

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 18, 2024

James Desmond, PE
Wallace design acollective
9800 Pyramid ct., suite 350
Englewood, Colorado 80112

**Re: Taco Bell 1125 Snow Vista SW
Traffic Circulation Layout
Engineer's/Architect's Stamp 5-24-2024 (M09D012D)**

Dear Mr.Desmond,

The TCL submittal received 5-29-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD,PE,CFM
Sr. Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

TYPE OF DEVELOPMENT: Plat (# of lots) _____ Single Family Home
All other Developments

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

Engineering / Architect Certification
Conceptual Grading & Drainage Plan
Grading & Drainage Plan, and/or Drainage Report
Drainage Report (Work Order)
Drainage Master Plan
Conditional Letter of Map Revision (CLOMR)
Letter of Map Revision (LOMR)
Floodplain Development Permit
Traffic Circulation Layout (TCL) – Administrative
Traffic Circulation Layout (TCL) – DFT Approval
Traffic Impact Study (TIS)
Street Light Layout
OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

Pad Certification
Building Permit
Grading Permit
Paving Permit
SO-19 Permit
Foundation Permit
Certificate of Occupancy - Temp Perm
Preliminary / Final Plat
Site Plan for Building Permit - DFT
Work Order (DRC)
Release of Financial Guarantee (ROFG)
CLOMR / LOMR
Conceptual TCL - DFT
OTHER (SPECIFY) _____

DATE SUBMITTED: _____



VICINITY MAP

1"=400'

TOTAL DISTURBED AREA	1.57 ACRES
PROJECT SITE AREA	1.51 ACRES
EXISTING IMPERVIOUS AREA	0.01 ACRES
EXISTING PERVIOUS AREA	1.50 ACRES
PROPOSED IMPERVIOUS AREA	0.92 ACRES
PROPOSED PERVIOUS AREA	0.59 ACRES

PARKING SUMMARY TABLE

RE: 2022 IDO, TABLE 5-5-1, TABLE 5-5-4, TABLE 5-5-5
2020 DPM, Section 7-4(K)(2), Section 7-4(K)(3)

REQUIRED OFF-STREET PARKING:

RESTAURANT, 1,950 SF
5.6 SPACES PER 1,000 SF: $(\frac{5.6 \times 1950}{1000}) = 10$

GENERAL RETAIL $\leq 10,000$ SF: 7,645 SF
3.5 SPACES PER 1,000 SF: $(\frac{3.5 \times 7645}{1000}) = 26$

REQUIRED MOTORCYCLE PARKING:
25-50 OFF-STREET SPACES = 2

TOTAL = 38

PROVIDED PARKING:

STANDARD: 43
ACCESSIBLE: 2
VAN ACCESSIBLE: 2
MOTORCYCLE: 2

TOTAL PROVIDED PARKING: 49

MINIMUM PARKING STALL DIMENSIONS PROVIDED:

STANDARD: 9' x 18'
ACCESSIBLE: 9' x 18'
VAN ACCESSIBLE: 9' x 18'
MOTORCYCLE: 4.5' x 18'

MINIMUM REQUIRED BICYCLE PARKING:

NON-RESIDENTIAL USES:
10% OF REQUIRED OFF-STREET PARKING = 4

MINIMUM BICYCLE STALL DIMENSIONS PROVIDED: 4' x 6'

CAUTION

NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.



TRAFFIC CIRCULATION LAYOUT

TACO BELL - SNOW VISTA BOULEVARD

ALBUQUERQUE, NM

LOT 1D. TOWN OF ASTRICO GRANT, PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER 2021

TRAFFIC CIRCULATION
LAYOUT APPROVED

Sertil A. Kanbar 6/18/2024

Signed

Date

NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL MUNICIPAL REGULATIONS AND CODES, WHICHEVER IS MORE STRINGENT.
- ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. REFER TO CITY OF ALBUQUERQUE DWG 2415A AND DWG 2430.
- WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- REFER TO LANDSCAPE PLANS FOR GRASS, TREES AND PLANTED MATERIALS.

PROPERTY DESCRIPTION

TRACT A PLAT FOR TRACT A SNOW VISTA, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILLED IN THE OFFICE OF THE COUNTRY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON 2022.

