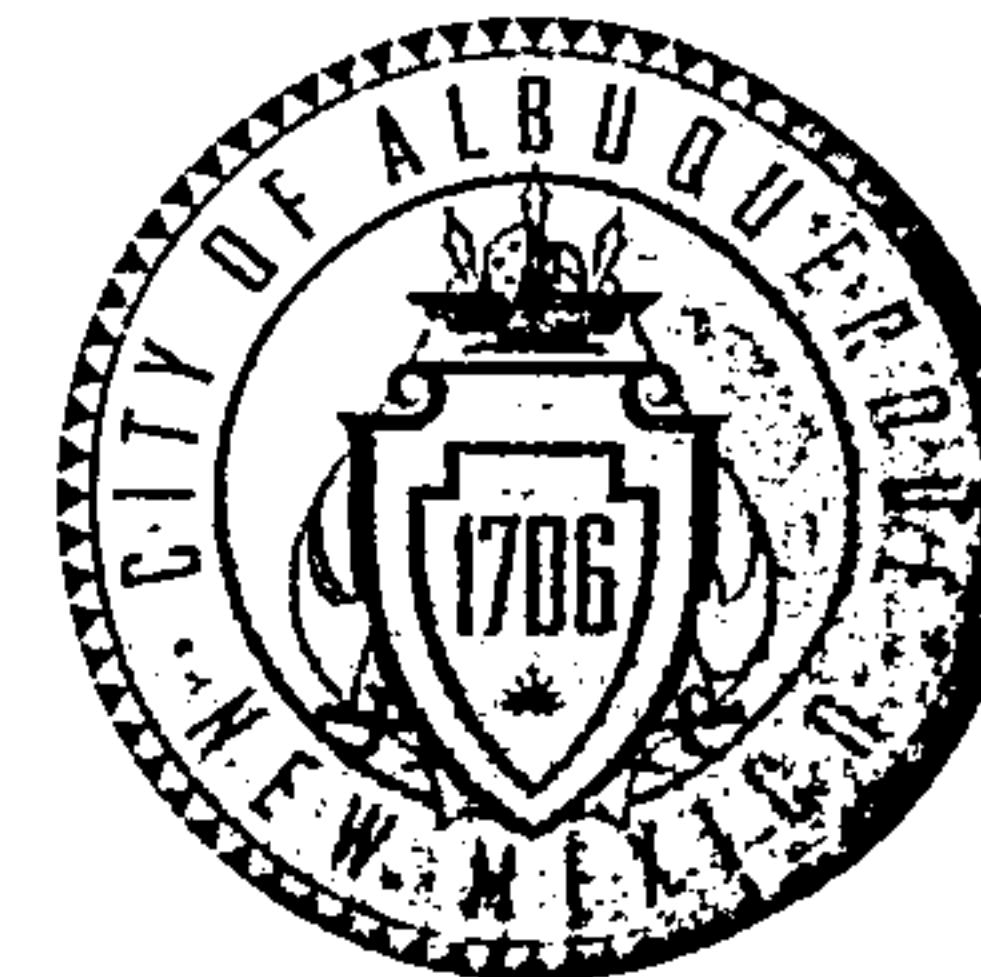


CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

November 25, 2008

Jonathan Niski, P.E.
5571 Midway Park Place NE
Albuquerque, NM 87109

Re: Certification Submittal for Final Building Certificate of Occupancy for
Compass Bank, [M-09 / D025B]
9500 Sage Road SW
Engineer's Stamp Dated 11/24/08

Dear Mr. Niski:

