

CITY OF ALBUQUERQUE



March 3, 2009

Wallace L. Bingham, P.E.
Brasher & Lorenz Consulting Engineers
2201 San Pedro NE Bldg 1 Ste. 1300
Albuquerque, NM 87110

Re: New Life Homes - 6, 9901 Benavides SW,
Approval of Permanent Certificate of Occupancy, (M-09/D015A)
Engineer's Stamp Date: 3-02-09 & 1-15-09
Certification Stamp Date: 3-02-09

Dear Mr. Bingham,

PO Box 1293

Based upon your submittal received 3/02/09, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

NM 87103

Sincerely,

Timothy E. Sims
Plan Checker-Hydrology, Planning Dept
Development and Building Services

www.cabq.gov

C: CO Clerk—Katrina Sigala
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 06/22/2005)

M-09/0015A

PROJECT TITLE: NewLife Homes - Six ZONE MAP/DRG. FILE #: FHS
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Portion of Tract 50-B-2, Replat of Tracts 50-A & 50-B-45-
CITY ADDRESS: 9901 Benevides SW Albuq. NM Atrisco Village

ENGINEERING FIRM: Brasher & Lorenz
ADDRESS: 2201 San Pedro NE Bldg 1
CITY, STATE: Albuq. NM

CONTACT: Monte
PHONE: 505 6088
ZIP CODE: 87110

OWNER: Josh Bloomfield
ADDRESS: Rob 90486
CITY, STATE: Albuq. NM 87129

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: Garrett Smith
ADDRESS: _____
CITY, STATE: _____

CONTACT: Ken
PHONE: _____
ZIP CODE: _____

SURVEYOR: BLT
ADDRESS: _____
CITY, STATE: _____

CONTACT: Leonard Martencz
PHONE: _____
ZIP CODE: _____

CONTRACTOR: Gerald Markin
ADDRESS: _____
CITY, STATE: _____

CONTACT: Alan
PHONE: 401-4667
ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ ~~GRADING PLAN~~
☒ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ ~~SECTOR PLAN APPROVAL~~
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

