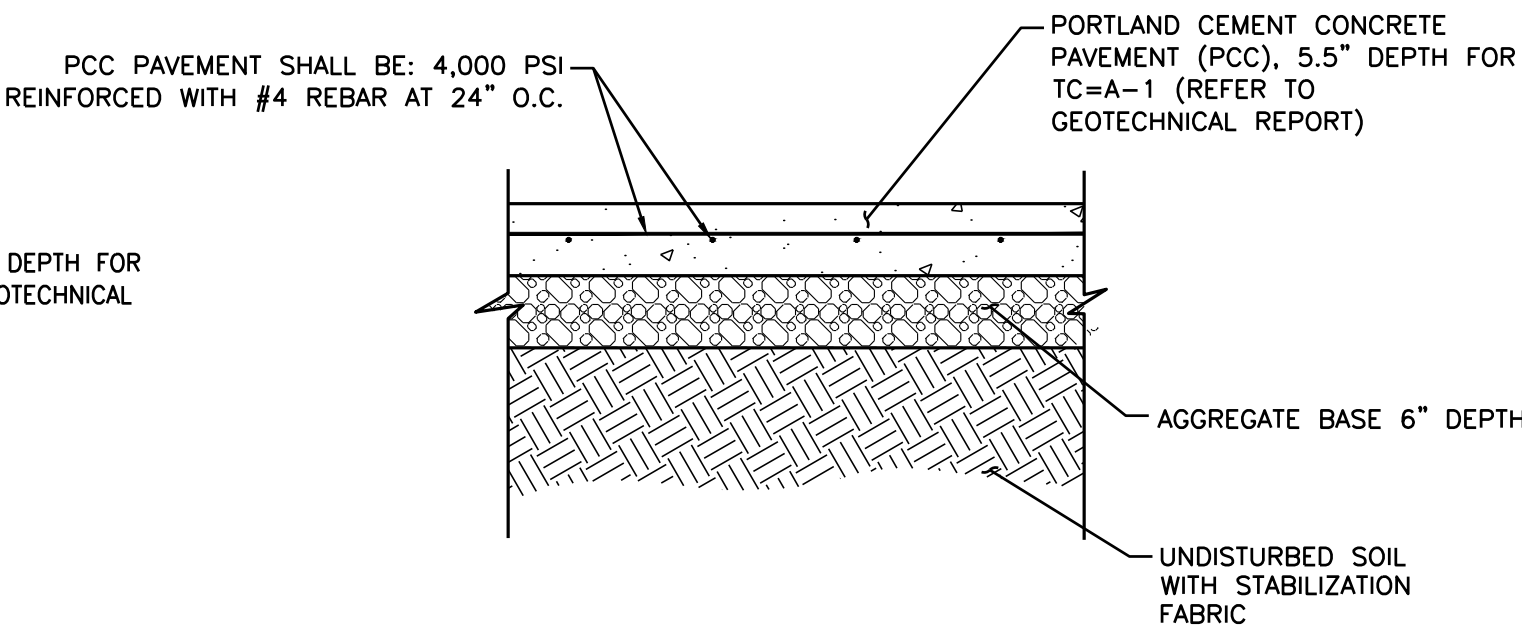
6
C5.0 NOT TO SCALE



NOTE:
ALL ASPHALTIC PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER

ASPHALT PAVING SECTION

9
C5.0 NOT TO SCALE



NOTE:
ALL PORTLAND CEMENT CONCRETE PAVEMENT (PCC) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.

PCC PAVING SECTION

10
C5.0 NOT TO SCALE

Revision	No.	Date	By	Chd.	Appr.
----------	-----	------	----	------	-------

Title:

CIVIL DETAILS

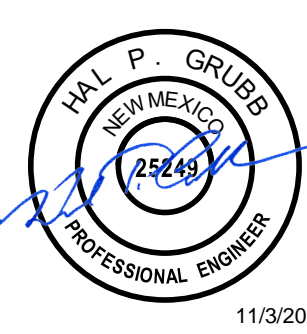
125 SNOW VISTA BOULEVARD SW

ALBUQUERQUE, NM

For:

TAKE 5 OIL CHANGE

DURBAN DEVELOPMENT



Scale:

Horizontal

N/A

Vertical

N/A

Designed

Drawn

Checked

Approved

HFG

Date

11/03/23

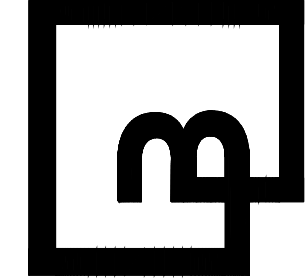
Barghausen Consulting Engineers, Inc.

