

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

November 17, 2023

Hal P. Grubb, P.E.  
Barghausen  
18215 72<sup>nd</sup> Ave. South  
Kent, WA 98032

**RE: Take 5 Oil – Snow Vista  
Grading Plan and Drainage Report  
Engineer’s Stamp Date: 11/03/23  
Hydrology File: M09D012C**

Dear Mr. Grubb:

Based upon the information provided in your submittal received 11/06/2023, the Grading Plan and Drainage Report are approved for Building Permit, Grading Permit, and action by the Development Facilitation Team (DFT) on Site Plan for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

1. Engineer’s Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to “**Bernalillo County**” for the stormwater quality pond per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner’s certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Project Contact:** Brianna Uy, Barghausen Consulting Engineers, Inc. buy@barghausen.com 425-251-6222

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_# OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

**IS THIS A RESUBMITTAL?:** \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/ DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



November 03, 2023

Planning Department  
City of Albuquerque  
600 2nd St N.W. Suite 300,  
Albuquerque, NM 87103

RE: Responses to Comments  
Dutch Bros Coffee  
1125 Snow Vista Boulevard S.W., Albuquerque, New Mexico 87121  
Our Job No. 23007

We have revised the plans and technical documents for the above-referenced project in accordance with your comment letter dated September 29, 2023. Enclosed are the following documents for your review and approval:

1. One (1) set of the Grading Plans
2. One (1) copy of the Storm Report

The following outline provides each of your comments in italics exactly as written, along with a narrative response describing how each comment was addressed:

1. *The only drawing that needs to be submitted to Hydrology is C3.0. Please remove all other drawings in the next submittal.*

**Response:** Per a conversation with the reviewer, we will submit a full Grading Plan which includes Sheets C3.0, C3.1, and C3.2.

2. *Per the DPM, the following must be on the Grading Plan. Please note the Grading Plan must be a stand-alone construction document.*
  - a. *Please provide a Vicinity Map. Typically, this is the Zone Atlas. This can be downloaded in pdf format from the City of Albuquerque's website.*

**Response:** The Vicinity Map has been added on Sheet C3.0.

- b. *Please provide the full FIRM Map and flood plain note with effective date.*

**Response:** The full FIRM Map has been added with the effective date on Sheet C3.2.

3. *Please show the storm pipe that was approved for the overall development on July 20, 2023. Please label as "Overall Developer to construct prior to any further Building Permit approvals for the lots within the development." I have attached a pdf of the drawings for your use.*

**Response:** The storm pipe that was approved for overall development is shown.

4. *Please change the Title of the sheet to "Conceptual Grading Plan" and change the Drainage Report to "Conceptual Drainage Report".*

**Response:** Per a conversation with the reviewer, we will be submitting the Grading Plan as a full Grading Plan.

5. *Please add the note, "Not for Construction".*

**Response:** This note is not needed because the Grading Plan will be submitted as a full Grading Plan.

6. *Please show the stub out that the overall developer is installing for this site based on the Master Drainage Plan. This stub out is for the outfall for this site. I have attached the Master Drainage Plan for your use.*

**Response:** The stub-out is shown on the southwest corner of the site.

7. *In the Drainage Report, please make reference to the Master Drainage Plan by Tierra West dated 07/07/2023.*

**Response:** The Master Drainage Plan is referenced in the Drainage Report.

We believe that the above responses, together with the enclosed revised plans and technical documents, address all of the comments in your letter dated September 29, 2023. Please review and approve the enclosed at your earliest convenience. If you have questions or need additional information, please do not hesitate to contact me at this office. Thank you.

Sincerely,



Brianna Uy  
Project Planner

BU/sr  
23007c.001  
enc: As Noted  
cc:



# STORMWATER CONTROL PLAN

City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**

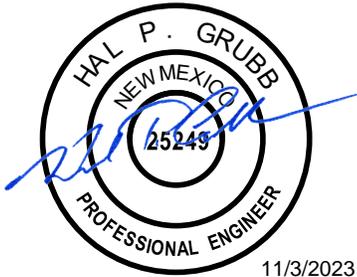
DATE: 11/17/23  
 BY: Renee C. Brisette  
 HydroTrans # M09D012C

THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE  
 CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY  
 ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT  
 THE CITY OF ALBUQUERQUE FROM REQUIRING  
 CORRECTION, OR ERROR OR DIMENSIONS IN PLANS,  
 SPECIFICATIONS, OR CONSTRUCTIONS. SUCH APPROVED PLANS  
 SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT  
 AUTHORIZATION.

**Take 5 Oil Change**  
 1125 Snow Vista Boulevard SW  
 Albuquerque, NM 87121

Prepared for:  
 Durban Development  
 C/O Phillip Spence  
 106 Foster Avenue  
 Charlotte, NC 28203  
 (704) 319-8330

APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE  
 TWO (2) YEARS AFTER THE APPROAL DATE BY THE CITY IF NO  
 BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.



November 2023  
 BCE Job No. 23007

**Sheet Index:**

1. Introduction and Background.....Page 3

2. Existing Conditions.....Page 3

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**Appendices**

- A. ALTA Survey
- B. Exhibits
  - Pre-developed Drainage Exhibit
  - Post-Condition Drainage Management Area Exhibit

## 1. Introduction and Background:

The following stormwater control plan has been prepared for the proposed commercial development project located on Lot 1C of the overall development at 1125 Snow Vista Boulevard in the City of Albuquerque, New Mexico. The proposed design has been developed in conformance with the City of Albuquerque and Bernalillo County Standards. The proposed development will consist of a 1,672 square foot Take 5 Oil Change facility building, along with vehicular parking and maneuvering areas, amenities for pedestrians and landscaped areas.

## 2. Existing Conditions:

The project site is located within a 1.26-acre parcel that is bounded to the North, South, and West by future developments, and to the east by Snow Vista Boulevard. The site is zoned for MX-L – Mixed-Use. The existing site is currently undeveloped and consists of shrubs and off-road vehicle trails.

The proposed uses are approved within the development per the City of Albuquerque. Existing topographic features and current land use including all existing utilities, roads, and easements are depicted on the ALTA Survey – Appendix A.

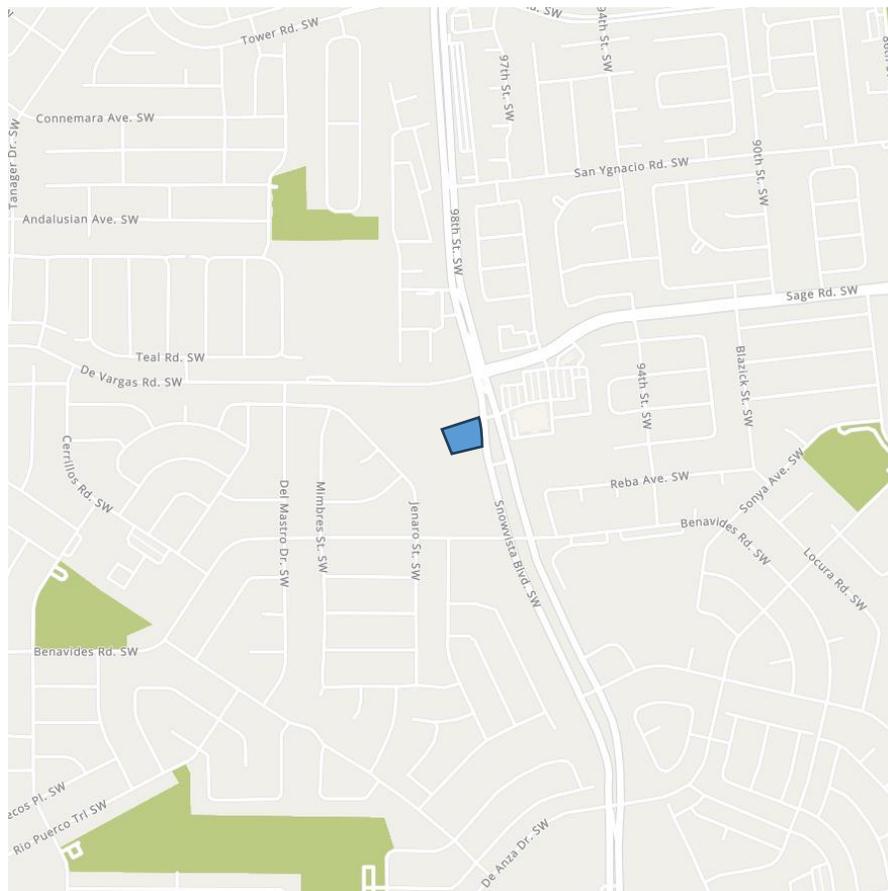


Figure 1: Site Location Map

### **3. Proposed Conditions:**

The project proposes an approximately 0.98-acre development consisting of a Take 5 Oil Change commercial building with a 1,672 square-foot footprint. The project proposes to utilize a shared driveway onto Snow Vista Boulevard that provides direct access to Lot 1C. The project proposes to construct an access roadway for access to future development to the south of the project. The continuation of the shared roadway beyond the property line will be completed by others. Site improvements will include vehicular parking and drive areas with interior and exterior landscaping. The proposed conditions focus on minimizing impervious areas to the maximum extent feasible, while proposing pervious areas to reduce generated stormwater runoff. The proposed development contains one drainage area.

The building roof is designed to drain to downspouts, then to splash blocks, which dissipate the flow, which then sheet flows into the nearest catch basin. Runoff from the DMA will be conveyed to an onsite detention pond. Stormwater volumes in excess of the SWQV will pass through the BMP and bypass into a stormwater pipe as designed in the overall development.

### **4. Design Assumptions:**

The following assumptions were utilized as part of the hydraulic analysis for the project:

- Hydromodification requirements do not apply to the developed site.
- Low Impact Development (LID) requirements do apply to the developed site. The development will implement the following BMP measures: Detention Pond

### **5. Hydrologic and Hydraulic Methods:**

The hydrologic and hydraulic methods utilized for this analysis include:

- The Weighted E method was used to determine the peak flow rate for 100-year storm per section 6.2 of the Development Process Manual for City of Albuquerque.
- A design storm depth of 0.42 inches for new development was used to determine minimum storage capacity for the above ground detention system.
- The pond, outfall, and other drainage elements were designed according to the approved Master Drainage Plan by Tierra West dated 7/7/23.