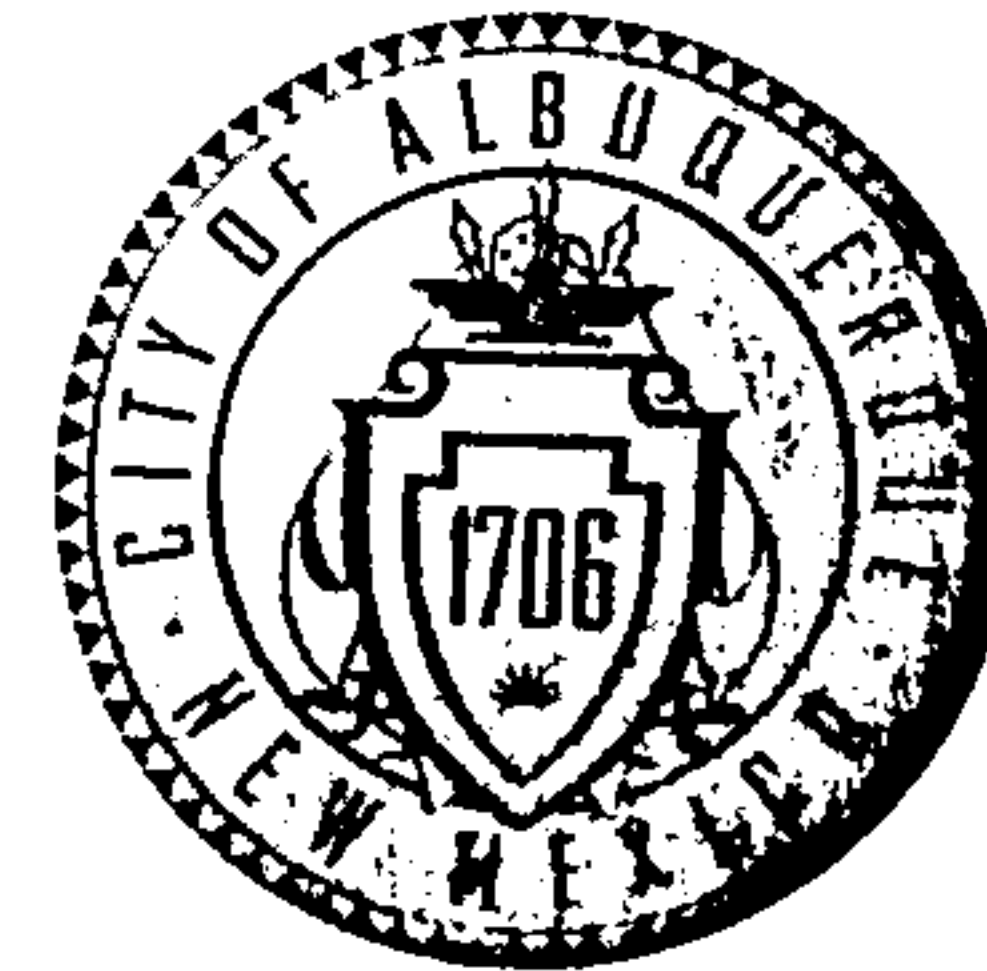
MAR 02 2005
HYDROLOGY
SECTION

SUBMITTED BY: Wallace Bingham DATE: 3.2.09

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



January 21, 2009

Wallace L. Bingham, P.E.
Brasher & Lorenz Consulting Engineers
2201 San Pedro NE Bldg 1 Ste. 1300
Albuquerque, NM 87110

Re: New Life Homes 6, 9901 Benevides SW, SO-19,
Engineer's Stamp dated 01-15-09 (M-09/D015A)

Mr. Bingham:

Based upon the information provided in your submittal received 1-15-09, the above referenced plan is approved for SO-19 with the following condition. Install acceptable COA material within the Right-of-Way, from the bend to back of inlet. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required. Also, Duane Schmitz, 235-8016, will need to inspect and approve this work prior to any certificate of occupancy.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims
Plan Checker - Hydrology, Planning Dept.
Development and Building Services

Cc: Bradley Bingham
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 06/22/2005)

PROJECT TITLE: New Life Home 6 ZONE MAP/DRG. FILE # M.9/D015A
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
CITY ADDRESS: 9901 Benavides SW

ENGINEERING FIRM: Brasher Lorenz
ADDRESS: 2201 San Pedro
CITY, STATE: Albuquerque NM 87110

CONTACT: Morte
PHONE: 888 60 88
ZIP CODE: _____

OWNER: John Blomfield
ADDRESS: _____
CITY, STATE: _____

Morte's mobile!
CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: Garrett-Smith
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: Thomas Johnston PL
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: Gerald Marken
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:
____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERT (HYDROLOGY)
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT
____ ENGINEER'S CERT (TCL)
____ ENGINEER'S CERT (DRB SITE PLAN)
____ OTHER

CHECK TYPE OF APPROVAL SOUGHT:
____ SIA/FINANCIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D APPROVAL
____ S. DEV. FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
____ CERTIFICATE OF OCCUPANCY (TEMP)
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
☒ OTHER (SPECIFY) 50#19 JAN 15 2009

WAS A PRE-DESIGN CONFERENCE ATTENDED:
____ YES
____ NO
____ COPY PROVIDED

SUBMITTED BY: Wallace Bingham DATE: 1.13.09

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

February 9, 2009

Garret Smith, Registered Architect
Garret Smith LTD.
514 Central SW
Albuquerque, NM 87102

Re: Certification Submittal for Final Building Certificate of Occupancy for
New Life Home -6, [M-09 / D015A]
9901 Benavides Road SW
Architect's Stamp Dated 02/06/09

PO Box 1293

Dear Mr. Smith:

Albuquerque

The TCL / Letter of Certification submitted on February 9, 2009 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

NM 87103

Sincerely,

www.cabq.gov

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: NEW LIFE HOMES - 6 ZONE MAP: M-92
 DRB#: N/A EPC#: N/A WORK ORDER#: _____

LEGAL DESCRIPTION: EASTERLY PORTION TRACT 50-B-2 UNIT 5- ATLASCO VILLAGE
 CITY ADDRESS: 9901 BENAVIDES ROAD SW

ENGINEERING FIRM: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

OWNER: NEW LIFE HOMES, INC. CONTACT: JOHN BLOOMFIELD
 ADDRESS: PO BOX 90486 PHONE: 293-7553
 CITY, STATE: ALBUQUERQUE, NM 87199 ZIP CODE: 87199

ARCHITECT: GARNETT SMITH LTD. CONTACT: RONALD JACOB
 ADDRESS: 514 CENTRAL AVENUE SW PHONE: 766-6968
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87102

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: GERALD MARTIN COMPANY CONTACT: JIM KARNES
 ADDRESS: 8501 JEFFERSON NE PHONE: 828-1144
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87113

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

☐ YES
☒ NO
☐ COPY PROVIDED

HYDROLOGY
SECTION

DATE SUBMITTED: 2/9/09 BY: R. J. [Signature]