PROPERTY ADDRESS

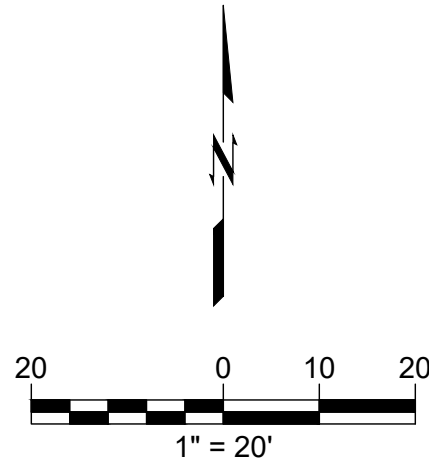
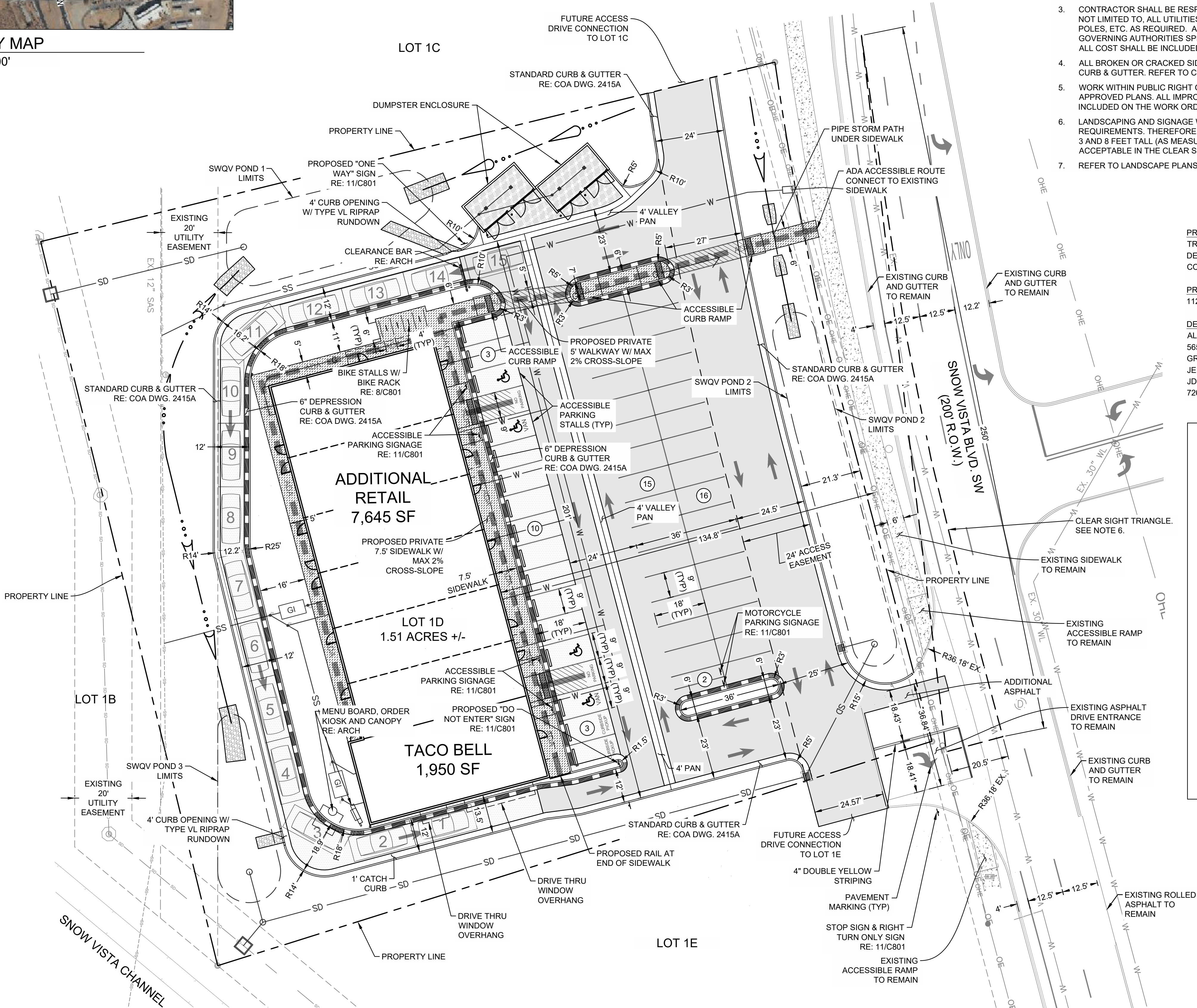
1125 SNOW VISTA BLVD SW