## **5.1. Proposed Peak Flow and Volume Calculations (Weighted E Method)**

**DMA#1**

Weighted E Method (PROPOSED)																
DMA	Area (sf)	Area (ac)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year			10-Year		
			%	acreas	%	acreas	%	acreas	%	acreas	Weighted E	Volume	Flow	Weighted E	Volume	Flow
			(in)	(ac-ft)	(cfs)	(in)	(ac-ft)	(cfs)								
1	55,016	1.26	0	0	0	0	61.0%	0.77	38.8%	0.49	1.45	1.83	4.23	0.82	1.03	2.38

Weighted E =  $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$  / Total Area

Volume = Weighted E \* Total Area

Flow =  $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Excess Precipitation, E (in)		
Zone 1	100-Year	10-Year
Ea	0.55	0.11
Eb	0.73	0.26
Ec	0.95	0.43
Ed	2.24	1.43

Peak Discharge (cfs/acre)		
Zone 1	100-Year	10-Year
Qa	1.54	0.3
Qb	2.16	0.81
Qc	2.87	1.46
Qd	4.12	2.57

**Water Quality Calculations**

*Note: For new development site, SWQV = 0.42 in*

DMA	Impervious Area (sf)	SWQV (in)	Storm Water Quality Vol (cf)	Storm Water Quality Vol (ac-ft)
1	21,344	0.42	747	0.017

# **Appendix A**

## **Alta Survey**



VICINITY MAP  
NOT TO SCALE

**GENERAL NOTES**

- Bearings are grid based on New Mexico State Plane Coordinate System, Central Zone (NAD 83).
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parentheses ( ).
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Field surveys were performed during the month of June, 2023.
- Vertical Datum is based upon Albuquerque Control Survey Monument "ACS BM 7-M9", Elevation = 5146.25 feet (NAVD 88).
- Contour interval is one foot.
- This property is subject to all exceptions pertaining to this property as listed in the Title Commitment prepared for this property by Old Republic National Title Insurance Company Commitment Number 2300816, Effective Date: February 23, 2023.
- The above described Title Commitment was used in defining easements as shown hereon. Numbers in circles by the easements description correspond to the Title Commitments SCHEDULE B, SECTION II item number. Where possible, said easements have been plotted.
- Subject property is currently Vacant Land and contains no existing painted parking spaces.
- The word Certify or Certification as used herein is understood to be an expression of professional opinion by the surveyor, based upon his best knowledge, information and belief, as such, and does not constitute a guarantee, nor a warranty, expressed or implied.
- There is observed current earth moving work, construction of underground utilities and new curb and gutter being constructed at the time of this field survey.
- Apparent changes in street line right of way is shown hereon and has been dedicated by replat filed December 14, 2022 in Book 2022C, Page 139.
- With regard to Table A, item 11, source information from Plans and markings will be combined with observed evidence of utilities to develop a view of those underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary.

NM 811 LOCATE REQUEST TICKET NUMBER 23JN070468, CREATION DATE: 6/7/2023.

- The subject properties are currently Zoned MX-L as shown and designated on the City of Albuquerque GIS Zone Atlas Page M-9, dated May 17, 2018.

**UTILITY DISCLAIMER**

SOURCE INFORMATION FROM PLANS AND MARKINGS HAVE BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY. NM 811 LOCATE REQUEST TICKET NUMBER 23JN070468, CREATION DATE: 06/7/23. THERE MAY BE PRIVATE UNDERGROUND UTILITY LINES NOT WITHIN DOCUMENTED EASEMENTS THAT WERE NOT MARKED OUT BY UTILITY LINE-SPOTTING COMPANIES NOTIFIED BY NM811 THIS PROJECT WAS CALLED IN TO NM811 AS A "DESIGN LOCATE". SOME UTILITY LINE-SPOTTING COMPANIES NOTIFIED BY NM811 CONSIDER "DESIGN LOCATE" CALLS AS LOW PRIORITY AND IN SOME CASES DELAY RESPONSE, PARTIALLY COMPLETE OR NOT RESPOND AT ALL.

THE RETAINING OF A PRIVATE UTILITY LINE-SPOTTING COMPANY MAY BE NECESSARY FOR COMPLETE UTILITY LINE-SPOTTING OF A SUBJECT PROPERTY.

PAINT MARKS AND FLAGGING SET ON THE GROUND BY UTILITY COMPANIES AND OTHERS ARE USED TO DESIGNATE UNDERGROUND UTILITIES AS SHOWN HEREON: RED FOR ELECTRIC, BLUE FOR WATER, YELLOW FOR GAS, ORANGE FOR COMMUNICATIONS, GREEN FOR SEWER.

ANY PIPE SIZES OR MATERIAL TYPES SHOWN HEREON WERE DERIVED FROM ASBUILT PLANS AS PROVIDED BY THE VARIOUS UTILITY COMPANIES. SURV-TEK, INC. MAKES NO REPRESENTATION THAT SAID INFORMATION IS CURRENT OR CORRECT.

ARCHITECT, ENGINEER, AND CONTRACTOR WILL BE RESPONSIBLE FOR VERIFICATION OF SAID INFORMATION DURING THEIR DESIGN PROCESS. QUALIFIED SUBSURFACE UTILITY ENGINEERING (SUE) SERVICES MAY BE REQUIRED. UTILITIES LABELED WITH AN ASTERISK (\*) ARE DERIVED OR TRANSCRIBED FROM PROVIDED PLANS AND MUST BE VERIFIED BY THE APPROPRIATE UTILITY. UTILITIES LABELED WITH AN POUND SIGN (#) ARE ASSUMED UTILITY LOCATIONS AND MUST BE VERIFIED BY THE APPROPRIATE UTILITY.

NOTE: NEW MEXICO GAS COMPANY AND CENTURYLINK FAILED TO RESPOND TO THE REQUEST FOR LINE SPOTTING. ALL UTILITIES SHOULD BE NOTIFIED BY NM ONE CALL FOR LINE SPOTTING AND VERIFICATION PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.

**SCHEDULE B, PART II - EXCEPTIONS**

As contained in the Title Commitment prepared for this property by Old Republic National Title Insurance Company Commitment Number 2302537, Effective Date: June 2, 2023.

- Reservations contained in the Patent from the United States of America, recorded August 21, 1905 in Book 35, Page 91, records of Bernalillo County, New Mexico. (Affects subject property— not plottable)
- Reservation of all mineral rights, including oil and gas, as contained in the Warranty Deed recorded September 28, 1959 in Book D 504, Page 417 as Document No. 37421, records of Bernalillo County, New Mexico. (Affects subject property— non survey matter, not plottable)
- Certificate recorded July 21, 1959 in Book Misc. 28, Page 273 as Document No. 26972 and Restrictive Covenants to Run With The Land recorded May 27, 1960 in Book D 544, Page 383 as Document No. 71759, records of Bernalillo County, New Mexico. NOTE: This exception omits any covenant, condition or restriction based on race, color, religion, sex, handicap, familial status or national origin as provided in 42 U.S.C. Sec. 3604, unless and only to the extent that the covenant (a) is not in violation of state or federal law, (b) is exempt under 42 U.S.C. Sec. 3607, or (c) relates to a handicap, but does not discriminate against handicapped people. (Affects subject property— not plottable)
- Easement, and rights incident thereto, in favor of Public Service Company of New Mexico and the Mountain States Telephone and Telegraph Company, recorded January 29, 1974 in Book Misc. 351, Page 72 as Document No. 91828, records of Bernalillo County, New Mexico. (Affects subject property— platted hereon)
- Easements and notes as shown, noted and provided for on the Plats recorded February 5, 1964 in Volume D3, folio 88, 89 and 90; recorded January 7, 1959 in Volume C35, folio 118; recorded August 22, 1989 in Volume C39, folio 152; recorded April 23, 1997 in Volume 97C, folio 119 and recorded August 3, 2001 in Plat Book 2001C, Page 225, records of Bernalillo County, New Mexico. (Affects subject property— easements platted hereon)
- Restrictions regarding public utility easements, as set forth on the Plat recorded August 3, 2001 in Plat Book 2001C, Page 225, records of Bernalillo County, New Mexico. (Affects subject property— easements platted hereon.)
- Easements and notes as shown, noted and provided for on the Plat recorded December 14, 2022 in Plat Book 2022C, Page 139, records of Bernalillo County, New Mexico. (Affects subject property— easements platted hereon.)
- Pro rata charges for water, sewer, and/or standby charges and any possible assessments for paving, sidewalk, sewer and water extensions which are or might be a lien by law, but have not yet been filed for record in the office of the County Clerk of Bernalillo County, New Mexico. (Affects subject property— non survey matter)

**DOCUMENTS USED IN THE PREPARATION OF THIS SURVEY:**

- Plat entitled "PLAT FOR TRACT A, SNOW VISTA INVESTORS, TOWN OF ATRISCO GRANT, PROJECTED SECTION 33, T. 10 N., R. 2 E., NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, MAY 2001", filed August 3, 2001, in Volume 2001C, Folio 225, records of Bernalillo County, New Mexico.
- Plat entitled "PLAT OF TRACT 50-A-2 & PARCEL 6-4, UNIT 5, ATRISCO VILLAGE, BEING A REPLAT OF TRACT 50-A-1, ALBUQUERQUE, NEW MEXICO, FEBRUARY, 1997", filed April 23, 1997, in Volume 97C, Folio 119, records of Bernalillo County, New Mexico.
- Plat entitled "CORRECTED REPLAT OF TRACT 50-A & 50-B, UNIT 5, ATRISCO VILLAGE, TOGETHER WITH A VACATED PORTION OF A 60' ALLEY AND DRAINAGEWAY, ALBUQUERQUE, NEW MEXICO, AUGUST, 1987", filed August 22, 1989, in Volume C39, Folio 152, records of Bernalillo County, New Mexico.
- Plat entitled "PLAT SHOWING SNOW VISTA DIVERSION CHANNEL DRAINAGE RIGHTS-OF-WAY, PROJ. SECT. 4, T.9N., R.2E., AND PROJ. SECTS 28, 29, 32 & 33, T.10N., R.2E., N.M.P.M., BERNALILLO COUNTY, NEW MEXICO, APRIL 1988", filed August 3, 1988, in Volume C37, Folio 26, records of Bernalillo County, New Mexico.
- Plat entitled "UNIT 5, ATRISCO VILLAGE, BLOCKS 50 THRU 63 OF SNOW VISTA SUBDIVISION, TOWN OF ATRISCO GRANT, ALBUQUERQUE, NEW MEXICO", filed February 5, 1964, in Volume D3, Folio 90, records of Bernalillo County, New Mexico.
- Title Report prepared for this property by Old Republic National Title Insurance Company Commitment Number 2302537, Effective Date: June 2, 2023.
- Plat of Lots 1A, 1B, 1C, 1D and 1E, SNOW VISTA INVESTORS, Town of Atrisco Grant, Projected Section 33, Township 10 North, Range 2 East, N.M.P.M., Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the Plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on December 14, 2022 in Plat Book 2022C, Page 139.

A.L.T.A. / N.S.P.S. LAND TITLE SURVEY  
**LOT 1C**  
**SNOW VISTA INVESTORS**  
 WITHIN  
 TOWN OF ATRISCO GRANT  
 PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 JULY, 2023  
 REVISED AUGUST, 2023  
**1105 SNOW VISTA BOULEVARD S.W.**

**TITLE COMMITMENT LEGAL DESCRIPTION**

As contained in the Title Commitment prepared for this property by Old Republic National Title Insurance Company Commitment Number 2302537, Effective Date: June 2, 2023.

Lot 1C of SNOW VISTA INVESTORS, Town of Atrisco Grant, Projected Section 33, Township 10 North, Range 2 East, N.M.P.M., Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the Plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on December 14, 2022 in Plat Book 2022C, Page 139.

**FLOOD ZONE DETERMINATION**

The subject property (as shown hereon) lies within Zone "X" (Area of minimal flood hazard) accordance with the National Flood Insurance Program Rate Map No. 35001C0336 H, Effective Date 08/16/2012.

**SURVEYORS CERTIFICATION**

To: Northern Partners Holdings, LLC, Lawrence Goodman Revocable Trust  
 U/A/D 12/6/77 and Old Republic National Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(b), 8, 9, 11(a)(i), 13, 16, 17, and 18 of Table A thereof. The field work was completed on July 10, 2023.