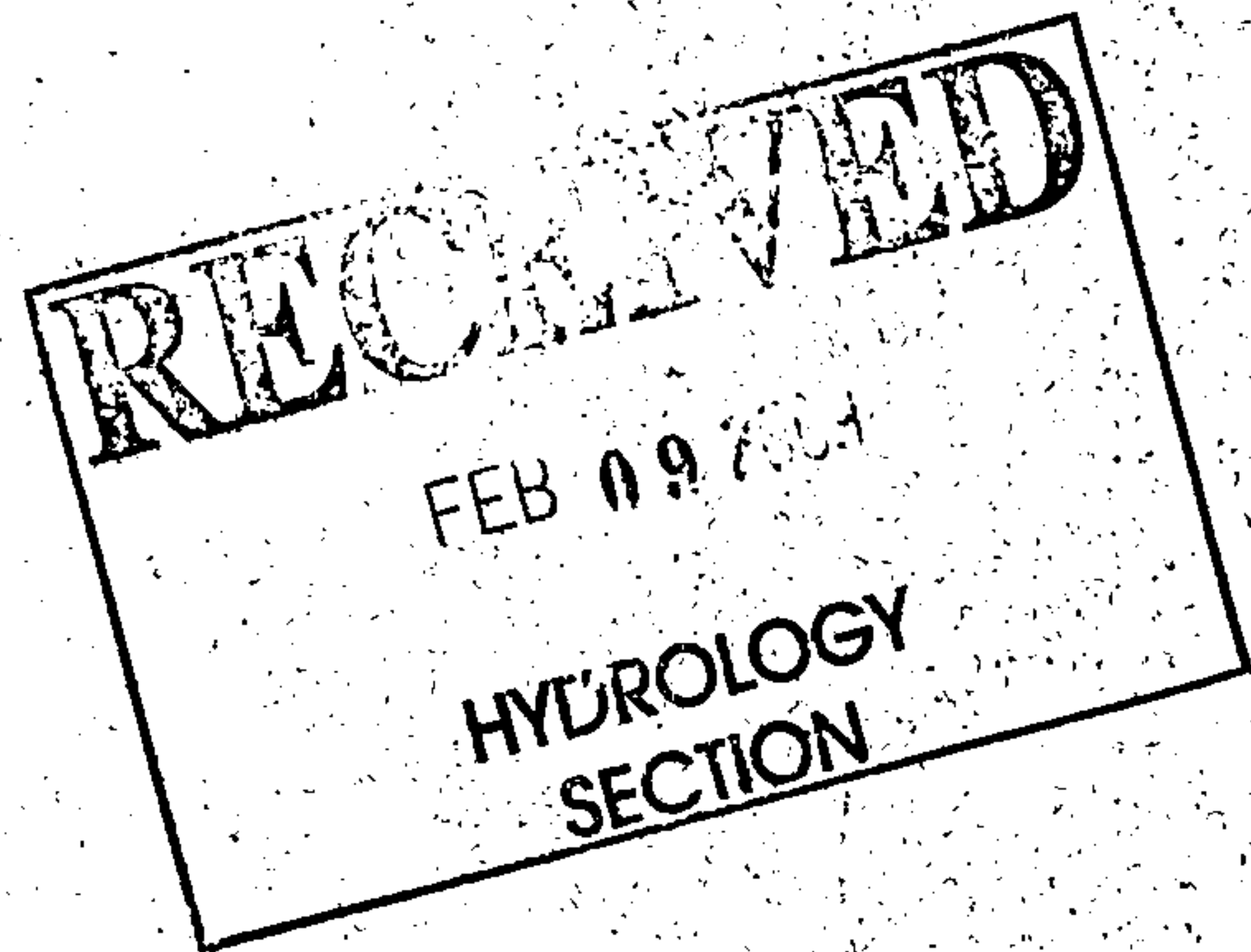
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

M-09/D015A

6 February 2009

Ms. Kristal D. Metro, PE
Senior Engineer, Planning Department
Development and Building Services
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103



RE: New Life Homes 6, 9901 Benevides Rd. SW, Albuquerque, NM

Dear Ms. Metro,

I, Garrett Smith, NMRA No. 2318, of the firm Garrett Smith Ltd., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL approved plan dated 6 February 2009. I further certify that I have personally visited the site on 6 February 2009 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a 'Permanent Certificate of Occupancy'.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,

A handwritten signature in black ink, appearing to be "Garrett Smith", written over a horizontal line.