18215 72nd Avenue South

Kent, WA 98032

425.251.6222

barghausen.com



Job Number

23007

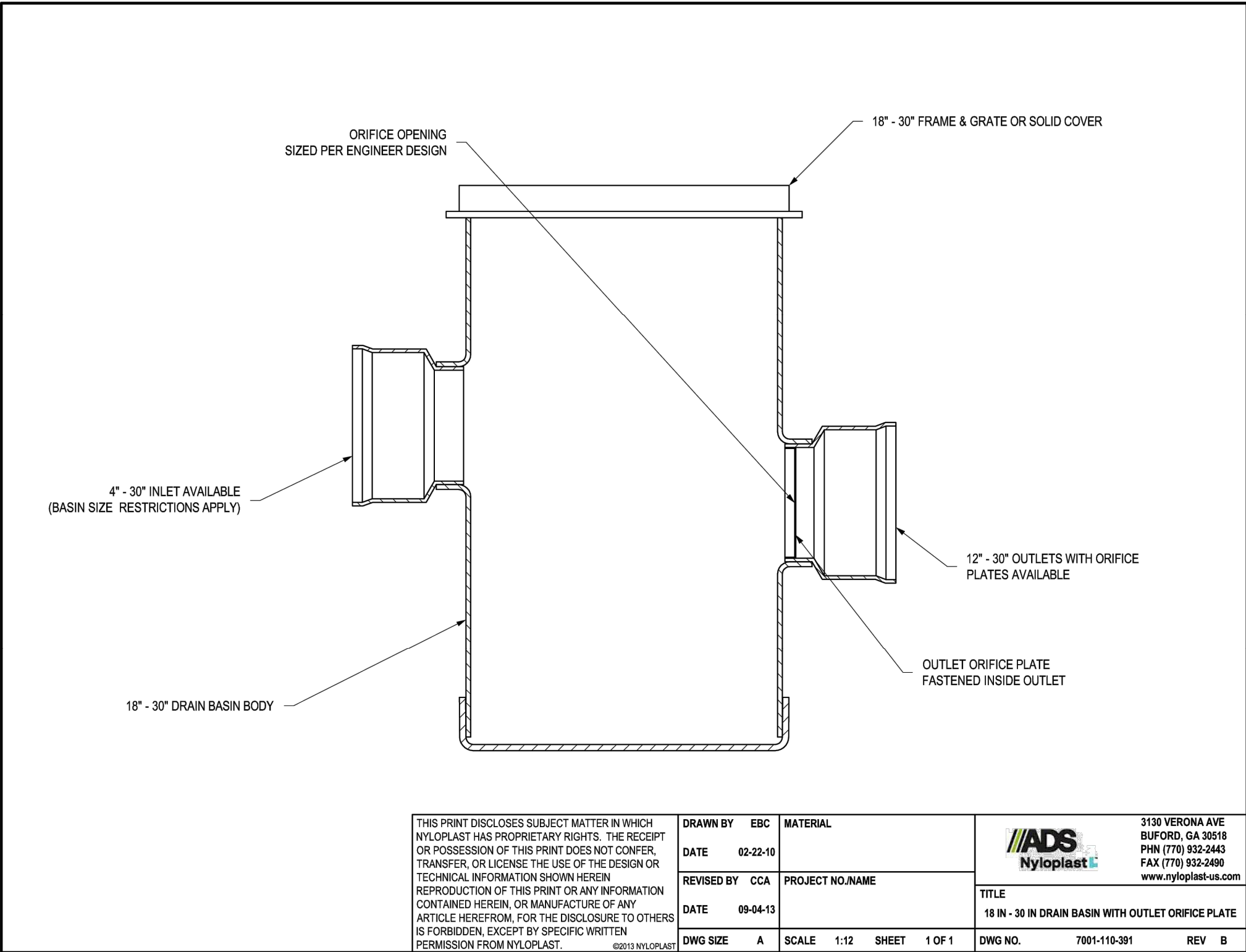
Sheet

C5.0



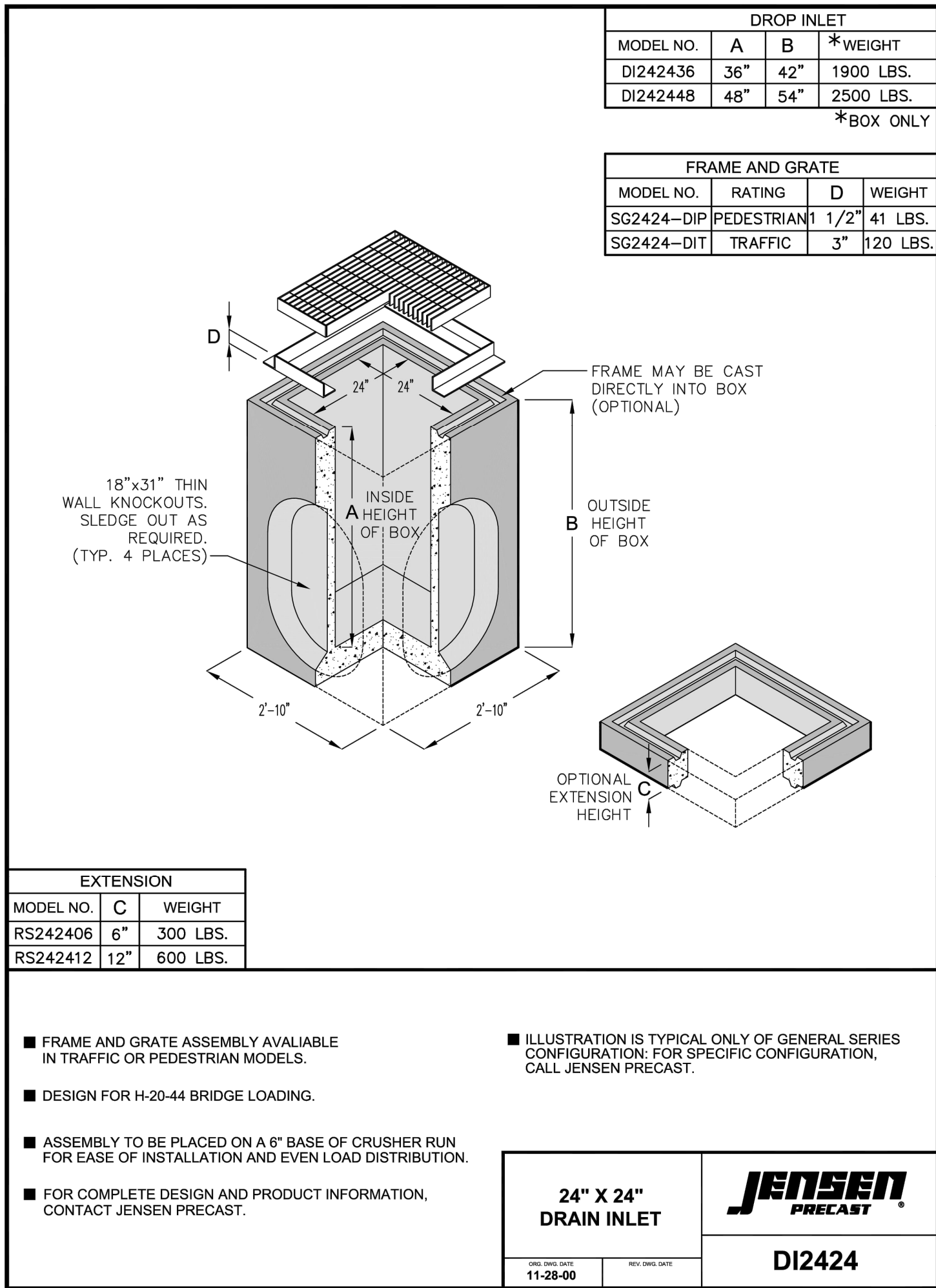
Know what's below.
Call before you dig.
Dial 811