*Russ P. Hugg*  
 Russ P. Hugg  
 NMPM No. 9750  
 July 13, 2023  
 Revised August 22, 2023



ALTA. / N.S.P.S. LAND TITLE SURVEY  
**LOT 1C**  
**SNOW VISTA INVESTORS**  
 WITHIN  
 TOWN OF ATRISCO GRANT  
 PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 JULY, 2023  
 REVISED AUGUST, 2023

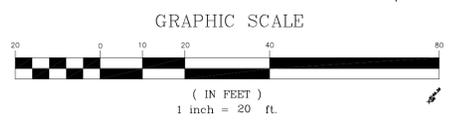


**KEYED INVERT DATA**

- |  |   |
|--|---|
| <b>A</b> Sanitary Sewer Manhole<br>Rim Elevation = 5162.95'<br>Inv Elev = 5158.51'(W)<br>Inv Elev = 5158.41'(E)  | <b>I</b> Drain Inlet<br>Top Grate Elevation = 5147.49'<br>Inv Elev = 5143.69'                                   |
| <b>B</b> Sanitary Sewer Manhole<br>Rim Elevation = 5149.45'<br>Inv Elev = 5144.79'(W)<br>Inv Elev = 5144.78'(S)  | <b>J</b> Drain Inlet<br>Top Grate Elevation = 5147.75'<br>Inv Elev = 5144.09'                                   |
| <b>C</b> Storm Sewer Manhole<br>Rim Elevation = 5142.21'<br>Inv Elev = 5142.80'(NW)<br>Inv Elev = 5142.80'(SW)<br>Inv Elev = 5142.39'(E)                           | <b>K</b> Drain Inlet<br>Top Grate Elevation = 5148.48'<br>Inv Elev = 5144.73'                                   |
| <b>D</b> Storm Sewer Manhole<br>Rim Elevation = 5146.19'<br>Inv Elev = 5141.08'(N)<br>Inv Elev = 5140.86'(S)<br>Inv Elev = Unable to Measure(W)                    | <b>L</b> Drain Inlet<br>Top Grate Elevation = 5147.05'<br>Inv Elev = 5142.65'                                   |
| <b>E</b> Storm Sewer Manhole<br>Rim Elevation = 5146.18'<br>Inv Elev = 5141.58'(N)<br>Inv Elev = 5141.48'(S)<br>Inv Elev = 5141.98'(NE)<br>Inv Elev = 5142.18'(NW) | <b>M</b> Drain Inlet<br>Top Grate Elevation = 5145.26'<br>Inv Elev = 5141.76'                                   |
| <b>F</b> Sanitary Sewer Manhole<br>Rim Elevation = 5143.34'<br>Inv Elev = 5133.19'(E)  | <b>N</b> Drain Inlet<br>Top Grate Elevation = 5146.82'<br>Inv Elev = 5142.17'                                   |
| <b>G</b> Storm Sewer Manhole<br>Rim Elevation = 5147.69'<br>Inv Elev = 5140.23'(N)<br>Inv Elev = 5140.11'(S)<br>Inv Elev = Unable to Measure(W)                    | <b>O</b> Sanitary Sewer Manhole<br>Rim Elevation = 5147.49'<br>Inv Elev = 5140.23'(N)<br>Inv Elev = 5140.13'(S) |
| <b>H</b> Storm Sewer Manhole<br>Rim Elevation = 5148.15'<br>Inv Elev = 5138.69'(N)<br>Inv Elev = 5138.59'(S)   | <b>P</b> Drain Inlet<br>Top Grate Elevation = 5148.17'<br>Inv Elev = 5144.81'                                   |

**LEGEND**

- DRAIN INLET
- ELECTRIC PEDESTAL
- ⊠ ELECTRIC TRANSFORMER
- GUY WIRE
- HIGH VOLTAGE POLE
- ⊕ HYDRANT
- ★ LIGHT POLE
- POWER POLE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊠ TELEPHONE PEDESTAL
- ⊠ TRAFFIC SIGNAL
- ⊠ TRAFFIC PULLBOX
- ⊠ TRAFFIC CONTROL BOX
- ⊙ WATER METER
- WATER VALVE
- ⊙ PRESSURE RELIEF VALVE
- ⊙ STORM SEWER MANHOLE
- POWER POLE WITH FEED
- BOLLARD
- ⊙ SIGN
- ⊙ CATV
- ⊠ ELECTRIC METER
- ⊠ POWER POLE WITH LAMP
- ⊠ POWER POLE WITH FEED & LAMP
- ⊠ PEDESTRIAN CROSSING SYMBOL



Albuquerque Control Survey Monument "TRANS"  
 New Mexico State Plane Coordinates  
 Central Zone (NAD 83)  
 N = 1,471,885,503 U.S. Survey feet  
 E = 1,495,145,466 U.S. Survey feet  
 Delta alpha = -00°16'43.33"  
 Ground to Grid Factor = 0.999683154  
 Elevation = 5121.089 feet (NAVD 88)

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C4	52.19' (52.18')	1195.40' (1205.40')	26.10' (26.17')	52.19' (52.17')	S02°43'33"E	02°30'05" (02°28'49")
C5	147.86' (147.79')	1259.75' (1259.75')	74.01' (74.79')	147.77' (147.79')	S04°50'14"E	06°43'29" (06°43'32")



# **Appendix B**

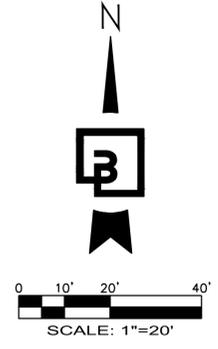
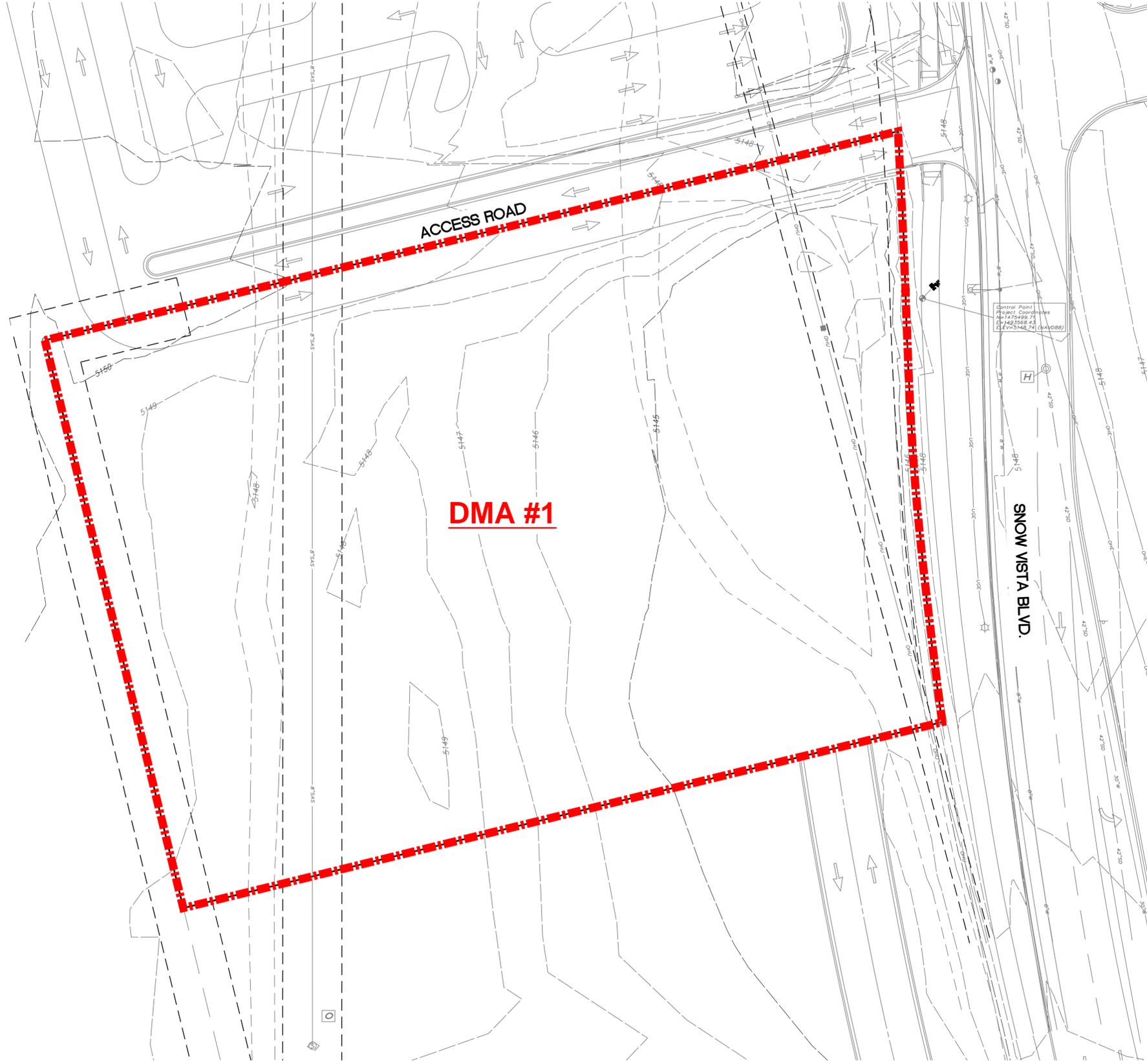
## **Pre-Developed Drainage Exhibit Proposed Drainage Management Areas Exhibit**



Know what's below.  
Call before you dig.  
Dial 811

# TAKE 5 OIL CHANGE - ALBUQUERQUE, NM

## EXISTING DRAINAGE CONDITIONS



No.	Date	By	Chd.	I. Appr.	Revision

**Title:**  
EXISTING DRAINAGE CONDITIONS  
1125 SNOW VISTA BOULEVARD SW  
ALBUQUERQUE, NM

**For:**  
TAKE 5 OIL CHANGE  
DURBAN DEVELOPMENT



Scale:	Horizontal	Vertical
1" = 20'	1" = 20'	N/A

Designed	NRN	Date	11/03/23
Drawn	NRN		
Checked	MTL		
Approved	HPG		

**Barghausen Consulting Engineers, Inc.**  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222 [barghausen.com](http://barghausen.com)

Job Number  
**23007**  
Sheet  
**1 OF 1**

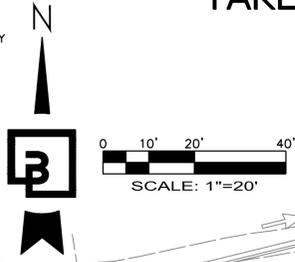


Know what's below.  
Call before you dig.  
Dial 811

**UTILITY POTHOLING NOTE:**

THE CIRCLED LOCATIONS ARE REQUIRED TO BE POTHOLED TO VERIFY VERTICAL AND HORIZONTAL LOCATION OF EXISTING UTILITY AND/OR POTENTIAL CONFLICTS WITH EXISTING UTILITIES. POTHOLING SHALL BE PERFORMED PRIOR TO INSTALLING ANY PROPOSED UTILITIES. CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. OF ANY CONFLICTS.

**TAKE 5 OIL CHANGE - ALBUQUERQUE, NM  
GRADING AND DRAINAGE PLAN**



**GEOTECHNICAL GRADING NOTES:**

THE FOLLOWING NOTES HAVE BEEN REFERENCED FROM THE GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS, INC. DATED JULY 13, 2023. REFER TO THE COMPLETE REPORT FOR ALL EARTHWORK REQUIREMENTS.