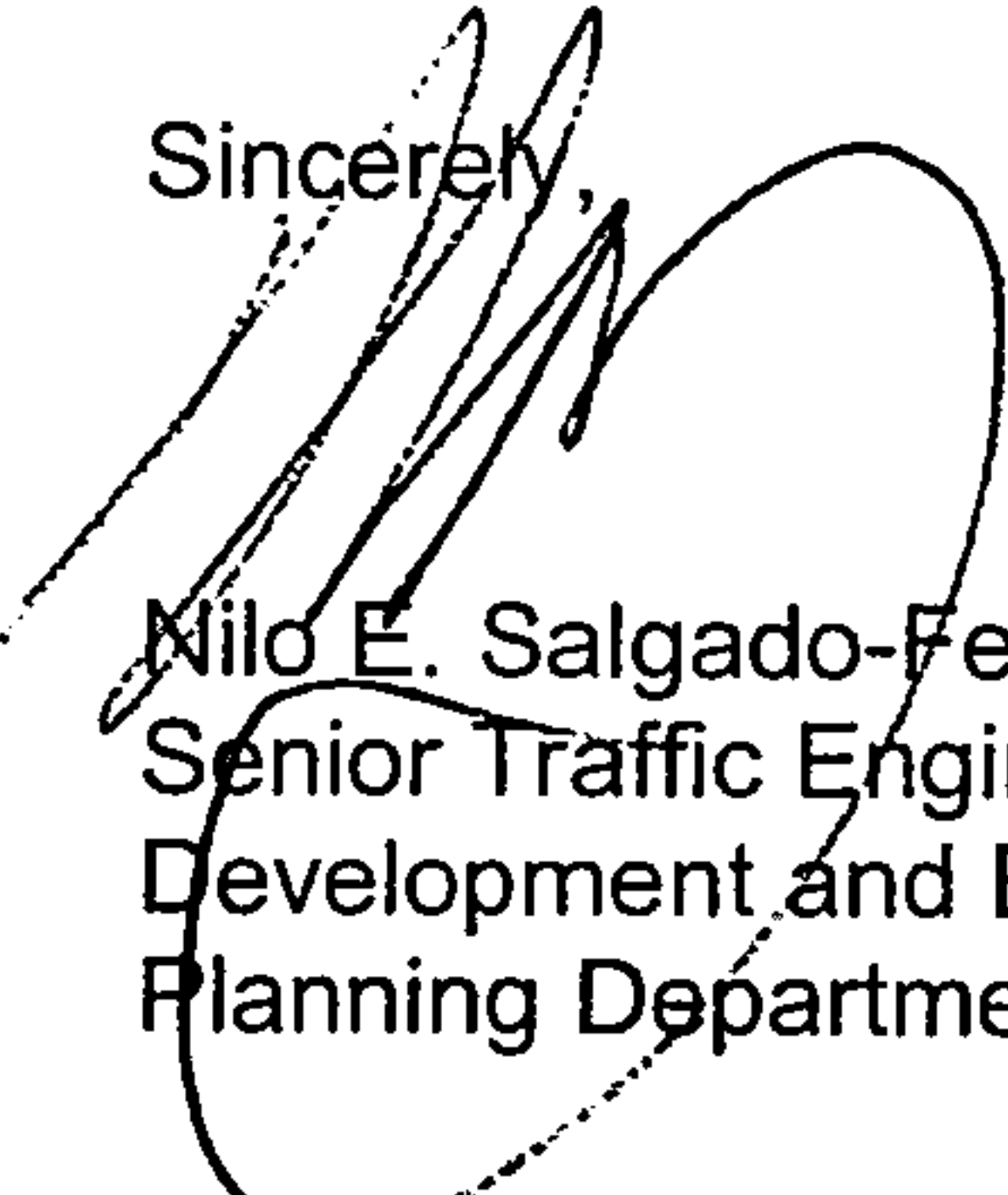
PO Box 1293

The TCL / Letter of Certification submitted on November 24, 2008 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

NM 87103


Milo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

c: Engineer
Hydrology file
CO Clerk

--- --

Jan

TIERRA WEST, LLC

November ²⁴ ~~25~~, 2008 ^{KDK}

Mr. Nilo Salgado-Fernandez, P.E.
Development and Building Services
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: Traffic Certification
Compass Bank
9500 Sage Road SW**