TAKE 5 OIL CHANGE - ALBUQUERQUE, NM CIVIL DETAILS



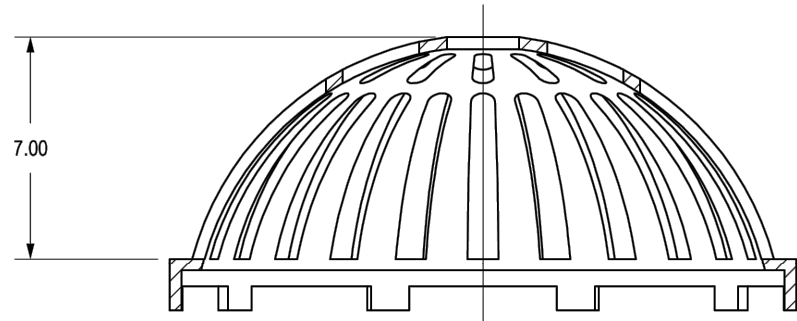
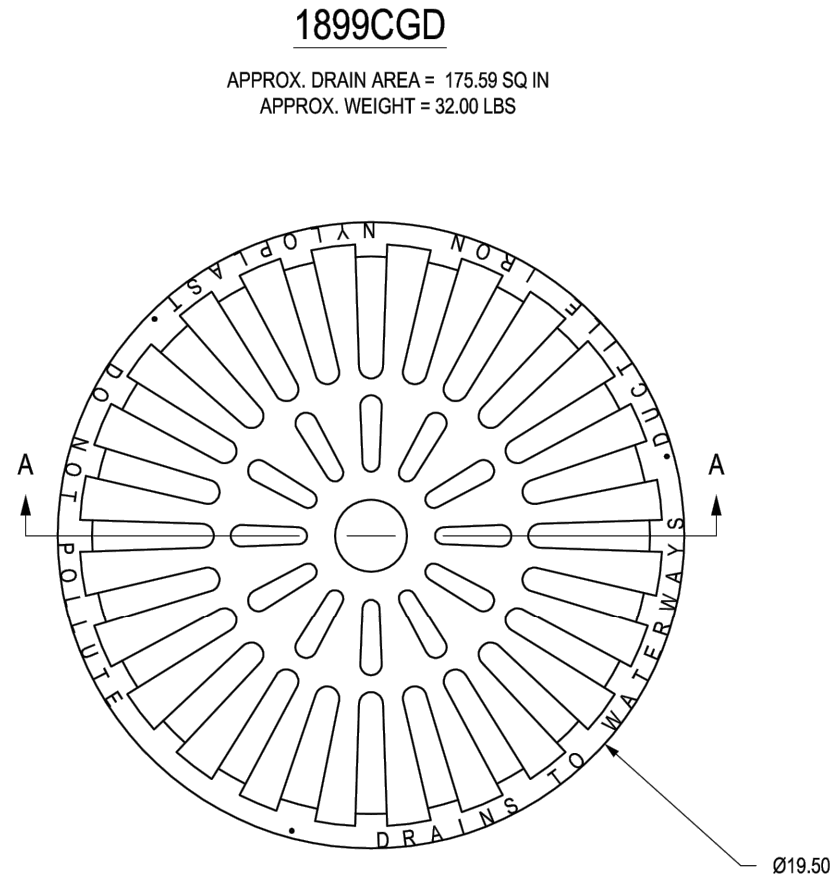
18" NYOPLAST DRAIN BASIN