**GROUNDWATER:**

GROUNDWATER WAS NOT OBSERVED DURING OUR SUBSURFACE EXPLORATION. IT SHOULD BE NOTED THE POSSIBILITY OF GROUNDWATER LEVEL FLUCTUATIONS SHOULD BE CONSIDERED WHEN DEVELOPING THE DESIGN AND CONSTRUCTION PLANS FOR THE PROJECT.

**SITE PREPARATION:**

PRIOR TO PLACING FILL, VEGETATION, AND TOPSOIL/ROOT MATS SHOULD BE REMOVED. COMPLETE STRIPPING OF THE TOPSOIL/ROOT MATS SHOULD BE PERFORMED IN THE PROPOSED BUILDING AND PARKING/DRIVEWAY AREAS, ALTHOUGH NO EVIDENCE OF FILL OR UNDERGROUND FACILITIES (SUCH AS SEPTIC TANKS, CESSPOOLS, BASEMENTS, AND UTILITIES) WAS OBSERVED DURING THE EXPLORATION AND SITE RECONNAISSANCE, SUCH FEATURES COULD BE ENCOUNTERED DURING CONSTRUCTION. IF UNEXPECTED FILLS OR UNDERGROUND FACILITIES ARE ENCOUNTERED, SUCH FEATURES SHOULD BE REMOVED, AND THE EXCAVATION THOROUGHLY CLEANED PRIOR TO BACKFILL PLACEMENT AND/OR CONSTRUCTION.

**MATERIALS FOR FILL:**

FILL REQUIRED TO ACHIEVE DESIGN GRADE SHOULD BE CLASSIFIED AS STRUCTURAL FILL AND GENERAL FILL. STRUCTURAL FILL IS MATERIAL USED BELOW OR WITHIN 10 FEET OF THE STRUCTURE TO SUPPORT THE FLOOR SLAB, EXTERIOR FLATWORK, SIDEWALKS, PAVEMENTS, AND OTHER MOVEMENT SENSITIVE ELEMENTS OF THE PROJECT. GENERAL FILL IS MATERIAL USED TO ACHIEVE GRADE OUTSIDE OF THESE AREAS. EXCAVATED SOIL ON-SITE MAY BE SELECTIVELY REUSED AS FILL BELOW STRUCTURES, SLABS, PAVEMENT, AND LANDSCAPING AREAS. SEE THE REFERENCED GEOTECHNICAL INVESTIGATION FOR MATERIAL PROPERTY REQUIREMENTS.

**TRENCH PREPARATION AND BACKFILL:**

ANY SOFT OR UNSUITABLE MATERIALS ENCOUNTERED AT THE BOTTOM OF UTILITY TRENCH EXCAVATIONS SHOULD BE REMOVED AND REPLACED WITH STRUCTURAL FILL OR BEDDING MATERIAL IN ACCORDANCE WITH PUBLIC WORKS DEPARTMENT UTILITY TO BE SUPPORTED. THIS RECOMMENDATION IS PARTICULARLY APPLICABLE TO UTILITY WORK REQUIRING GRADE CONTROL AND/OR IN AREAS WHERE SUBSEQUENT GRADE RAISING COULD CAUSE SETTLEMENT IN THE SUBGRADE SUPPORTING THE UTILITY. TRENCH EXCAVATION SHOULD NOT BE CONDUCTED BELOW A DOWNWARD 1:1 PROJECTION FROM EXISTING FOUNDATIONS WITHOUT ENGINEERING REVIEW OF SHORING REQUIREMENTS AND GEOTECHNICAL OBSERVATION DURING CONSTRUCTION. ON-SITE MATERIALS ARE CONSIDERED SUITABLE FOR FOUNDATION, EMBEDMENT, AND BACKFILL OF UTILITY AND PIPE TRENCHES FROM 1 FOOT ABOVE THE TOP OF THE PIPE TO THE FINAL GROUND SURFACE, PROVIDED THE MATERIAL IS FREE OF ORGANIC MATTER AND DELETERIOUS SUBSTANCES. UTILITY INSTALLATION SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE LOCAL OR STATE JURISDICTION. TRENCH BACKFILL SHOULD BE MECHANICALLY COMPACTED AS DISCUSSED EARLIER IN THIS REPORT. COMPACTION OF INITIAL LIFTS SHOULD BE ACCOMPLISHED WITH HAND-OPERATED TAMPERS OR OTHER LIGHTWEIGHT COMPACTORS. WHERE TRENCHES ARE PLACED BENEATH SLABS OR FOOTINGS, THE BACKFILL SHOULD SATISFY THE GRADATION AND PLASTICITY INDEX REQUIREMENTS OF STRUCTURAL/ENGINEERED FILL DISCUSSED IN THE REPORT. FLOODING OR JETTING FOR PLACEMENT AND COMPACTION OF BACKFILL IS NOT RECOMMENDED.

Sheet List Table	
Sheet Number	Sheet Title
C3.0	GRADING AND DRAINAGE PLAN
C3.1	ADA ENLARGEMENTS
C3.2	FIRM MAP
C5.0	CIVIL DETAILS
C5.1	CIVIL DETAILS
C5.2	CIVIL DETAILS

**PROJECT DATA**

PARCEL ADDRESS: 1125 SNOW VISTA BLVD SW, ALBUQUERQUE, NM 87121  
 APN PARCEL#1: 101505550050811603  
 EXISTING ZONE: NR-C (NON-RESIDENTIAL COMMERCIAL)  
 PROPOSED USE: OIL CHANGE - DRIVE-UP  
 QUEUING: = 9  
 PARKING CALCULATIONS:  
 REQUIRED:  
 1 SPACE/1000 SF OF GFA  
 2 REGULAR PARKING SPACES  
 3 BICYCLE PARKING SPACES  
 1 MOTORCYCLE PARKING SPACE  
 PARKING SPACES PROVIDED:  
 4 REGULAR  
 1 ADA/VAN ACCESSIBLE SPACE  
 2 MOTORCYCLE SPACE  
 3 BICYCLE SPACES  
 REQUIRED SETBACKS:  
 FRONT: 25 FEET MIN  
 SIDE AND REAR: 15 FEET MIN  
 HEIGHT: 18 FEET MIN  
 PARCEL AREA: 55,016 SF (1.26 AC)  
 PROJECT AREA: 55,016 SF (1.26 AC)  
 TRASH ENCLOSURE: = 15' x 15'  
 SITE COVERAGE:  
 BUILDINGS W/ TRASH ENCLOSURE: ±1,897 SF (3.4%)  
 PARKING AND MANUEVERING: ±15,070 SF (27.4%)  
 WALKWAYS: ±1,650 SF (3.0%)  
 LANDSCAPE: ±36,399 SF (66.2%)  
 ±55,016 SF (100%)

**CONSTRUCTION NOTES:**

- FACILITATE DOWNSPOUT DRAINAGE. PROVIDE SPLASH BLOCK PER DETAIL 2/C5.2.
- ELEVATIONS BASED ON OVERALL DEVELOPMENT. ELEVATIONS ALONG PROPERTY LINES NEED TO MATCH OVERALL DEVELOPMENT WITH TRANSITIONS ON ADJACENT PROPERTIES. IT MAY BE NECESSARY TO ADJUST ELEVATIONS BASED ON EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO VERIFY TIE-IN ELEVATIONS AND REPORT FINDINGS TO ENGINEER PRIOR TO CONSTRUCTION.
- CONSTRUCT ADA IMPROVEMENTS PER CITY OF ALBUQUERQUE STANDARDS. REFER TO SHEET C3.1 FOR DETAILED GRADING INFORMATION.
- STORMWATER QUALITY POND:  
 TOP OF POND: 5147.50  
 BOTTOM OF POND: 5144.50  
 W.S. ELEV.: 5146.50  
 SWOV REQ.: 747 CF  
 SWOV PROVIDED: 1,600 CF  
 TOTAL VOL.: 3,400 CF  
 DIMENSIONS: 48'L x 36'W x 6" DEEP AVERAGE STONE: 4"
- PROVIDE ROCK SPLASH PAD.
- CONSTRUCT 24"x24" CONCRETE CATCH BASIN WITH STANDARD GRADE PER DETAIL 4/C5.1. RIM AND INVERT ELEVATIONS PER PLAN
- INSTALL 18" NYOPLAST DRAIN BASIN AS OVERFLOW STRUCTURE PER DETAIL 1/C5.1. PROVIDE BEEHIVE GRATE PER DETAIL 2/C5.1.
- CONNECT EXISTING STORM PIPE, IE=5143.65. CONTRACTOR TO VERIFY LOCATION, DEPTH, AND MATERIAL OF EXISTING PIPE CONNECTIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES.

**STORM DRAIN GENERAL NOTES:**

- ALL STRUCTURE ELEVATIONS SHOWN ARE TO CENTER OF STRUCTURE AT FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.
- ALL STORM DRAINAGE STRUCTURES EXPOSED TO TRAFFIC SHALL BE TRAFFIC RATED INCLUDING STRUCTURE, LID, GRATE, ETC.
- ALL STORM DRAIN PIPING DENOTED AS "PVC" SHALL CONFORM TO ASTM D3034, SDR 35.
- ALL STORM PIPING INSTALL WITH LESS THAN 2 FEET OF COVER SHALL BE BACKFILLED WITH A CONTROLLED DENSITY FILL (SLURRY).
- ALL STORM DRAINAGE STRUCTURES WITH LIDS EXPOSED TO PEDESTRIAN TRAFFIC SHALL BE HEEL PROOF AND SLIP RESISTANT IN ACCORDANCE WITH ACCESSIBILITY REQUIREMENTS.
- PROVIDE ALL INCIDENTAL FITTINGS, BENDS, WYES, TEES, COUPLINGS, GASKETS, ETC. REQUIRED TO CONSTRUCT THE INFRASTRUCTURE DEPICTED.
- ALL TRENCHING SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE PURVEYOR.
- PROVIDE MARKING TAPE AND LOCATE WIRE WITH ALL TRENCH INSTALLATIONS.
- CONTRACTOR TO OBTAIN ANY NECESSARY RIGHT-OF-WAY PERMITS IF REQUIRED FOR WORK SHOWN ON PLANS.
- CONTRACTOR TO RAISE AND ADJUST ALL EXISTING AND PROPOSED CATCH BASIN RIMS TO FINAL GRADE AS NECESSARY. CATCH BASINS WITHIN ADA ACCESSIBLE PATHS SHALL BE ADJUSTED TO FINAL ELEVATIONS IN COMPLIANCE WITH CURRENT ADA REQUIREMENTS.

**FLOOD ZONE:**

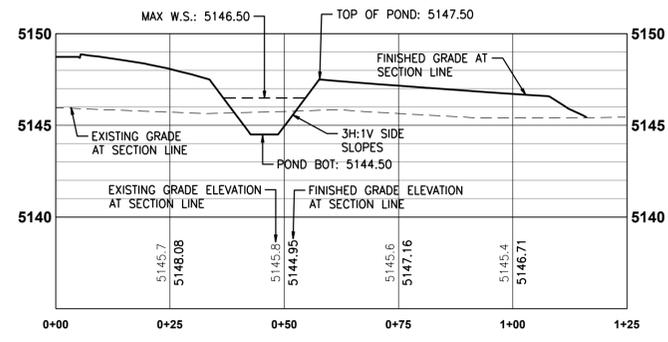
THE SUBJECT PROPERTY (AS SHOWN HEREON) LIES WITHIN ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE NO. 35001C0336 H, EFFECTIVE DATE 08/16/2012.