DEVELOPER NAME AND ADDRESS

ALVARADO RESTAURANT NATION
5654 GREENWOOD PLAZA BLVD.
GREENWOOD VILLAGE, CO 80111
JEFF D. JOHNSTON
JDJOHNSTON@TEAMARN.COM
720.385.5100

LEGEND

	STANDARD DUTY ASPHALT PAVEMENT
	REINFORCED CONCRETE PAD
	CONCRETE SIDEWALK
	RIPRAP
	EXISTING CONCRETE SIDEWALK
	6" DEPRESSED CURB AND GUTTER
	ADA ACCESSIBLE ROUTE PATH
	STORM DRAIN
	DRAINAGE FLOW PATH
	STORM BASIN W/ LID
	CITY OF ALBUQUERQUE DRAINAGE STORM INLET TYPE "C" DWG. 2205
	SANITARY SEWER CLEANOUT



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9800 pyramid court, suite 350
englewood, co 80112
303.350.1690-800.364.5858



06/14/2024

TACO BELL
98TH & SAGE
1125 SNOW VISTA BLVD SW
ALBUQUERQUE, NM



DATE					
DESCRIPTION					
REV					
DATE	06/14/2024				
PROJECT NO.	2175023.03				
SHEET NAME	TRAFFIC CIRCULATION LAYOUT				
SHEET NO.	C400				

TRAFFIC CIRCULATION LAYOUT
TACO BELL - SNOW VISTA BOULEVARD
ALBUQUERQUE, NM

LOT 1D. TOWN OF ASTRICO GRANT, PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER 2021

CAUTION: IF THIS SHEET IS NOT 24"x36" IT IS A REDUCED PRINT

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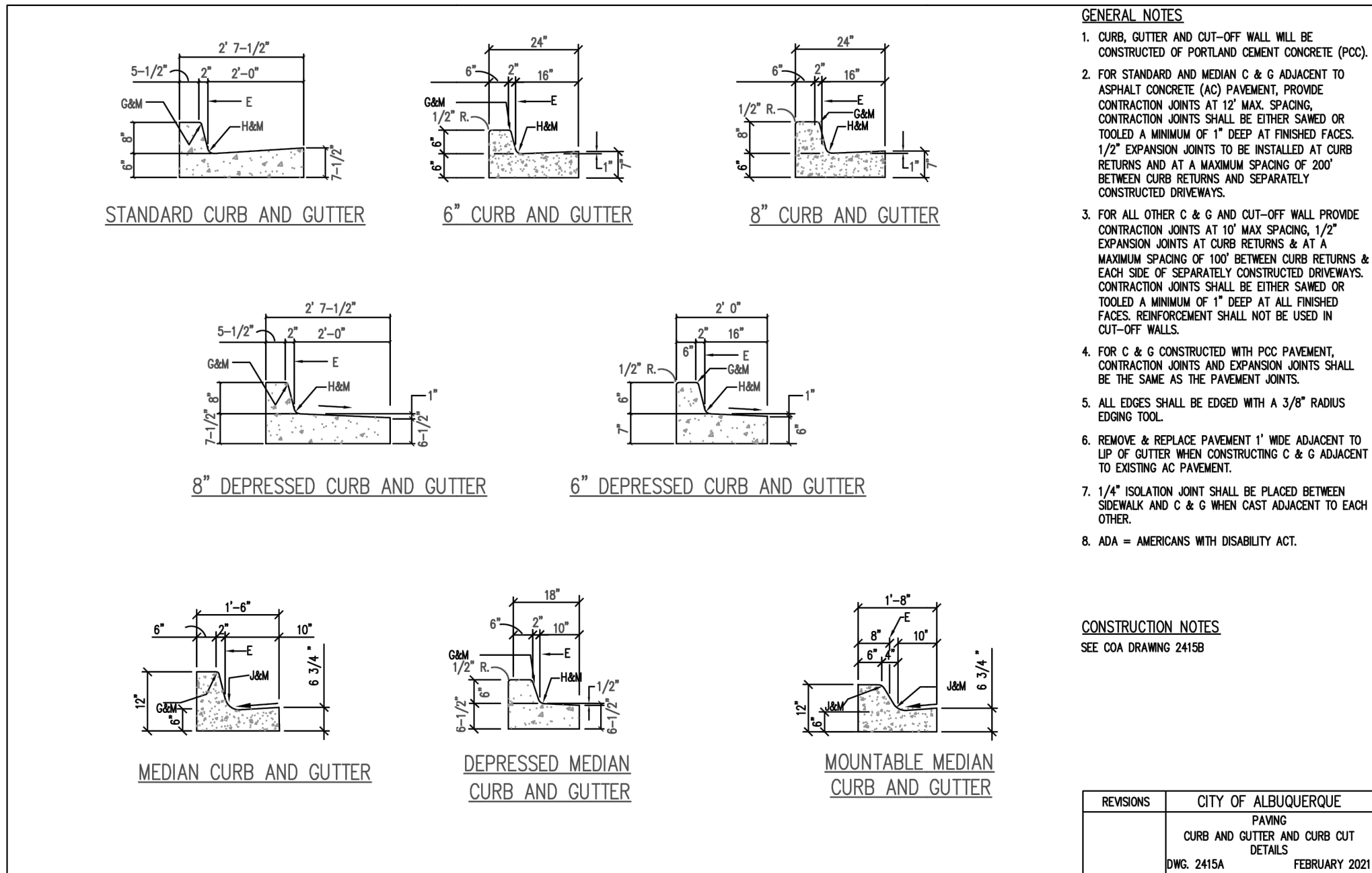