NOT TO SCALE



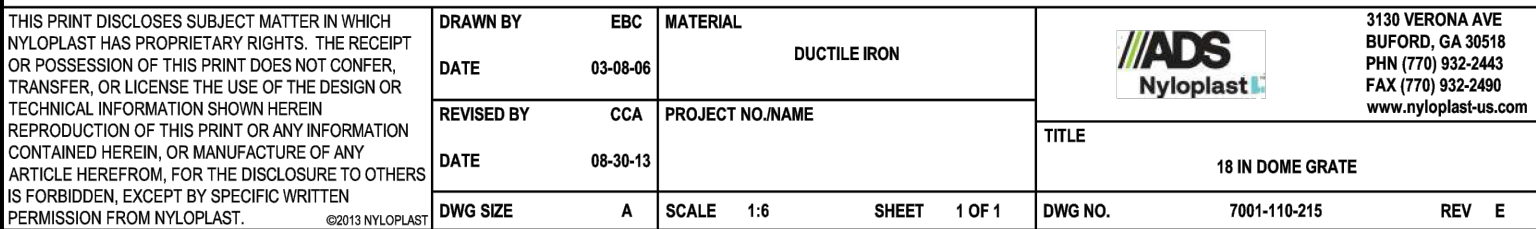
DRAIN INLET

NOT TO SCALE



SECTION A-A

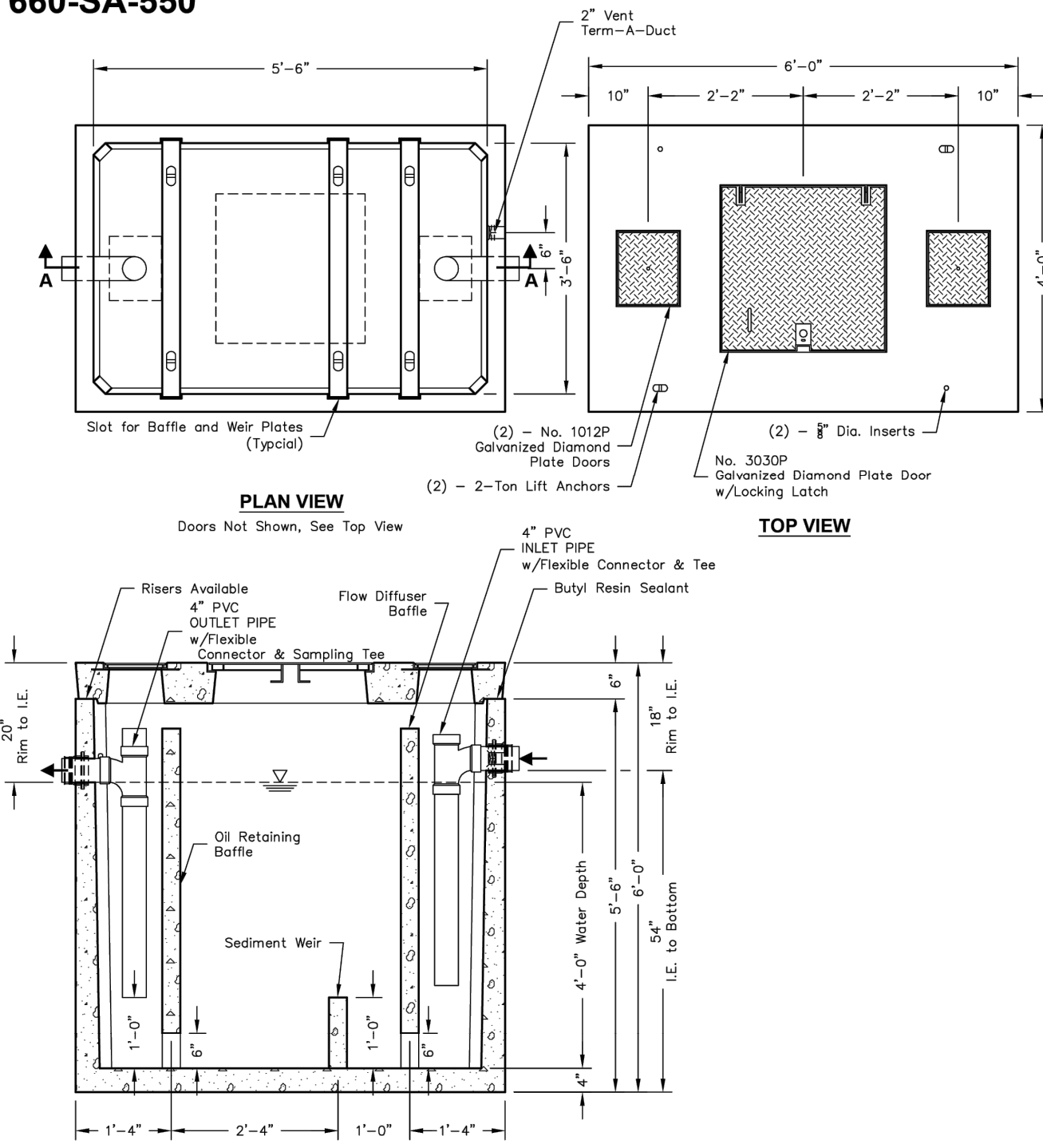
DIMENSIONS ARE FOR REFERENCE ONLY
ACTUAL DIMENSIONS MAY VARY
DIMENSIONS ARE IN INCHES
QUALITY: MATERIALS SHALL CONFORM TO ASTM A536 GRADE 70-50-05
PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT
LOCKING DEVICE AVAILABLE UPON REQUEST



BEEHIVE GRATE

NOT TO SCALE

660-SA-550



14.1

OIL AND WATER SEPARATOR

NOT TO SCALE

Revision

Appr.

Ctd.

By

Date

No.

Title:

CIVIL DETAILS
1125 SNOW VISTA BOULEVARD SW
ALBUQUERQUE, NM

For:

TAKE 5 OIL CHANGE
DURBAN DEVELOPMENT



11/3/2023

Scale:

Horizontal

N/A

Vertical

N/A

NRN

NRN

MTL

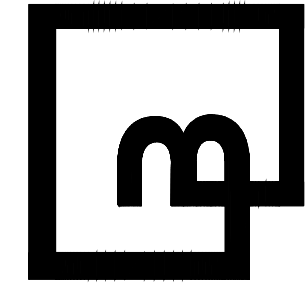
HPG

Date

11/03/23

Barghausen
Consulting Engineers, Inc.