STORM CROSSING TABLE			
ID	STORM INVERT	SEWER CROWN*	SEPARATION
△	5143.86	5141.55	2.31'

\* CONTRACTOR TO POTHOLE ALL CROSSINGS TO CONFIRM DEPTH, SIZE, MATERIAL, AND LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF RESULTS PRIOR TO START OF CONSTRUCTION

**FLOWLINE GRADING NOTE:**

ALL PROPOSED FLOWLINE ELEVATIONS DESIGNED WITH CROSS SLOPE MATCHING EXISTING FROM SAWCUT LINE. CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION TO CONFIRM EXISTING CROSS SLOPE FROM SAWCUT IS ACHIEVED. GUTTER LIP SHALL BE SET 3/4-INCHES HIGHER THAN THE GUTTER FLOWLINE PER CITY OF ALBUQUERQUE REQUIREMENTS. CONTRACTOR TO CONFIRM POSITIVE DRAINAGE FROM WEST TO EAST TO MATCH THE EXISTING DRAINAGE PATTERN WITHIN THE ACCESS ROAD. CONTACT BARGHAUSEN CONSULTING ENGINEERS, INC. WITH ANY DISCREPANCIES.



**STORMWATER QUALITY POND**  
 SCALE: SCALE: 1"=20'H 1"=5'V

**STORM STRUCTURE TABLE**

⑥	CB #1, TYPE 1, W/STANDARD GRATE RIM=5147.86 IE=5145.28 (12" SE)
⑥	CB #2, TYPE 1, W/STANDARD GRATE RIM=5147.43 IE=5144.70 (12" NW) IE=5144.70 (8" S) IE=5144.70 (12" W)
⑥	CB #3, TYPE 1, W/STANDARD GRATE RIM=5146.39 IE=5144.89 (8" N)
⑥	CB #4, TYPE 1, W/STANDARD GRATE RIM=5148.41 IE=5145.43 (12" SE)
⑥	CB #5, TYPE 1, W/STANDARD GRATE RIM=5146.22 IE=5143.65 (12" NE) IE=5143.65 (EXISTING)
⑧	EXISTING SDMH, 48" SDMH RIM=5147.34 IE=5143.47 (EXISTING) IE=5143.57 (EXISTING)
⑦	OVERFLOW STRUCTURE, 18" NYOPLAST DRAIN RIM=5146.50 IE=5144.50 (12" SW)

Revision: \_\_\_\_\_  
 Title: **GRADING AND DRAINAGE PLAN**  
**1125 SNOW VISTA BOULEVARD SW**  
**ALBUQUERQUE, NM**  
 For: **TAKE 5 OIL CHANGE**  
**DURBAN DEVELOPMENT**  
  
 Scale: Horizontal 1" = 20', Vertical N/A  
 Designed: NRN  
 Drawn: NRN  
 Checked: MTL  
 Approved: HPG  
 Date: 11/03/23  
**Barghausen Consulting Engineers, Inc.**  
 18215 72nd Avenue South  
 Kent, WA 98032  
 425.251.6222  
 barghausen.com  
 Job Number: **23007**  
 Sheet: **C3.0**  
 P:\23000s\23007\engineering\23007-c.dwg 11/3/2023 9:13 AM NNAZARCHUK



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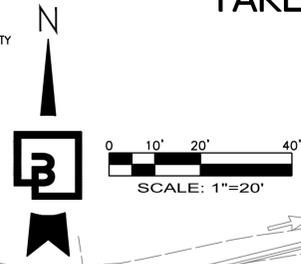
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City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
DATE: 11/17/23  
BY: *Russell Burnett*  
HydroTrans# M09D012C

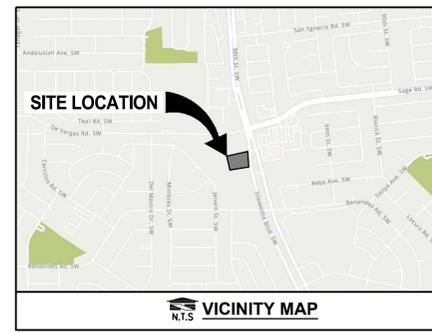
APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY ENGINEER. BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

**TAKE 5 OIL CHANGE - ALBUQUERQUE, NM  
GRADING AND DRAINAGE PLAN**



**Sheet List Table**

Sheet Number	Sheet Title
C3.0	GRADING AND DRAINAGE PLAN
C3.1	ADA ENLARGEMENTS
C3.2	FIRM MAP
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C5.2	CIVIL DETAILS



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**PROJECT DATA**

PARCEL ADDRESS:	1125 SNOW VISTA BLVD SW, ALBUQUERQUE, NM 87121
APN PARCEL#1:	101505550050811603
EXISTING ZONE:	NR-C (NON-RESIDENTIAL COMMERCIAL)
PROPOSED USE:	OIL CHANGE - DRIVE-UP
QUEUEING:	= 9
PARKING CALCULATIONS:	1 SPACE/1000 SF OF GFA
REQUIRED:	2 REGULAR PARKING SPACES 3 BICYCLE PARKING SPACES 1 MOTORCYCLE PARKING SPACE
PARKING SPACES PROVIDED:	4 REGULAR 1 ADA/VAN ACCESSIBLE SPACE 2 MOTORCYCLE SPACE 3 BICYCLE SPACES
REQUIRED SETBACKS:	FRONT: 25 FEET MIN SIDE AND REAR: 15 FEET MIN HEIGHT: 18 FEET MIN
PARCEL AREA:	55,016 SF (1.26 AC)
PROJECT AREA:	55,016 SF (1.26 AC)
TRASH ENCLOSURE:	= 15' x 15'
SITE COVERAGE:	BUILDINGS W/ TRASH ENCLOSURE: ±1,897 SF (3.4%) PARKING AND MANUEVERING: ±15,070 SF (27.4%) WALKWAYS: ±1,650 SF (3.0%) LANDSCAPE: ±36,399 SF (66.2%) TOTAL: ±55,016 SF (100%)

**CONSTRUCTION NOTES:**

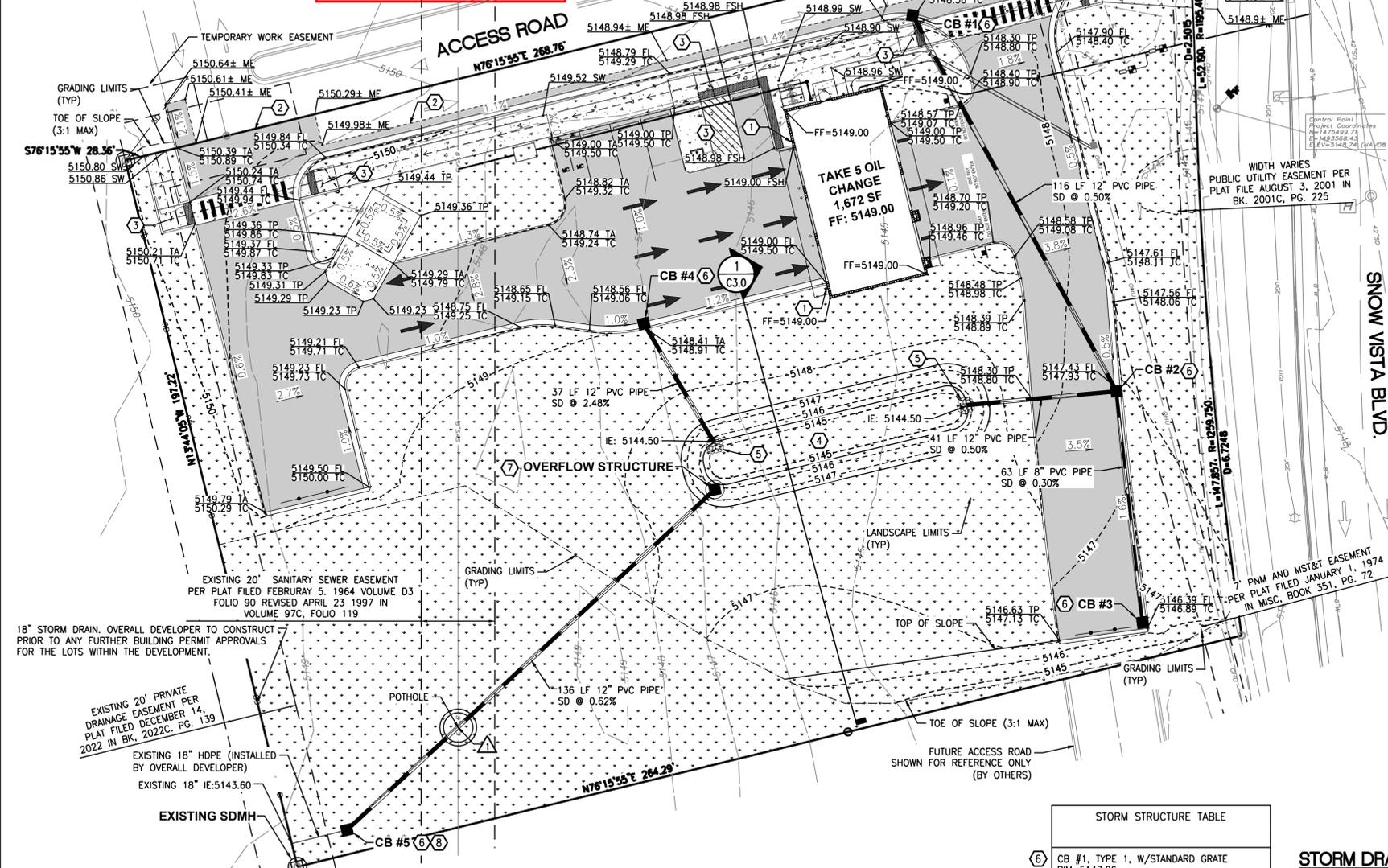
- FACILITATE DOWNSPOUT DRAINAGE. PROVIDE SPLASH BLOCK PER DETAIL 2/C5.2.
- ELEVATIONS BASED ON OVERALL DEVELOPMENT. ELEVATIONS ALONG PROPERTY LINES NEED TO MATCH OVERALL DEVELOPMENT WITH TRANSITIONS ON ADJACENT PROPERTIES. IT MAY BE NECESSARY TO ADJUST ELEVATIONS BASED ON EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO VERIFY TIE-IN ELEVATIONS AND REPORT FINDINGS TO ENGINEER PRIOR TO CONSTRUCTION.
- CONSTRUCT ADA IMPROVEMENTS PER CITY OF ALBUQUERQUE STANDARDS. REFER TO SHEET C3.1 FOR DETAILED GRADING INFORMATION.
- STORMWATER QUALITY POND:  
TOP OF POND: 5147.50  
BOTTOM OF POND: 5144.50  
W.S. ELEV.: 5146.50  
SWOV REQ.: 747 CF  
SWOV PROVIDED: 1,600 CF  
TOTAL VOL.: 3,400 CF
- PROVIDE ROCK SPLASH PAD.  
DIMENSIONS: 48" L x 36" W x 6" DEEP AVERAGE STONE: 4"
- CONSTRUCT 24"x24" CONCRETE CATCH BASIN WITH STANDARD GRADE PER DETAIL 4/C5.1. RIM AND INVERT ELEVATIONS PER PLAN
- INSTALL 18" NYOPLAST DRAIN BASIN AS OVERFLOW STRUCTURE PER DETAIL 1/C5.1. PROVIDE BEEHIVE GRATE PER DETAIL 2/C5.1.
- CONNECT EXISTING STORM PIPE, IE=5143.65. CONTRACTOR TO VERIFY LOCATION, DEPTH, AND MATERIAL OF EXISTING PIPE CONNECTIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES.