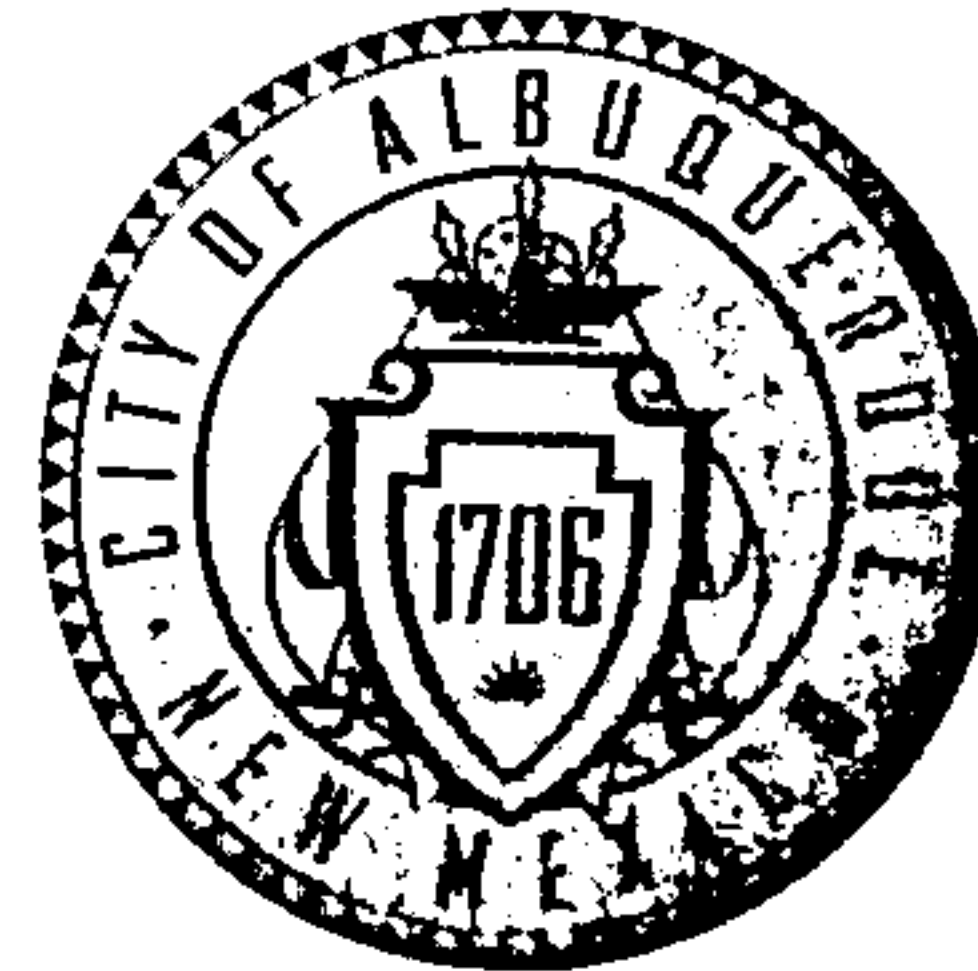
Garrett Smith, AIA

Copy: New Life Homes
Gerald Martin General Contractor



514 CENTRAL SW
ALBUQUERQUE
NEW MEXICO
8 7 1 0 2
505/766-6968
FAX/243-4508

CITY OF ALBUQUERQUE



February 6, 2009

Garrett Smith, R.A.
Garrett Smith LTD.
514 Central SW
Albuquerque, NM 87102

Re: New Life Homes 6, 9901 Benevides Rd. SW, Traffic Circulation Layout
Architect's Stamp dated 2-04-09 (M-09/D15A)

Dear Mr. Smith,

The TCL submittal received 02-04-09 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: NEW LIFE HOMES - 6 ZONE MAP: M-09/0015H
 DRB#: N/A EPC#: N/A WORK ORDER#: _____

LEGAL DESCRIPTION: EASTERLY PORTION TRACT 50-B-2 UNIT 5 - ATLASCO VILLAGE
 CITY ADDRESS: 9901 BENAVIDES ROAD SW

ENGINEERING FIRM: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

OWNER: NEW LIFE HOMES, INC. CONTACT: JOHN BLOOMFIELD
 ADDRESS: PO BOX 90486 PHONE: 293-7553
 CITY, STATE: ALBUQUERQUE, NM 87199 ZIP CODE: 87199

ARCHITECT: GANNETT SMITH LTD. CONTACT: RONALD JACOB
 ADDRESS: 514 CENTRAL AVENUE SW PHONE: 766-6968
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87102