06/14/2024

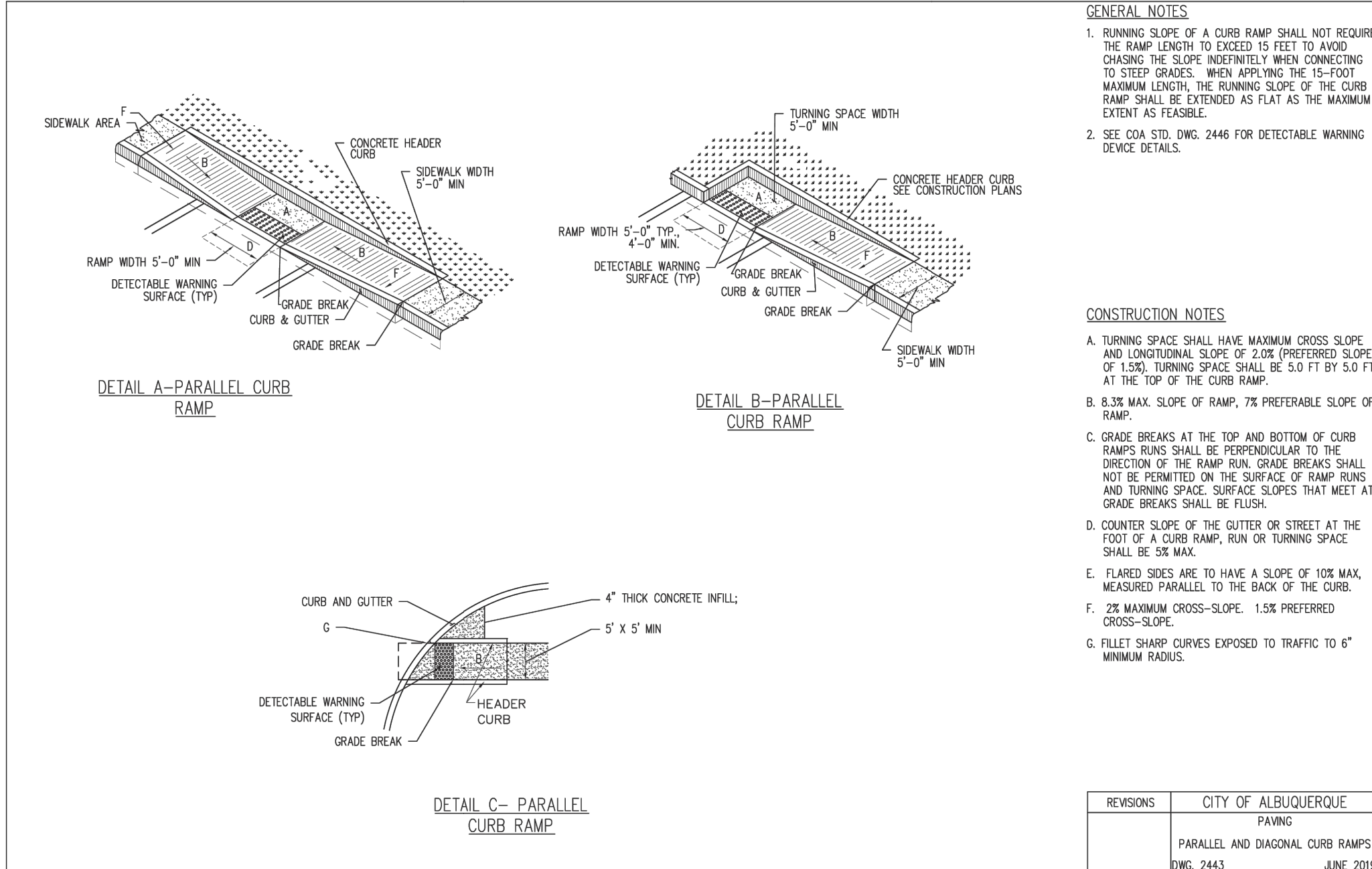
TRAFFIC CIRCULATION
LAYOUT APPROVED

Sertil A. Kanbar 6/18/2024