**STORM DRAIN GENERAL NOTES:**

- ALL STRUCTURE ELEVATIONS SHOWN ARE TO CENTER OF STRUCTURE AT FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.
- ALL STORM DRAINAGE STRUCTURES EXPOSED TO TRAFFIC SHALL BE TRAFFIC RATED INCLUDING STRUCTURE, LID, GRATE, ETC.
- ALL STORM DRAIN PIPING DENOTED AS "PVC" SHALL CONFORM TO ASTM D3034, SDR 35.
- ALL STORM PIPING INSTALL WITH LESS THAN 2 FEET OF COVER SHALL BE BACKFILLED WITH A CONTROLLED DENSITY FILL (SLURRY).
- ALL STORM DRAINAGE STRUCTURES WITH LIDS EXPOSED TO PEDESTRIAN TRAFFIC SHALL BE HEEL PROOF AND SLIP RESISTANT IN ACCORDANCE WITH ACCESSIBILITY REQUIREMENTS.
- PROVIDE ALL INCIDENTAL FITTINGS, BENDS, WYES, TEES, COUPLINGS, GASKETS, ETC. REQUIRED TO CONSTRUCT THE INFRASTRUCTURE DEPICTED.
- ALL TRENCHING SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE SURVEYOR.
- PROVIDE MARKING TAPE AND LOCATE WIRE WITH ALL TRENCH INSTALLATIONS.
- CONTRACTOR TO OBTAIN ANY NECESSARY RIGHT-OF-WAY PERMITS IF REQUIRED FOR WORK SHOWN ON PLANS.
- CONTRACTOR TO RAISE AND ADJUST ALL EXISTING AND PROPOSED CATCH BASIN RIMS TO FINAL GRADE AS NECESSARY. CATCH BASINS WITHIN ADA ACCESSIBLE PATHS SHALL BE ADJUSTED TO FINAL ELEVATIONS IN COMPLIANCE WITH CURRENT ADA REQUIREMENTS.

**FLOOD ZONE:**

THE SUBJECT PROPERTY (AS SHOWN HEREON) LIES WITHIN ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE NO. 35001C0336 H, EFFECTIVE DATE 08/16/2012.

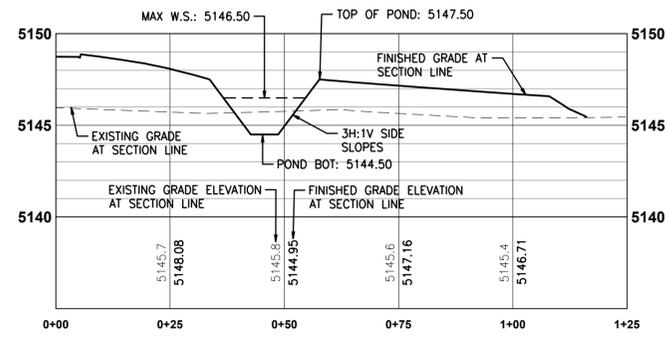


**STORM CROSSING TABLE**

ID	STORM INVERT	SEWER CROWN*	SEPARATION
1	5143.86	5141.55	2.31'

**STORM STRUCTURE TABLE**

ID	TYPE	RIM	IE
1	CB #1, TYPE 1, W/STANDARD GRATE	RIM=5147.86	IE=5145.28 (12" SE)
2	CB #2, TYPE 1, W/STANDARD GRATE	RIM=5147.43	IE=5144.70 (12" NW) IE=5144.70 (8" S) IE=5144.70 (12" W)
3	CB #3, TYPE 1, W/STANDARD GRATE	RIM=5146.39	IE=5144.89 (8" N)
4	CB #4, TYPE 1, W/STANDARD GRATE	RIM=5148.41	IE=5145.43 (12" SE)
5	CB #5, TYPE 1, W/STANDARD GRATE	RIM=5146.22	IE=5143.65 (12" NE) IE=5143.65 (EXISTING)
6	EXISTING SDMH, 48" SDMH	RIM=5147.34	IE=5143.47 (EXISTING) IE=5143.57 (EXISTING)
7	OVERFLOW STRUCTURE, 18" NYOPLAST DRAIN	RIM=5146.50	IE=5144.50 (12" SW)



**FLOWLINE GRADING NOTE:**

ALL PROPOSED FLOWLINE ELEVATIONS DESIGNED WITH CROSS SLOPE MATCHING EXISTING FROM SAWCUT LINE. CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION TO CONFIRM EXISTING CROSS SLOPE FROM SAWCUT IS ACHIEVED. GUTTER LIP SHALL BE SET 3/4-INCHES HIGHER THAN THE GUTTER FLOWLINE PER CITY OF ALBUQUERQUE REQUIREMENTS. CONTRACTOR TO CONFIRM POSITIVE DRAINAGE FROM WEST TO EAST TO MATCH THE EXISTING DRAINAGE PATTERN WITHIN THE ACCESS ROAD. CONTACT BARGHAUSEN CONSULTING ENGINEERS, INC. WITH ANY DISCREPANCIES.

**STORMWATER QUALITY POND**

SCALE: SCALE: 1"=20' H 1"=5' V

Revision: \_\_\_\_\_  
Title: **GRADING AND DRAINAGE PLAN**  
**1125 SNOW VISTA BOULEVARD SW**  
**ALBUQUERQUE, NM**

For: **TAKE 5 OIL CHANGE**  
**DURBAN DEVELOPMENT**

Scale: Horizontal 1" = 20'  
Vertical N/A

Designed: NRN  
Drawn: NRN  
Checked: MTL  
Approved: HPG  
Date: 11/03/23

**Barghausen Consulting Engineers, Inc.**  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222  
barghausen.com

Job Number: **23007**  
Sheet: **C3.0**

11/3/2023  
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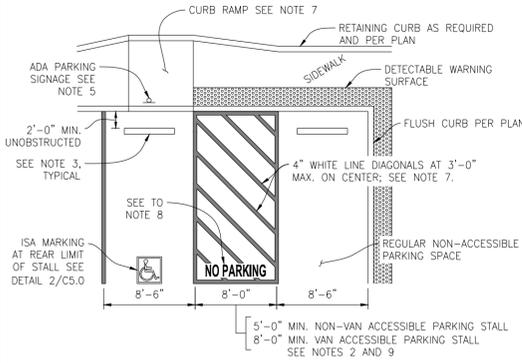






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# TAKE 5 OIL CHANGE - ALBUQUERQUE, NM CIVIL DETAILS



**SINGLE ACCESSIBLE PARKING STALL**

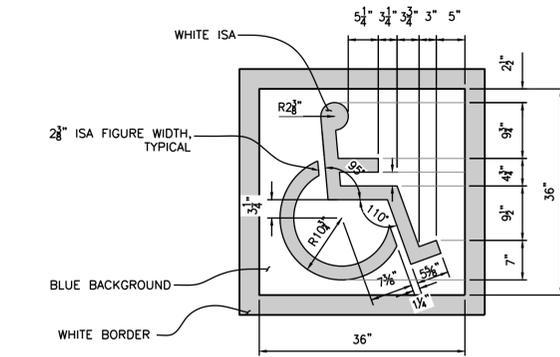


OFF-STREET PARKING SIGNS

**NOTES:**

- ACCESSIBLE PARKING SPACES SERVING A PARTICULAR BUILDING SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE ENTRANCE.
- THE FIRST ONE OUT OF EVERY SIX ACCESSIBLE OFF-STREET ACCESSIBLE PARKING STALLS, SHALL BE SERVED BY AN ACCESSIBLE AISLE OF 8'-0" MINIMUM WIDTH AND SHALL BE SIGNED VAN ACCESSIBLE. THE R7-8B SIGN SHALL BE MOUNTED BELOW THE R7-8 PLAQUE.
- IN EACH PARKING STALL, A CURB OR PARKING BUMPER SHALL BE PROVIDED IF REQUIRED TO PREVENT ENCROACHMENT OF VEHICLES OVER THE REQUIRED WIDTH OF WALKWAYS. PARKING STALLS SHALL BE SO LOCATED THAT PERSONS WITH DISABILITIES ARE NOT COMPELLED TO WHEEL OR WALK BEHIND PARKED VEHICLES OTHER THAN THEIR OWN.
- PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES DESIGNED TO NOT EXCEED 1.5% IN ANY DIRECTION (CONSTRUCTED SURFACES SLOPES SHALL NOT EXCEED 2.0% IN ANY DIRECTION).
- WHERE PLAQUE R7-8, OR SIGN R7-8B ARE INSTALLED, THE BOTTOM OF THE SIGN OF PLAQUE SHALL BE A MINIMUM OF 7'-0" ABOVE THE SURROUNDING SURFACE. INSTALL IN CONFORMANCE WITH CITY STANDARD DRAWING 2600-702 AND 2600-703 ON SHEET C6.2.
- CURB RAMP SHALL BE AS REFERENCED PER PLAN AND SHALL BE CONSTRUCTED COMPLYING WITH DETAIL 2 OF C5.0.
- BLUE PAINT, INSTEAD OF WHITE MAY BE USED FOR MARKING ACCESSIBILITY AISLES IN AREAS WHERE SNOW MAY CAUSE VISIBILITY ISSUES WITH WHITE MARKINGS.
- THE WORDS "NO PARKING", SHALL BE PAINTED IN WHITE LETTERS NO LESS THAN 1'-0" TALL AND LOCATED SO THAT IT IS VISIBLE TO TRAFFIC ENFORCEMENT OFFICIALS.
- ALL SINGLE SPACE ACCESSIBLE PARKING SPACES SHALL PROVIDE, THE LOADING AND UNLOADING ACCESS AISLE ON THE PASSENGER SIDE OF THE VEHICLE.
- ACCESSIBLE PARKING ONLY SIGN SHALL BE SIGN R7-8 WITH REQUIRED LANGUAGE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" PER 66-7-352.4C NMSA 1978. VAN ACCESSIBLE PLAQUE SHALL BE R7-8A OF THE M.U.T.C.D. AND INSTALL IN CONFORMANCE WITH CITY STANDARD DRAWING 2600-702 AND 2600-703 ON SHEET C6.2.

NOTE: ISA = INTERNATIONAL SYMBOL OF ACCESSIBILITY

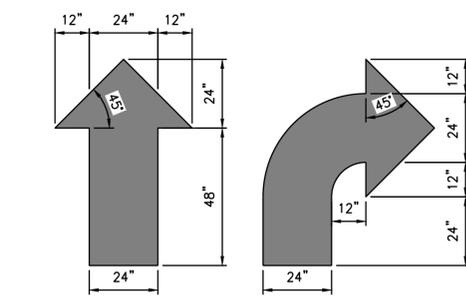


**PAVEMENT INTERNATIONAL SYMBOL OF ACCESSIBILITY NOTES:**

- SYMBOL TO BE CENTERED ON WIDTH OF PARKING STALL.
- BOTTOM OF SYMBOL TO BE LOCATED FLUSH WITH ACCESS DRIVE, CENTERED ON PARKING SPACE.
- SYMBOL IS REQUIRED TO CONTRAST WITH BACKGROUND.