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: GERALD MARTIN COMPANY CONTACT: JIM KARNES
 ADDRESS: 8501 JEFFERSON NE PHONE: 828-1144
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87113

TYPE OF SUBMITTAL:

- ____ DRAINAGE REPORT
 ____ DRAINAGE PLAN 1st SUBMITTAL
 ____ DRAINAGE PLAN RESUBMITTAL
 ____ CONCEPTUAL G & D PLAN
 ____ GRADING PLAN
 ____ EROSION CONTROL PLAN
 ____ ENGINEER'S CERT (HYDROLOGY)
 ____ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
 ____ ENGINEER'S CERT (TCL)
 ____ ENGINEER'S CERT (DRB SITE PLAN)
 ____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ____ SIA/FINANCIAL GUARANTEE RELEASE
 ____ PRELIMINARY PLAT APPROVAL
 ____ S. DEV. PLAN FOR SUB'D APPROVAL
 ____ S. DEV. FOR BLDG. PERMIT APPROVAL
 ____ SECTOR PLAN APPROVAL
 ____ FINAL PLAT APPROVAL
 ____ FOUNDATION PERMIT APPROVAL
 ____ BUILDING PERMIT APPROVAL
 ____ CERTIFICATE OF OCCUPANCY (PERM)
 ____ CERTIFICATE OF OCCUPANCY (TEMP)
 ____ GRADING PERMIT APPROVAL
 ____ PAVING PERMIT APPROVAL
 ____ WORK ORDER APPROVAL
 ____ OTHER (SPECIFY) _____

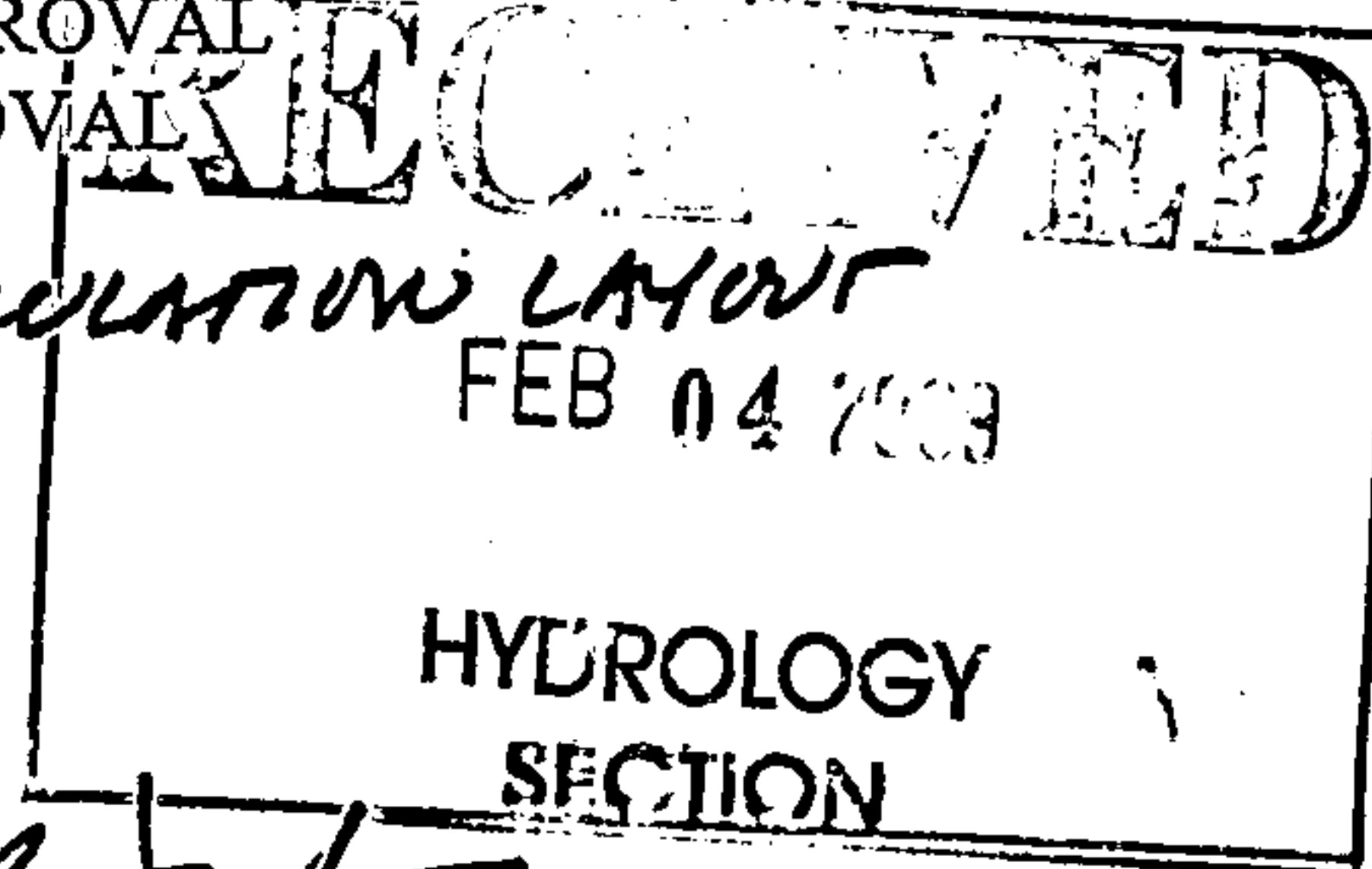
WAS A PRE-DESIGN CONFERENCE ATTENDED:

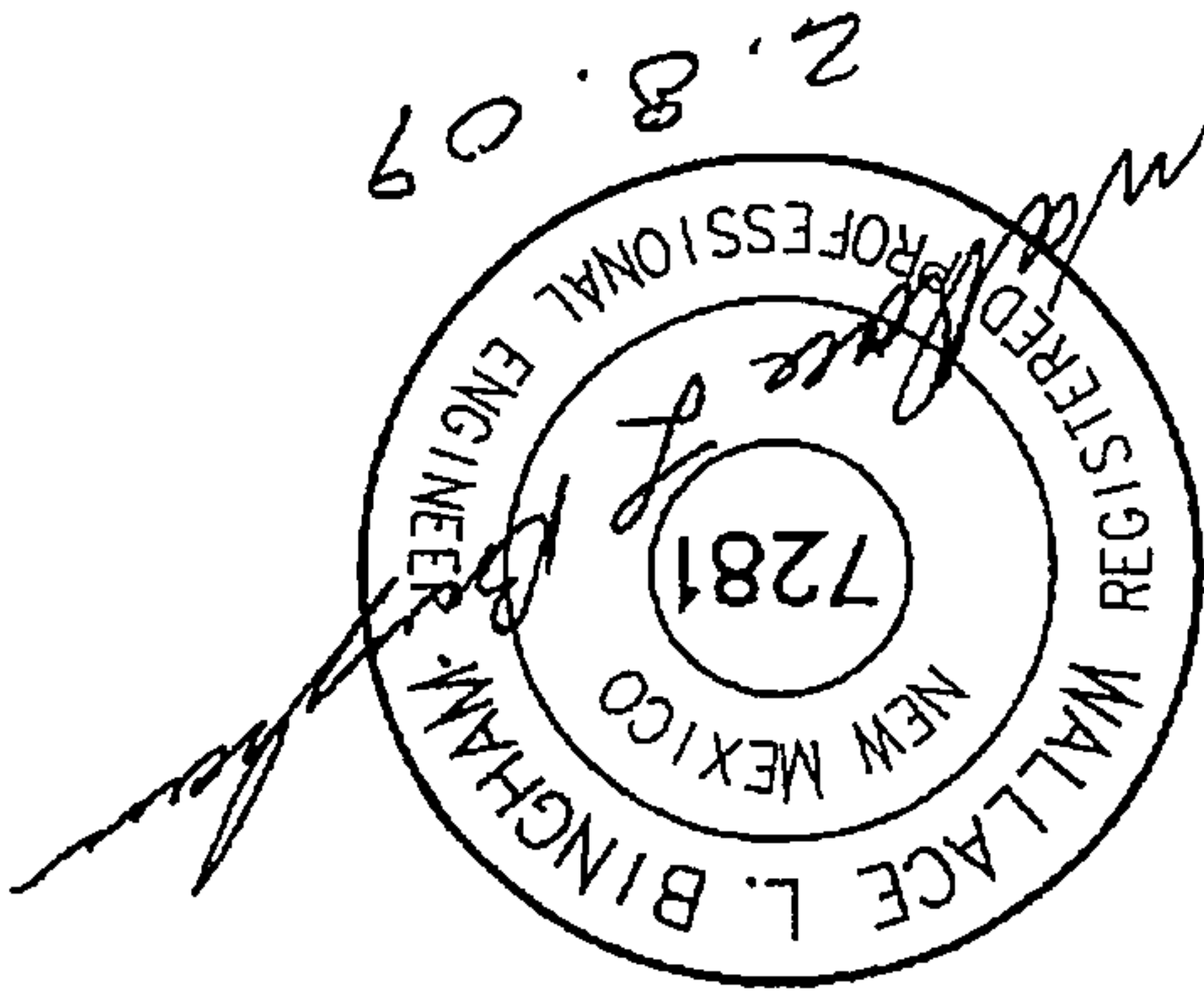
- ____ YES
☒ NO
 ____ COPY PROVIDED

DATE SUBMITTED: 2/3/09 BY: R. J. [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