Signed Date

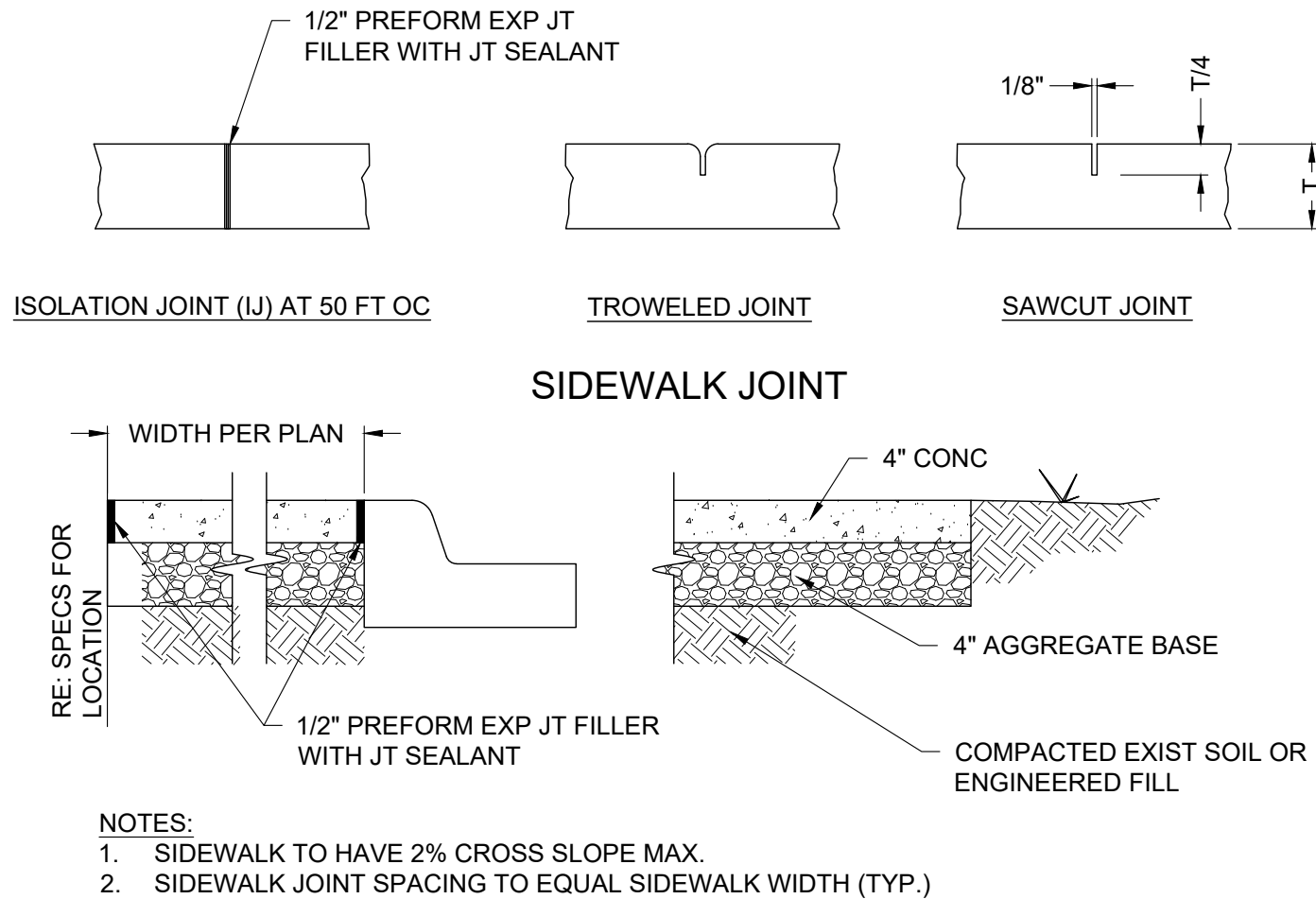
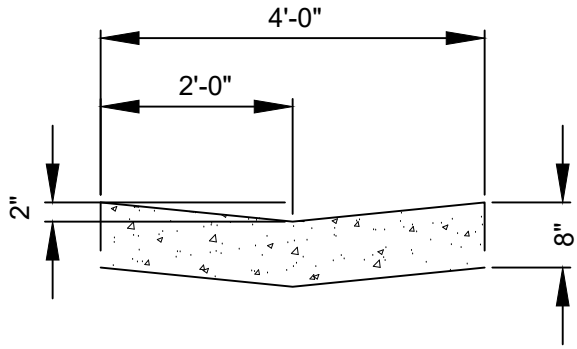