**INTERNATIONAL SYMBOL OF ACCESSIBILITY**

2 C5.0 NOT TO SCALE

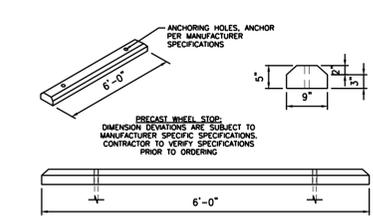


**DETAIL NOTES:**

APPLY 2 COATS OF CHLORINATED RUBBER-TYPE TRAFFIC-LANE MARKING PAINT OVER CLEANED PAVING SURFACE ACCORDING TO LAYOUT SHOWN ON THE SITE PLAN. PAINT AS REQUIRED BY CITY CODE.

**TRAFFIC MARKINGS**

3 C5.0 NOT TO SCALE

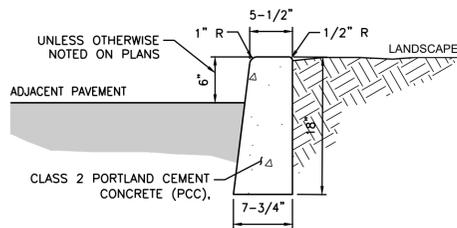


**CONCRETE WHEEL STOP**

4 C5.0 NOT TO SCALE

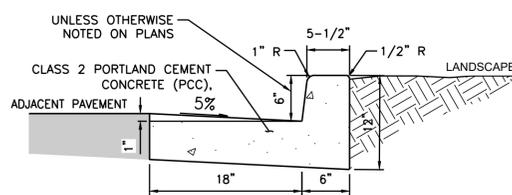
**ACCESSIBLE PARKING DETAILS**

1 C5.0 NOT TO SCALE



**ON-SITE BARRIER CURB**

5 C5.0 NOT TO SCALE

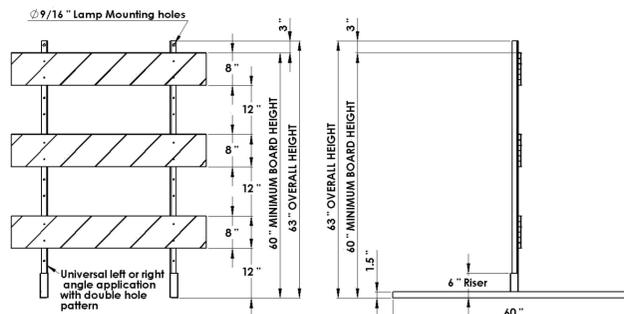


**ON-SITE CURB AND GUTTER**

6 C5.0 NOT TO SCALE

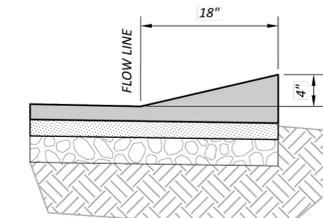
**PLASTICADE**

**Angle Iron Type III Barricade**



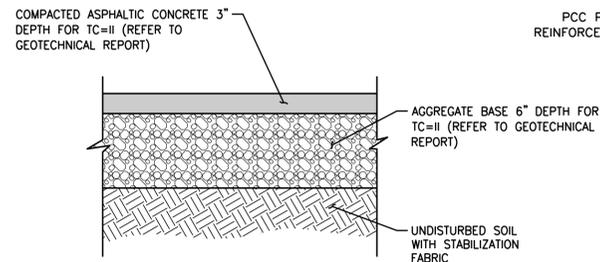
**TYPE III BARRICADE**

7 C5.0 NOT TO SCALE



**ASPHALT RAISED EDGE CURB**

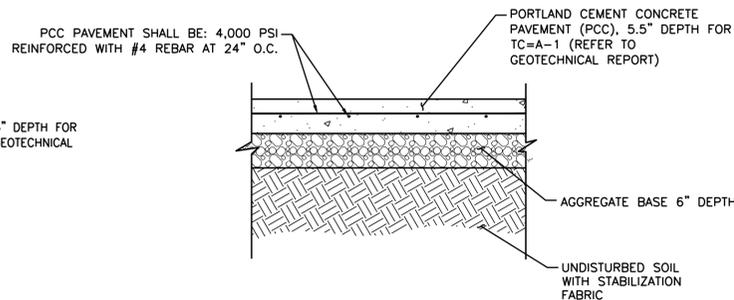
8 C5.0 NOT TO SCALE



NOTE: ALL ASPHALTIC PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER

**ASPHALT PAVING SECTION**

9 C5.0 NOT TO SCALE



NOTE: ALL PORTLAND CEMENT CONCRETE PAVEMENT (PCC) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.

**PCC PAVING SECTION**

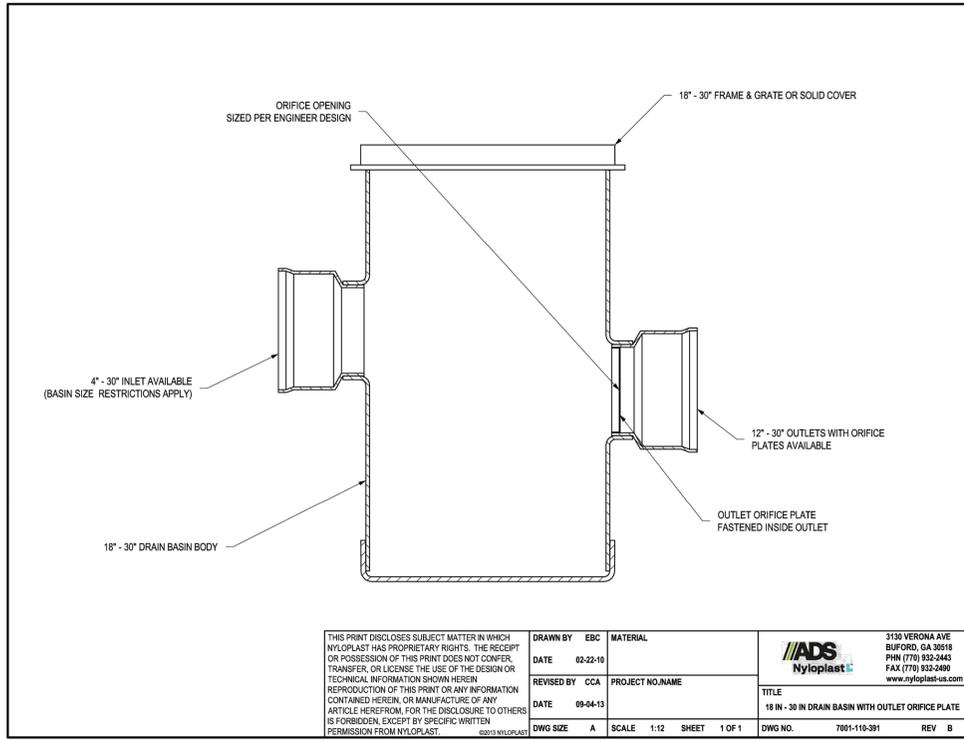
10 C5.0 NOT TO SCALE

Revision							
No.	Date	By	Chd.	Appr.			
<p><b>Title:</b> CIVIL DETAILS 125 SNOW VISTA BOULEVARD SW ALBUQUERQUE, NM</p>							
<p><b>For:</b> TAKE 5 OIL CHANGE DURBAN DEVELOPMENT</p>							
<p>HAL P. GRUBB NEW MEXICO 28243 PROFESSIONAL ENGINEER 11/3/2023</p>							
Scale:	Horizontal	N/A	Vertical	N/A			
Designed	NIR	Drawn	NIR	Checked	MTL	Approved	HPG
Date	11/03/23						
<p><b>Barghausen Consulting Engineers, Inc.</b> 18215 72nd Avenue South Kent, WA 98032 425.251.6222 barghausen.com</p>							
Job Number	23007	Sheet	C5.0				



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# TAKE 5 OIL CHANGE - ALBUQUERQUE, NM CIVIL DETAILS



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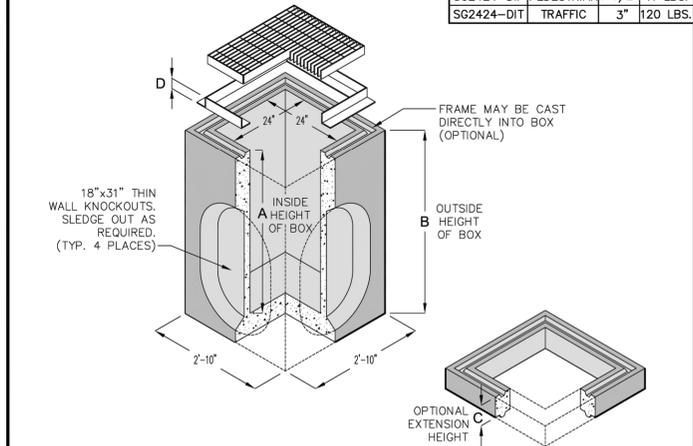
1 18" NYOPLAST DRAIN BASIN

C5.1 NOT TO SCALE

DROP INLET			
MODEL NO.	A	B	*WEIGHT
DI242436	36"	42"	1900 LBS.
DI242448	48"	54"	2500 LBS.

\*BOX ONLY

FRAME AND GRATE			
MODEL NO.	RATING	D	WEIGHT
SG2424-DIP	PEDESTRIAN	1 1/2"	41 LBS.
SG2424-DIT	TRAFFIC	3"	120 LBS.



EXTENSION		
MODEL NO.	C	WEIGHT
RS242406	6"	300 LBS.
RS242412	12"	600 LBS.

- FRAME AND GRATE ASSEMBLY AVAILABLE IN TRAFFIC OR PEDESTRIAN MODELS.
- DESIGN FOR H-20-44 BRIDGE LOADING.
- ASSEMBLY TO BE PLACED ON A 6" BASE OF CRUSHER RUN FOR EASE OF INSTALLATION AND EVEN LOAD DISTRIBUTION.
- FOR COMPLETE DESIGN AND PRODUCT INFORMATION, CONTACT JENSEN PRECAST.

■ ILLUSTRATION IS TYPICAL ONLY OF GENERAL SERIES CONFIGURATION. FOR SPECIFIC CONFIGURATION, CALL JENSEN PRECAST.