2/9/9
- 90-DAY
Temp

Wallace L. Bingham P.E.

Sincerely,

Thank you for your assistance in the project.

I think a thirty day temporary C.D. would be sufficient time to complete the project

3. Normal cleanup after item 1 and item 2 are complete.

2. The ditch between the ponds appears to drain into the AMAFCA CHANNEL.

1. Complete the upper retaining drainage pond

The work at the subject project is complete except for the following items

Re: Temporary Certificate of Occupancy for NLH 6 - 9900 Benavidez SW

Dear Mr. Bingham

Bradley L. Bingham P.E.
Albuquerque City Hydrologist
600 2nd street
Albuquerque, NM 87102

2/8/09

File
M-09/0015A

CITY OF ALBUQUERQUE



July 10, 2008

Garrett Smith, R.A.
Garrett Smith LTD.
514 Central SW
Albuquerque, NM 87102

Re: New Life Homes 6, 9901 Benevides Rd. SW, Traffic Circulation Layout
Architect's Stamp dated 4-28-08 (M-09/D15A)

Dear Mr. Smith,

The TCL submittal received 7-07-08 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

A handwritten signature in black ink, appearing to read "Kristal D. Metro".

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

*See New Plan
approved
2/6/09*

CITY OF ALBUQUERQUE



July 8, 2008

Wallace Bingham, PE
Brasher & Lorenz, Inc.
2201 San Pedro NE, Bldg. 1
Albuquerque, NM 87110

Re: New Life Homes 6 Grading and Drainage Plan
Engineer's Stamp dated 7-3-08 (M9/D15A)

Dear Mr. Bingham,

Based upon the information provided in your submittal dated 7-3-08, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, the following requirements are:

- Engineer Certification of the grading plan per the DPM checklist.
- Successful AMAFCA board action on the maintenance agreement. The actual connection to the channel must be done through an AMAFCA construction project and completion of the construction to their satisfaction will also be required..

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: Lynn Mazur, AMAFCA
file

DRAINAGE and TRANSPORTATION

INFORMATION SUBMITTAL SHEET

PROJECT TITLE: NEW LIFE HOME 6 ZONE MAP/DRG. FILE #: M-09/DO15A
DRB#: _____ EPC#: _____ WORK ORDER#: _____
LEGAL DESCRIPTION: A PORTION OF TRACT 50-B-2, REPLAT OF TRACTS 50-A & 50-B U5, ATRISCO VILLAGE

CITY ADDRESS: 9901 BENEVIDES SW

ENGINEERING FIRM: BRASHER & LORENZ, INC.
ADDRESS: 2201 San Pedro NE
CITY, STATE: ALB., NM

CONTACT: MONTE
PHONE: 888 6088
ZIP CODE: 87110

OWNER: JOHN BLOOMFIELD
ADDRESS: POB 90486
CITY, STATE: ALB. 87199

CONTACT: JOHN
PHONE: _____
ZIP CODE: _____

ARCHITECT: GARRET SMITH
ADDRESS: _____
CITY STATE: _____

CONTACT: RON JASON
PHONE: _____
ZIP CODE: _____

SURVEYOR: B&LI
ADDRESS: _____
CITY, STATE: _____

CONTACT: LEONARD
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL, REQUIRES TCL or equal
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERT (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