18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com



Job Number

23007

Sheet

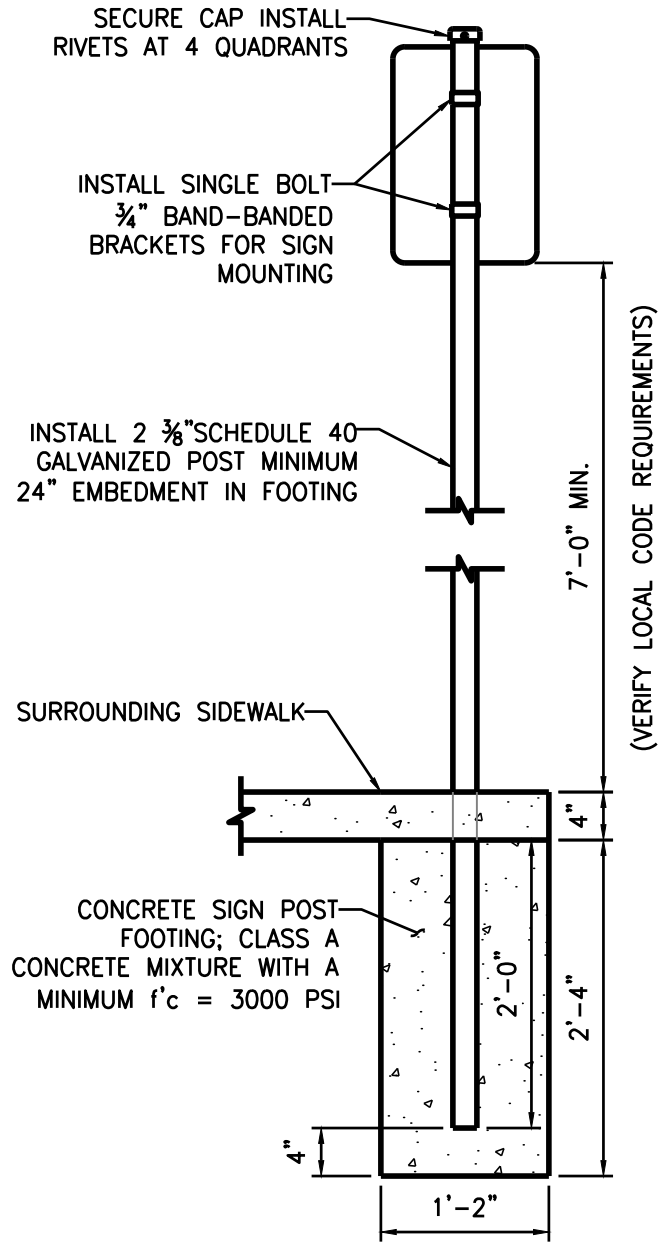
C5.1



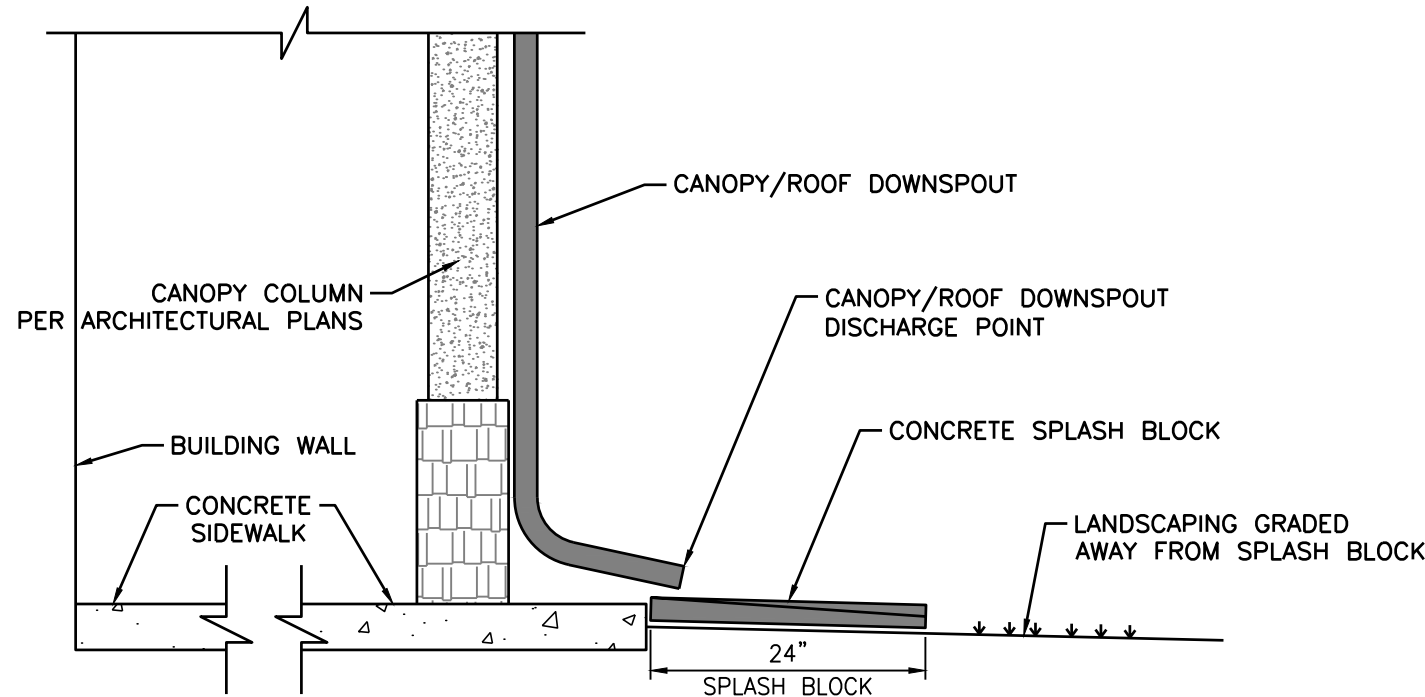
Know what's below.
Call before you dig.
Dial 811