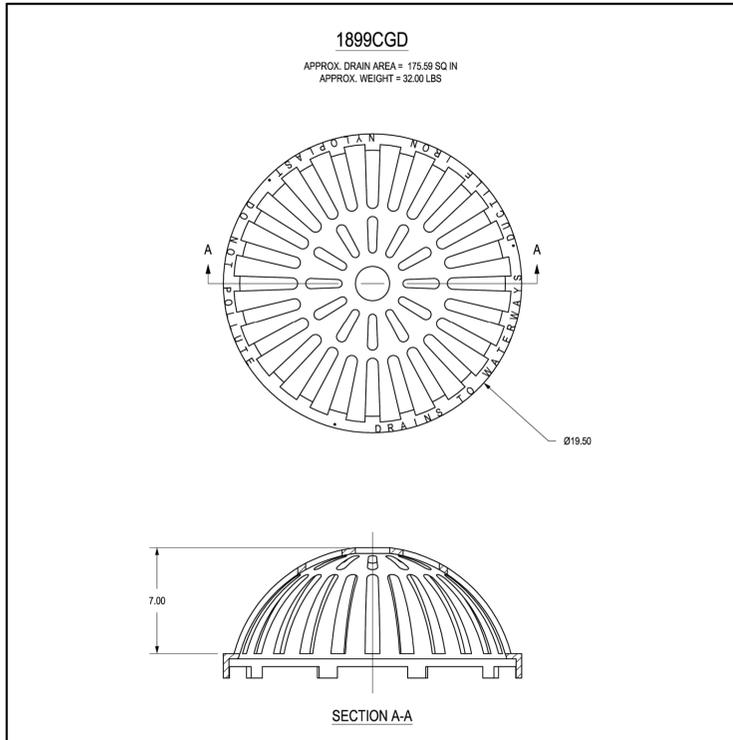
24" X 24" DRAIN INLET

**JENSEN PRECAST**

DI2424

4 DRAIN INLET

C5.1 NOT TO SCALE

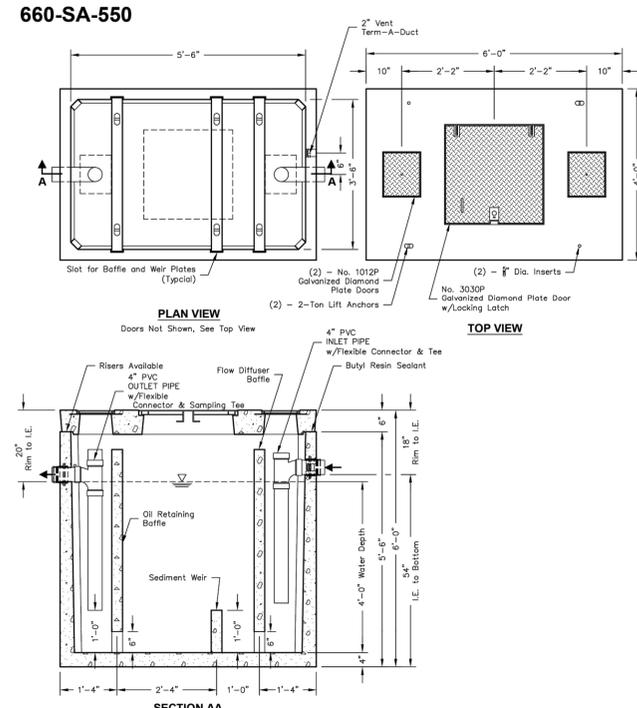


DIMENSIONS ARE FOR REFERENCE ONLY  
ACTUAL DIMENSIONS MAY VARY  
DIMENSIONS ARE IN INCHES  
QUALITY: MATERIALS SHALL CONFORM TO ASTM A536 GRADE 70-50-05  
PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT  
LOCKING DEVICE AVAILABLE UPON REQUEST

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2 BEEHIVE GRATE

C5.1 NOT TO SCALE



Notes:  
- Designed in accordance with ASTM C 890 for AKSHTO HS20-44 vehicle loading  
- Flow Rate 37 GPM based on 15 min. retention time.  
- Manufacturer's recommendations:  
1.) Ventilate each end to open atmosphere.  
2.) Prior to "Start Up" of System, fill with clean water to bottom of outlet pipe (approx. one foot deep). For best results, fill to flow line.  
3.) Follow Regular Inspection, Cleaning, & Maintenance Schedule (See Clean Out & Maintenance).

 PO Box 323, Wilsonville, Oregon 97070-0323 Tel. (503) 682-2844 Fax. (503) 682-2857	<b>660-SA-550</b> File Name: 020-660SA-550 Issue Date: 2016 oldcastleprecast.com/wilsonville	<b>660-SA-550</b> <b>OIL / WATER SEPARATOR</b> <b>550 GALLON - API STYLE</b>
	14.1	

3 OIL AND WATER SEPARATOR

C5.1 NOT TO SCALE

Revision	No.	Date	By	Chd.	Appr.
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Title:  
**CIVIL DETAILS**  
**1125 SNOW VISTA BOULEVARD SW**  
**ALBUQUERQUE, NM**

For:  
**TAKE 5 OIL CHANGE**  
**DURBAN DEVELOPMENT**



Scale:	Horizontal
	N/A
	Vertical
	N/A

Designed: NRN  
Drawn: NRN  
Checked: MTL  
Approved: HPG  
Date: 11/03/23

**Barghausen Consulting Engineers, Inc.**  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222  
barghausen.com

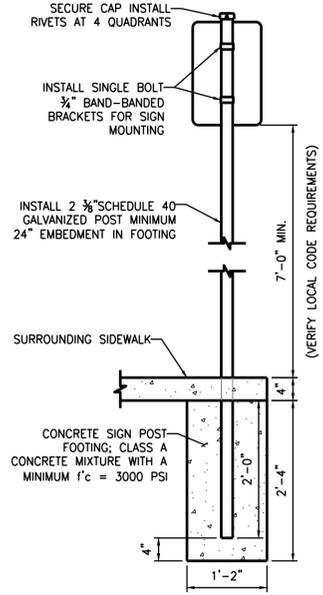
Job Number: **23007**  
Sheet: **C5.1**



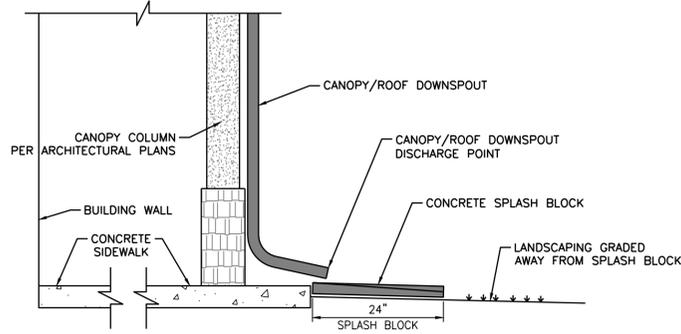
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# TAKE 5 OIL CHANGE - ALBUQUERQUE, NM

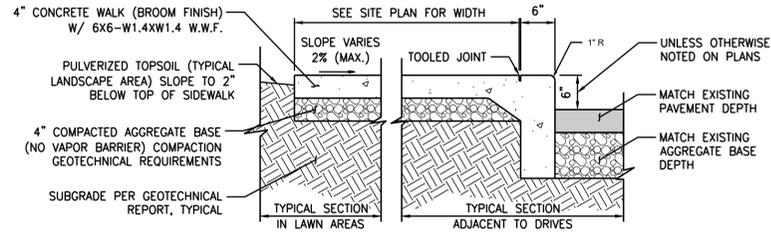
## CIVIL DETAILS



1 SIGN POST  
C5.2 NOT TO SCALE

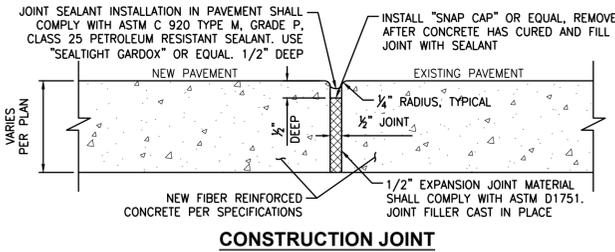


2 SPLASH BLOCK  
C5.2 NOT TO SCALE

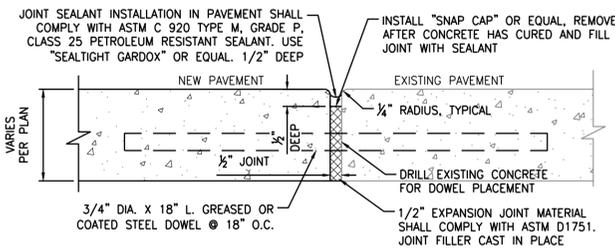


- NOTES:
- SIDEWALKS VARY IN WIDTH. CONTROL JOINTS TO BE PLACED AT SPACING EQUAL TO SIDEWALK WIDTH. REFER TO DETAIL 5/C5.2.
  - PROVIDE EXPANSION JOINTS AT 28' TO 30' O.C. MAXIMUM. SEE DETAIL 9/C5.1.
  - WHEN WALK IS ADJACENT TO THE BUILDING PROVIDE 3/8" X 4" IMPREGNATED FIBERBOARD.
  - ALL PORTLAND CEMENT CONCRETE PAVEMENT (PCC) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORTS.

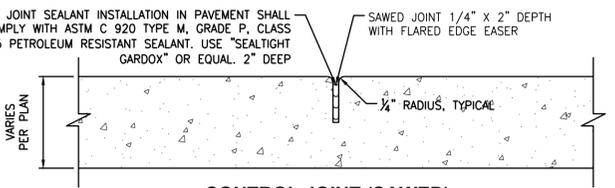
3 ON-SITE CONCRETE SIDEWALK  
C5.2 NOT TO SCALE



CONSTRUCTION JOINT

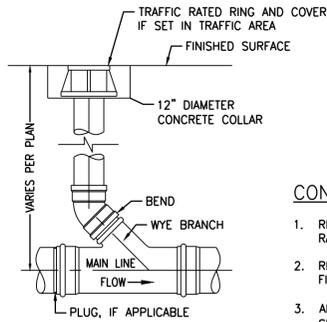


EXPANSION JOINT (TYPICAL)



CONTROL JOINT (SAWED)

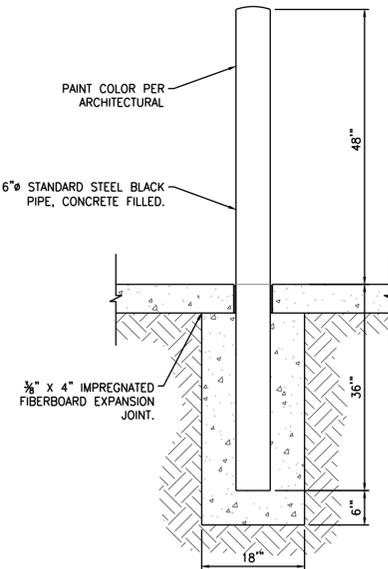
4 CONCRETE JOINTING  
C5.2 NOT TO SCALE



5 CLEANOUT DETAIL  
C5.2 NOT TO SCALE

### CONSTRUCTION NOTES:

- RING AND ACCESS COVER SHALL BE H20 TRAFFIC RATED AND DUCTILE OR CAST IRON CASTING.
- RING AND COVER SHALL BE SET FLUSH WITH FINISHED SURFACE.
- ALL PIPE/FITTING SHALL CONFORM TO SPECIFICATIONS ON UTILITY SHEET(S).



6 GUARD POST  
C5.2 NOT TO SCALE

### GUARD POST DETAILS

- CONSTRUCTED OF STEEL NOT LESS THAN 4" IN DIAMETER AND FILLED WITH CONCRETE.
- SPACED NOTE MORE THAN 48" INCHES ON CENTER BETWEEN POSTS.
- SET NOT LESS THAN 36" INCHES DEEP IN A CONCRETE FOOTING NOT LESS THAN 15" INCHES IN DIAMETER.
- SET WITH THE TOP OF THE POSTS NOT LESS THAN 36" ABOVE GROUND.
- LOCATED NOT LESS THAN 24" FROM THE PROTECTED OBJECT.
- PAINT PER OWNER SPECIFICATIONS

7 MADRAX BIKE RACK  
C5.2 NOT TO SCALE

Revision	
No.	
Date	
By	
Chd.	
Appr.	

Title:  
CIVIL DETAILS  
1125 SNOW VISTA BOULEVARD SW  
ALBUQUERQUE, NM

For:  
TAKE 5 OIL CHANGE  
DURBAN DEVELOPMENT



Scale:	Horizontal	N/A	Vertical	N/A
Designed:	NRN	MTL	HFG	Date: 11/03/23
Drawn:	NRN	MTL	HFG	
Checked:	NRN	MTL	HFG	
Approved:	NRN	MTL	HFG	

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Job Number	23007
Sheet	C5.2