1 CURB AND GUTTER
SCALE: NTS

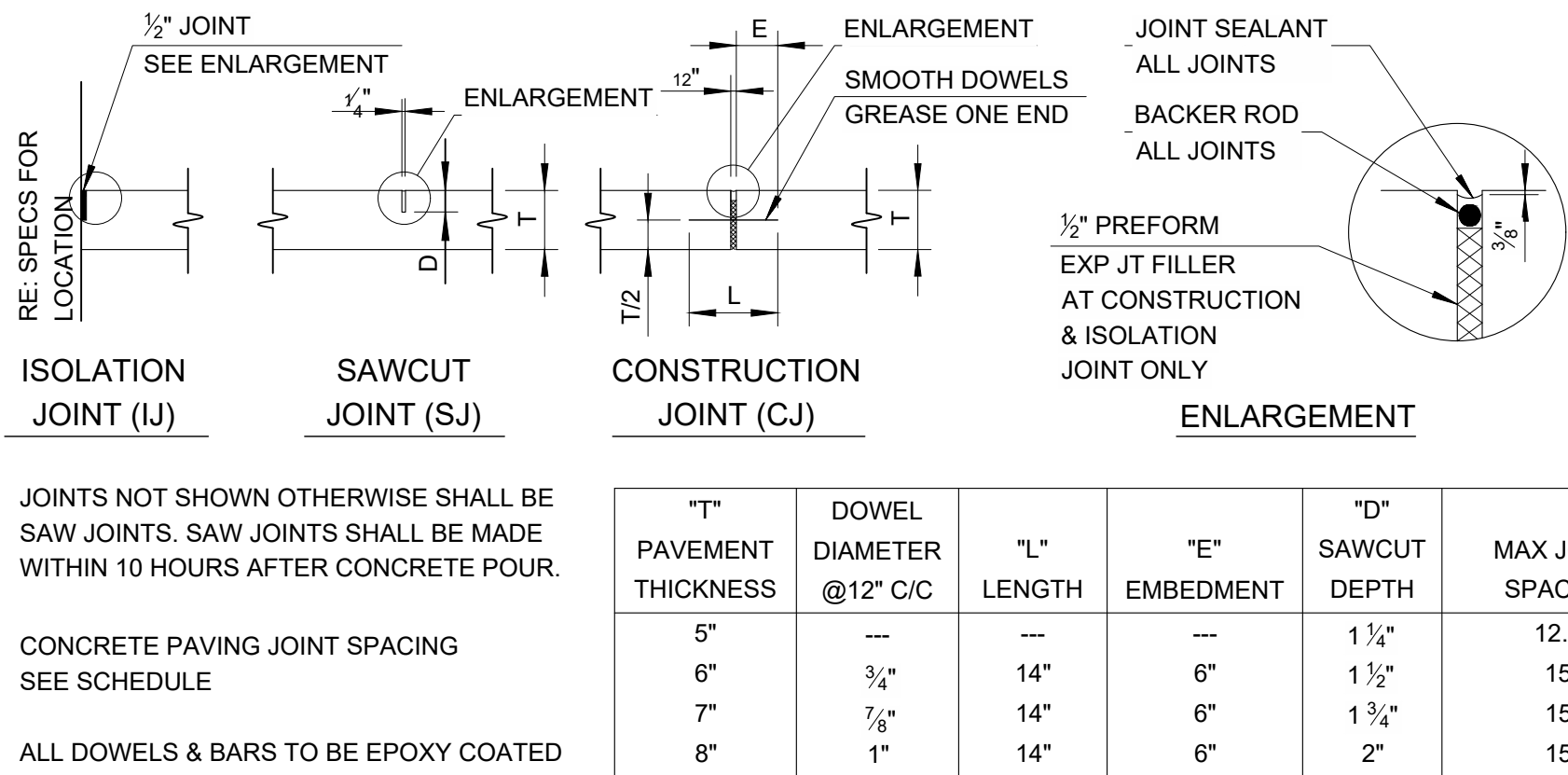


2 CURB RAMP DETAILS
SCALE: NTS

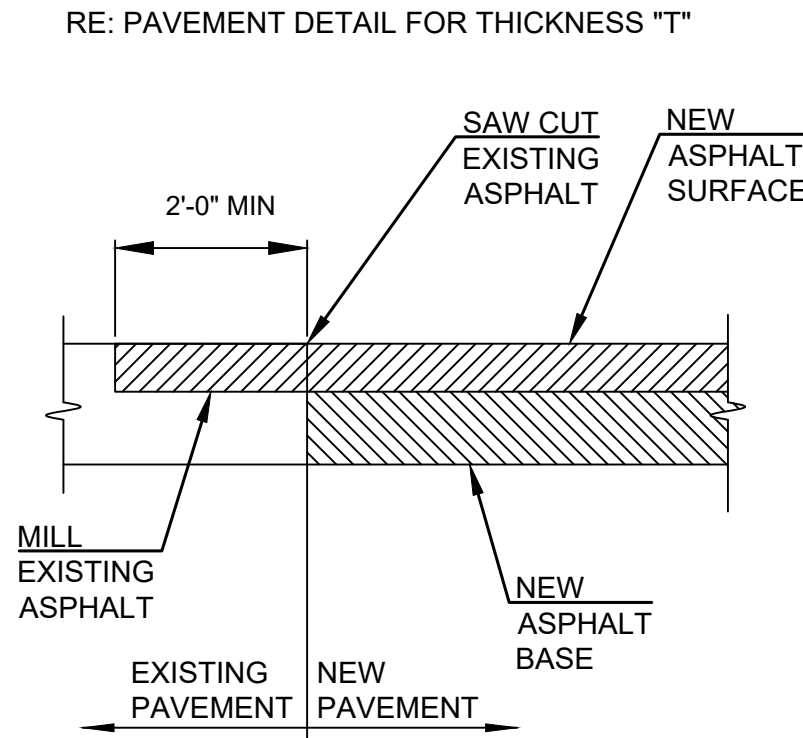
3 4' VALLEY PAN
SCALE: NTS



4 SIDEWALK
SCALE: NTS



5 CONCRETE JOINT DETAIL
SCALE: NTS



6 ASPHALT TRANSITION
SCALE: NTS

TACO BELL
98TH & SAGE
1125 SNOW VISTA BLVD SW
ALBUQUERQUE, NM



DATE					
DESCRIPTION					
REV					

DATE 06/14/2024
PROJECT NO. 2175023.03
SHEET NAME

DETAILS
SHEET NO.

C800

ORIG SIZE: 24"x36"