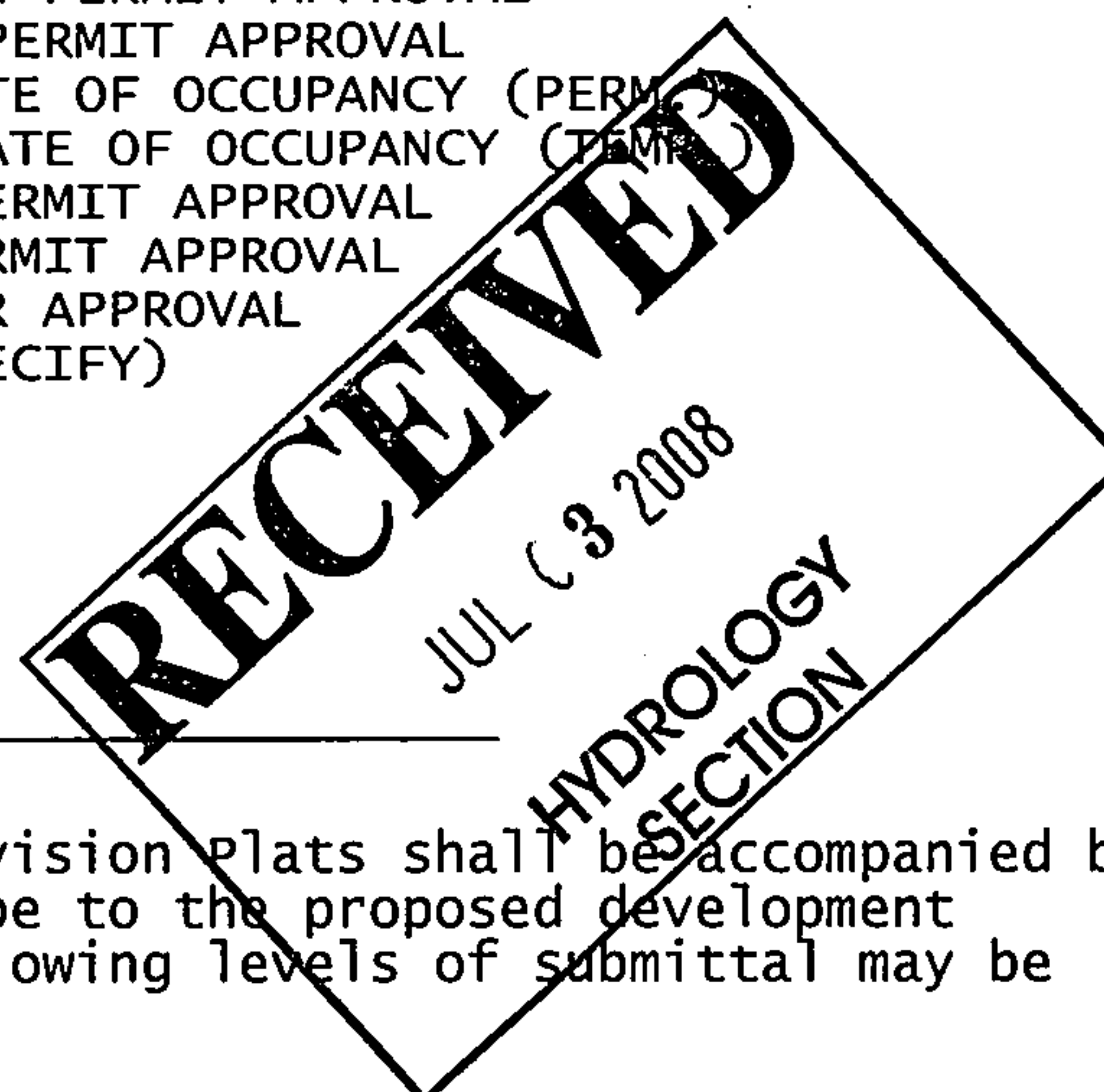
☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 7/03/08 BY: wallace Bingham

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

(Rev. 1-28-03)



CITY OF ALBUQUERQUE



July 3, 2008

Garrett Smith, R.A.
Garrett Smith Ltd.
514 Central Ave. SW
Albuquerque, NM 87102

Re: New Life Homes 6, 9901 Benavides Rd. SW, Traffic Circulation Layout
Architect's Stamp dated 4-28-08 (M-09/D015A)

Dear Mr. Smith,

Based upon the information provided in your submittal received 6-25-08, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List radii for all curves shown.
2. A five-foot keyway is required for deadend parking aisles. Please clarify what will occur at the "Y-roadway" (NW corner of site).
3. Provide details for all ramps, noting dimensions and defining maximum slope values.
4. The pedestrian connection (near the mail boxes) is unclear; how will this tie in without interfering with the ramp? Please provide a detail of how this tie-in ensures ADA accessibility with the sidewalk and the pedestrian connection.
5. Concrete ramps should be built per City of Albuquerque Standard 2426, not 2425.
6. The plan references some details; please provide the detail sheet for all referenced details.
7. Call out the width of the pedestrian gate.
8. A sidewalk easement will be required for all public sidewalk located outside of the right of way.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File