TAKE 5 OIL CHANGE - ALBUQUERQUE, NM

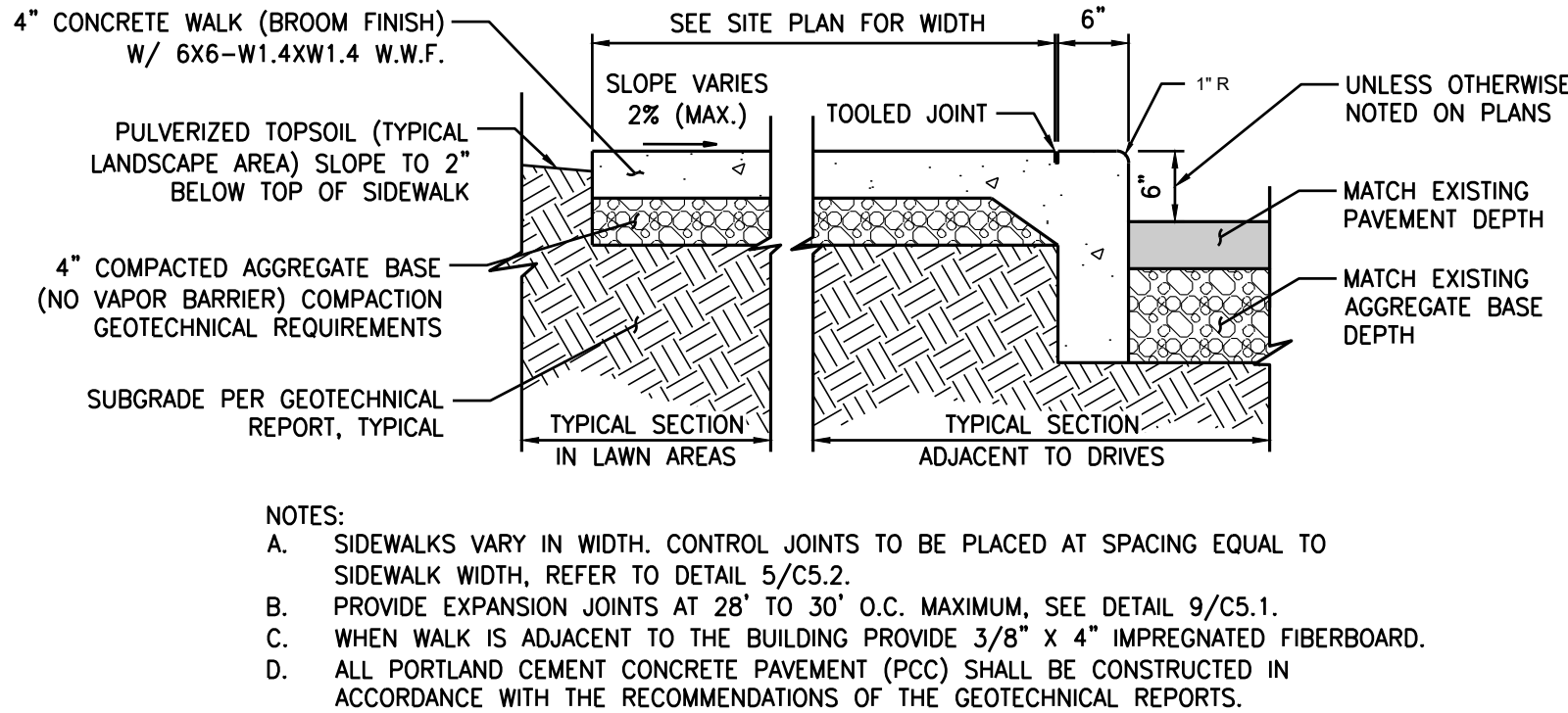
CIVIL DETAILS



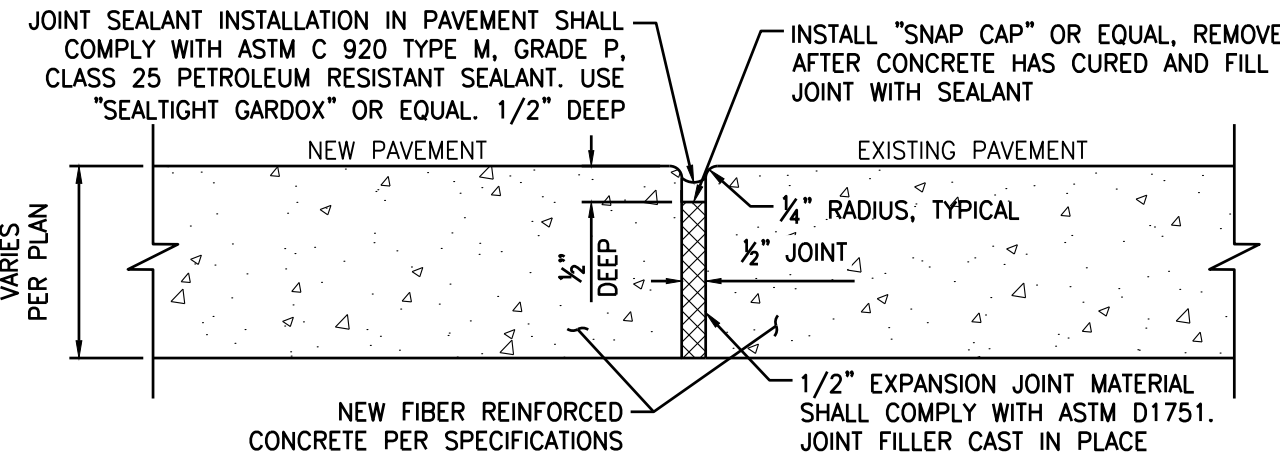
1 SIGN POST
C5.2 NOT TO SCALE



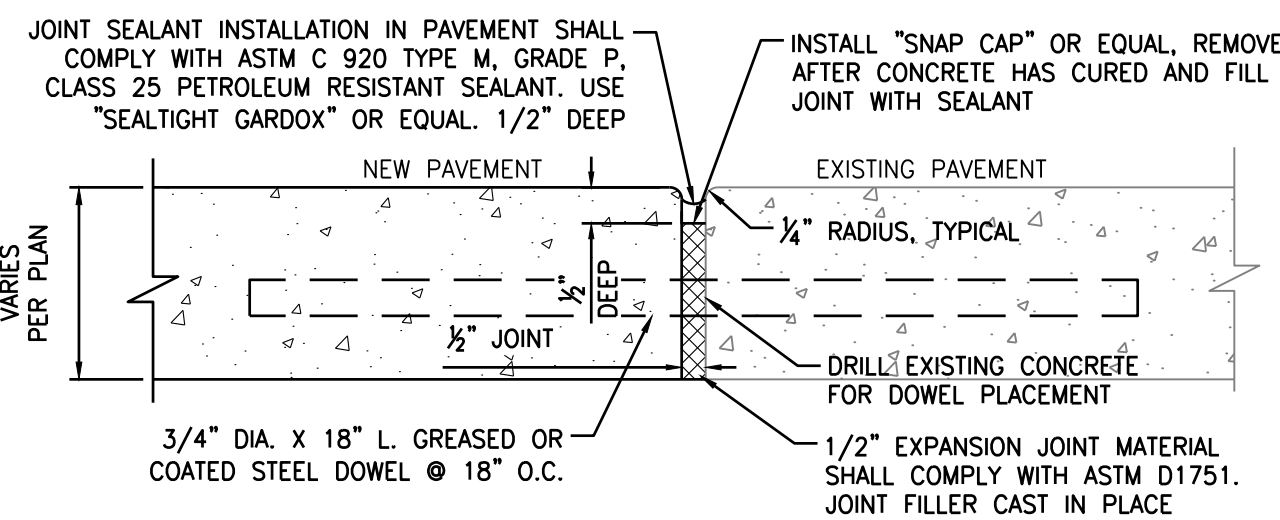
2 SPLASH BLOCK
C5.2 NOT TO SCALE



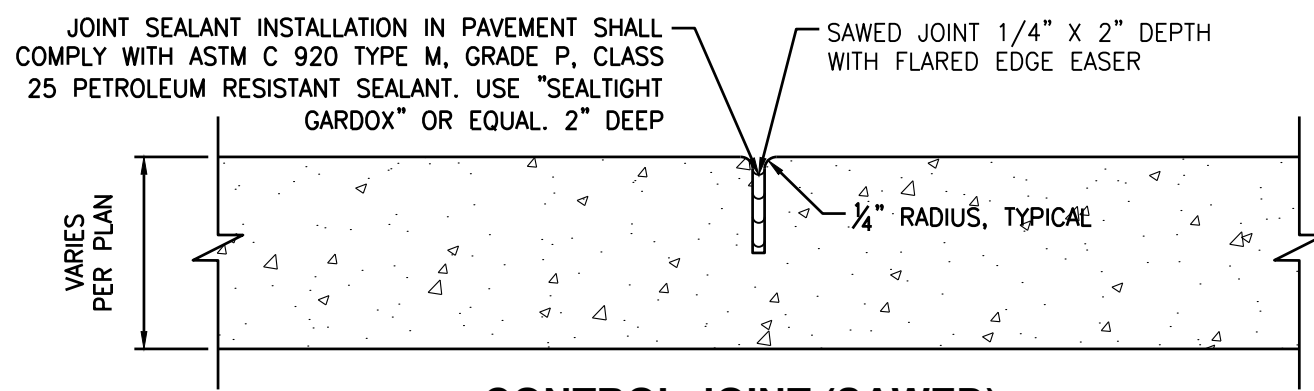