PLOT: 6/14/2024 11:18:03 AM

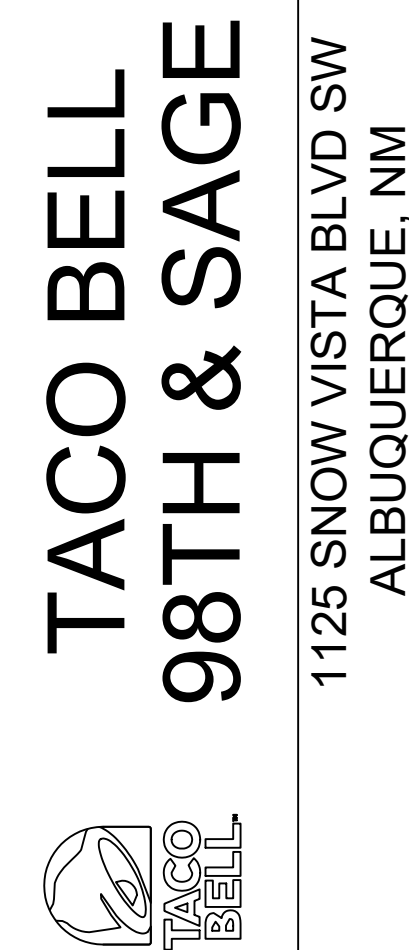
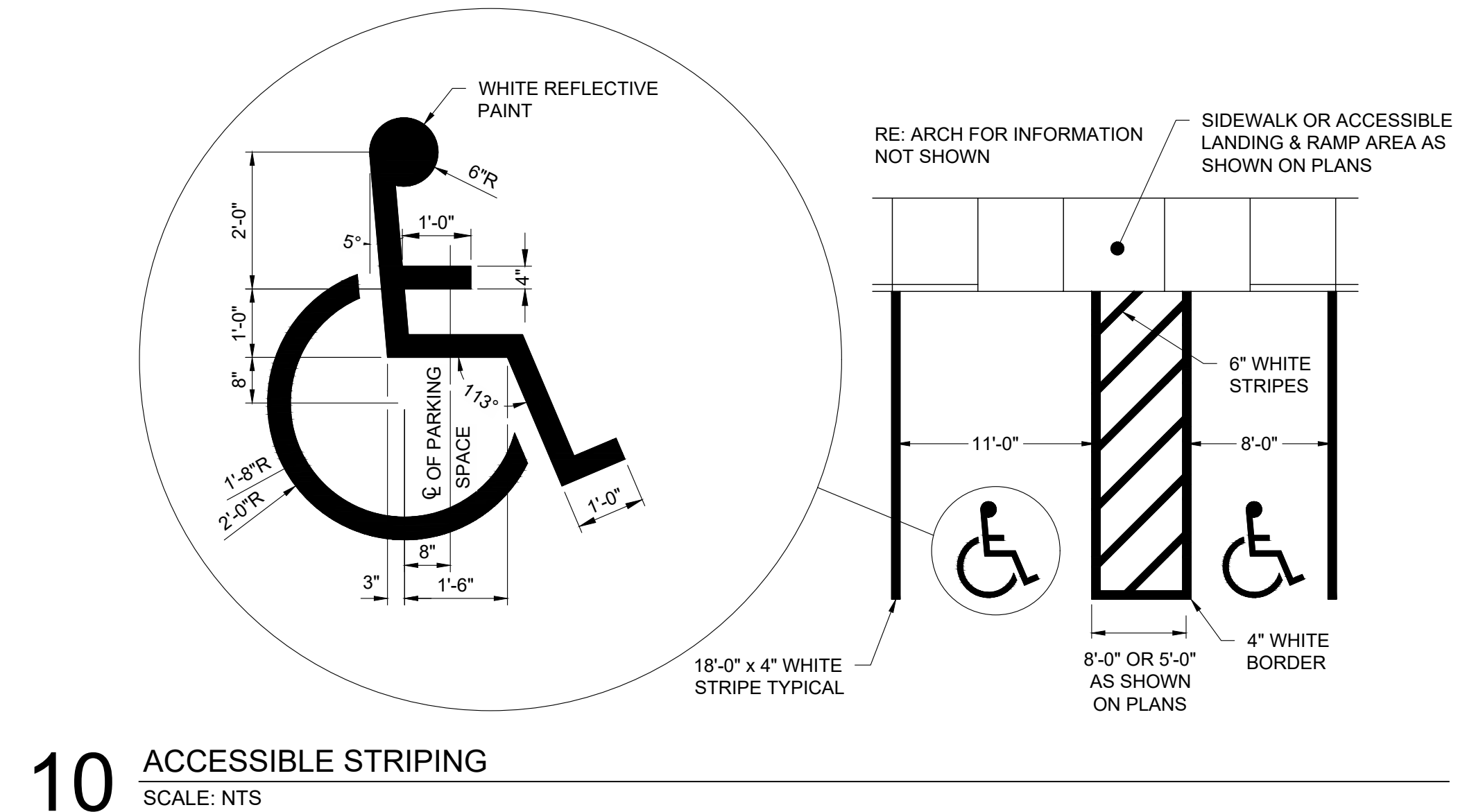
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DATE 06/14/2024
PROJECT NO. 2175023.0
SHEET NAME
TRAFFIC
CIRCULATION
DETAILS 2
SHEET NO.
C801