3 ON-SITE CONCRETE SIDEWALK
C5.2 NOT TO SCALE



CONSTRUCTION JOINT

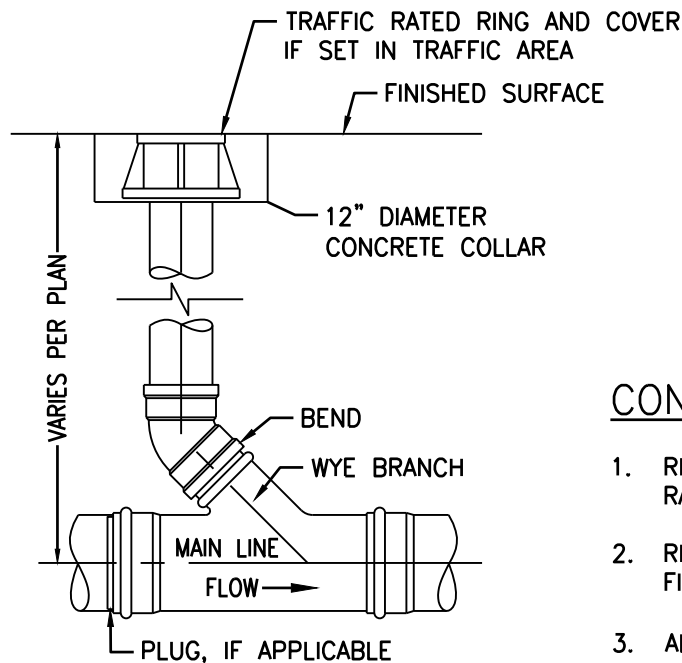


EXPANSION JOINT (TYPICAL)



CONTROL JOINT (SAWED)

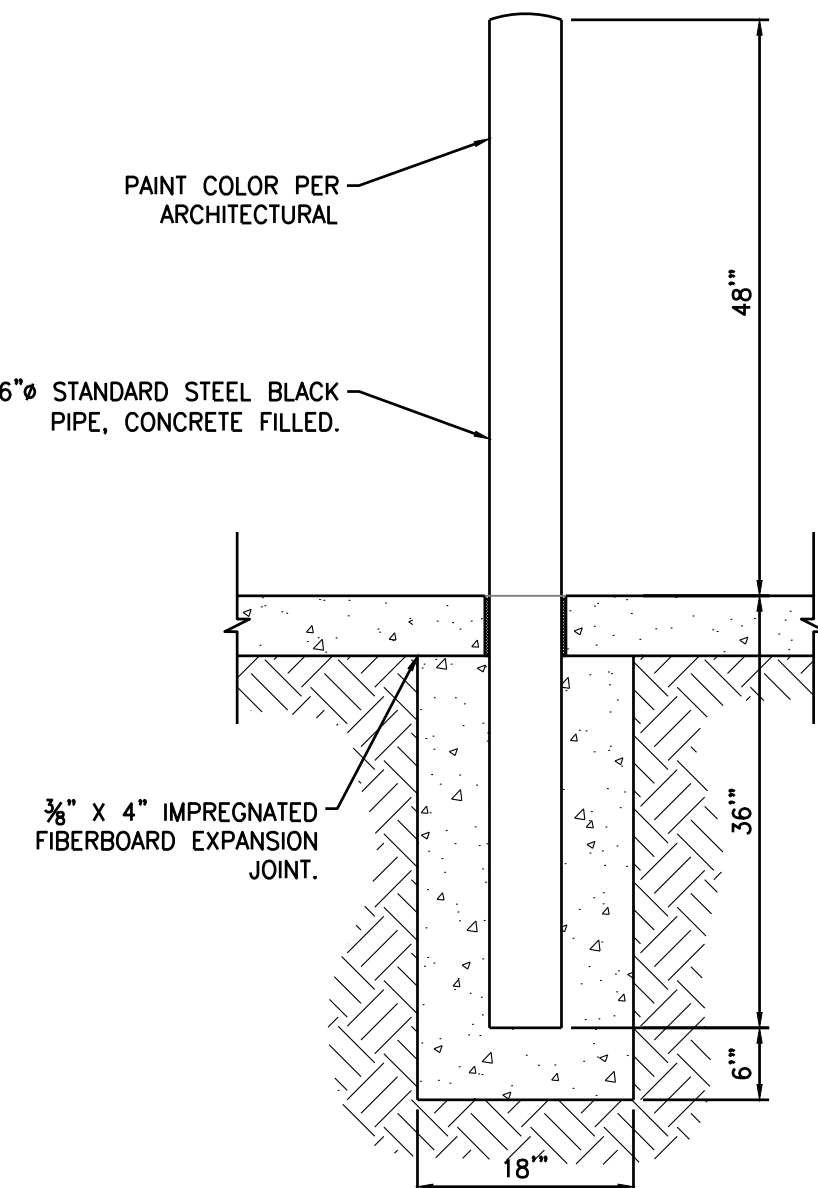
4 CONCRETE JOINTING
C5.2 NOT TO SCALE



5 CLEANOUT DETAIL
C5.2 NOT TO SCALE

CONSTRUCTION NOTES:

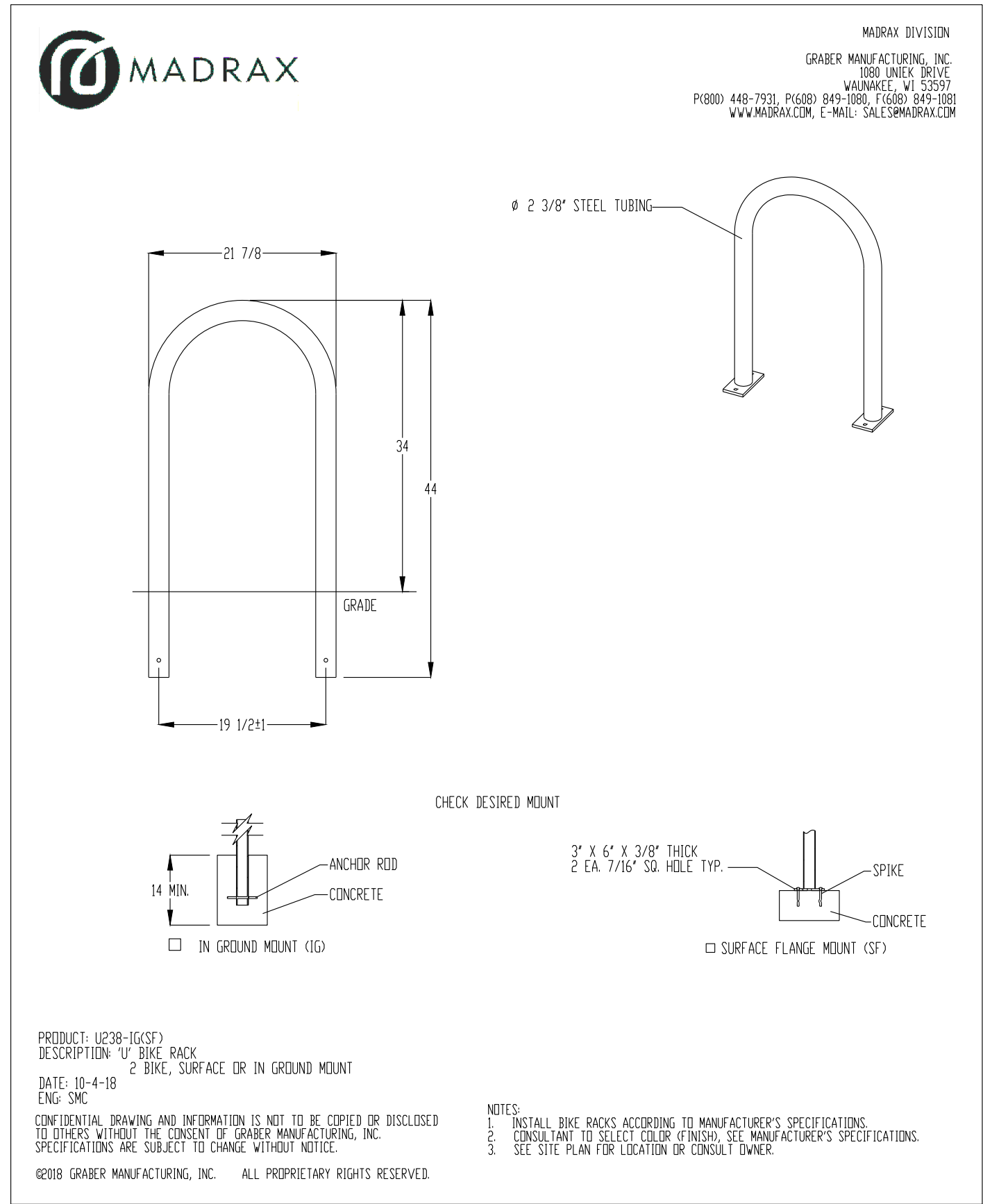
1. RING AND ACCESS COVER SHALL BE H20 TRAFFIC RATED AND DUCTILE OR CAST IRON CASTING.
2. RING AND COVER SHALL BE SET FLUSH WITH FINISHED SURFACE.
3. ALL PIPE/FITTING SHALL CONFORM TO SPECIFICATIONS ON UTILITY SHEET(S).



6 GUARD POST
C5.2 NOT TO SCALE

GUARD POST DETAILS

1. CONSTRUCTED OF STEEL NOT LESS THAN 4" INCHES IN DIAMETER AND FILLED WITH CONCRETE.
2. SPACED NOTE MORE THAN 48" INCHES ON CENTER BETWEEN POSTS.
3. SET NOT LESS THAN 36" INCHES DEEP IN A CONCRETE FOOTING NOT LESS THAN 15" INCHES IN DIAMETER.
4. SET WITH THE TOP OF THE POSTS NOT LESS THAN 36" ABOVE GROUND.
5. LOCATED NOT LESS THAN 24" FROM THE PROTECTED OBJECT.
6. PAINT PER OWNER SPECIFICATIONS



7 MADRAX BIKE RACK
C5.2 NOT TO SCALE

Job Number		Revision	
No.	Date	By	Appr.
23007		CIVIL DETAILS	
Sheet		1125 SNOW VISTA BOULEVARD SW ALBUQUERQUE, NM	
C5.2		TAKE 5 OIL CHANGE DURBAN DEVELOPMENT	
Barghausen Consulting Engineers, Inc. 18215 72nd Avenue South Kent, WA 98032 425.251.6222 barghausen.com		For: 11/3/2023	
[Logo]		Scale: Horizontal N/A Vertical N/A	
Designed NRN Drawn NRN Checked WTL Approved HPG Date 11/03/23		Professional Engineer 11/3/2023	