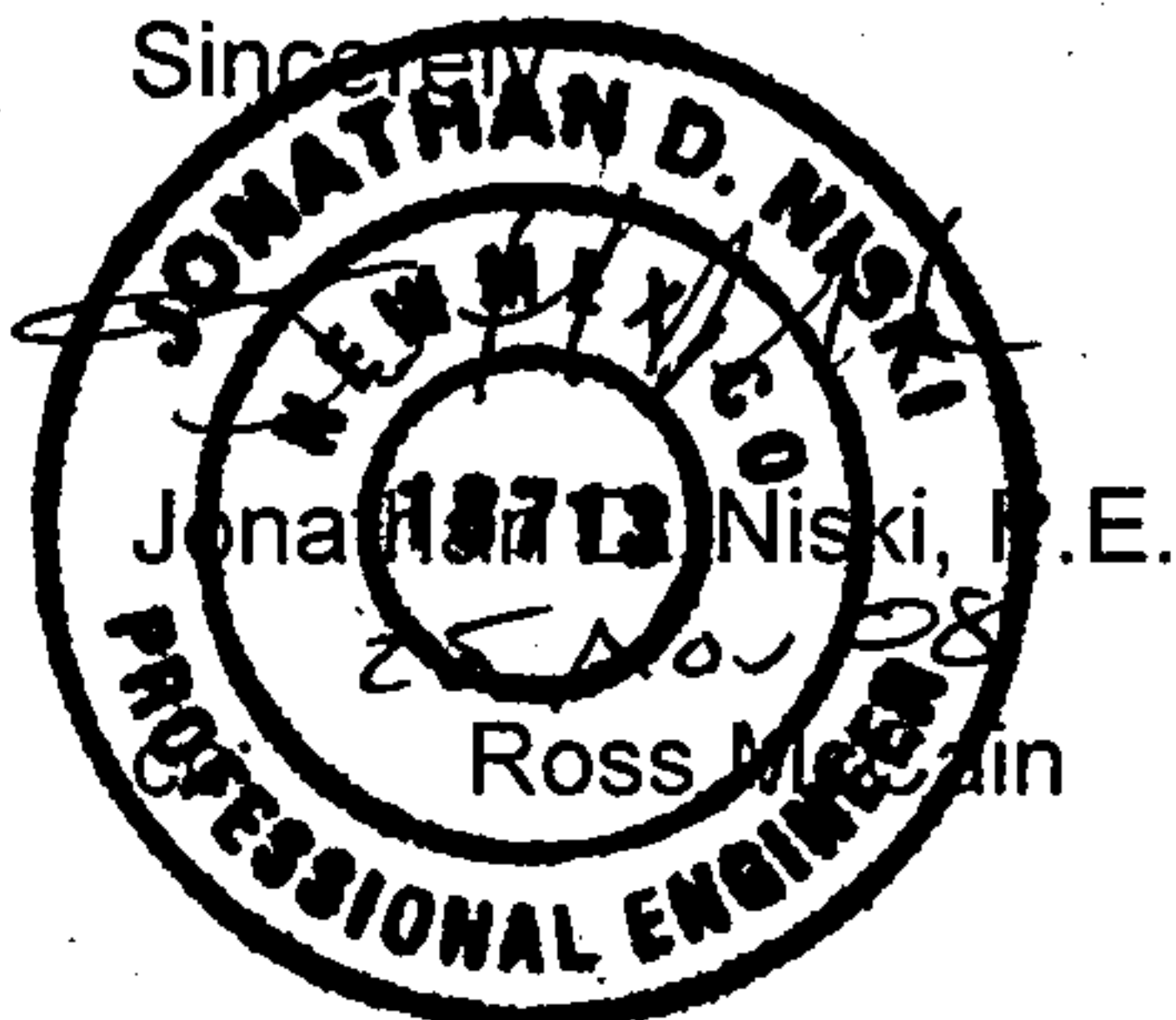
Dear Mr. Salgado-Fernandez:

I, Jonathan D. Niski, NMPE 18713, of the firm Tierra West LLC, hereby certify that this project is in compliance with and in accordance with the design intent of the DRB, AA or TCL plan approved plan dated September 19, 2008. The record information edited onto the original design document has been obtained by Jonathan D. Niski of the firm Tierra West LLC. I further certify that I have personally visited the site on November 24, 2008 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct the best of my knowledge and belief. This certification is in support of a request for Permanent Certificate of Occupancy.

The record information present hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



JN: 26049
JN/kdk

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

Compass Bank

PROJECT TITLE: Tract A-1-E Town of Atrisco Grant Unit 7
DRB #: 1005242 EPC #: _____

ZONE MAP/DRG. FILE # M9-D25 B
WORK ORDER #: _____

LEGAL DESCRIPTION Tract 1A, ROW 1, UNIT 1 West of Westland
CITY ADDRESS: 9500 Sage Road SW

ENGINEERING FIRM: Tierra West, LLC
ADDRESS: 5571 Midway Park Place
CITY, STATE: Albuquerque, NM

CONTACT: Ron Bohannon
PHONE: (505) 858-3100
ZIP CODE: 87109

OWNER: Compass Bank
ADDRESS: 15 South 20th Street
CITY, STATE: Birmingham, AL

CONTACT: Steve Kirkpatrick
PHONE: 205-297-5158
ZIP CODE: 35233

ARCHITECT: KPS Group
ADDRESS: 2101 1st Avenue
CITY, STATE: Birmingham, AL

CONTACT: Ross McCain
PHONE: (204) 251-0125
ZIP CODE: 35203

SURVEYOR: Precision Surveys, Inc.
ADDRESS: 8500-A Jefferson Street NE
CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano
PHONE: (505) 856-5700
ZIP CODE: 87113

CONTRACTOR: Global Structures
ADDRESS: 510 Candelaria NE
CITY, STATE: Albuquerque, NM

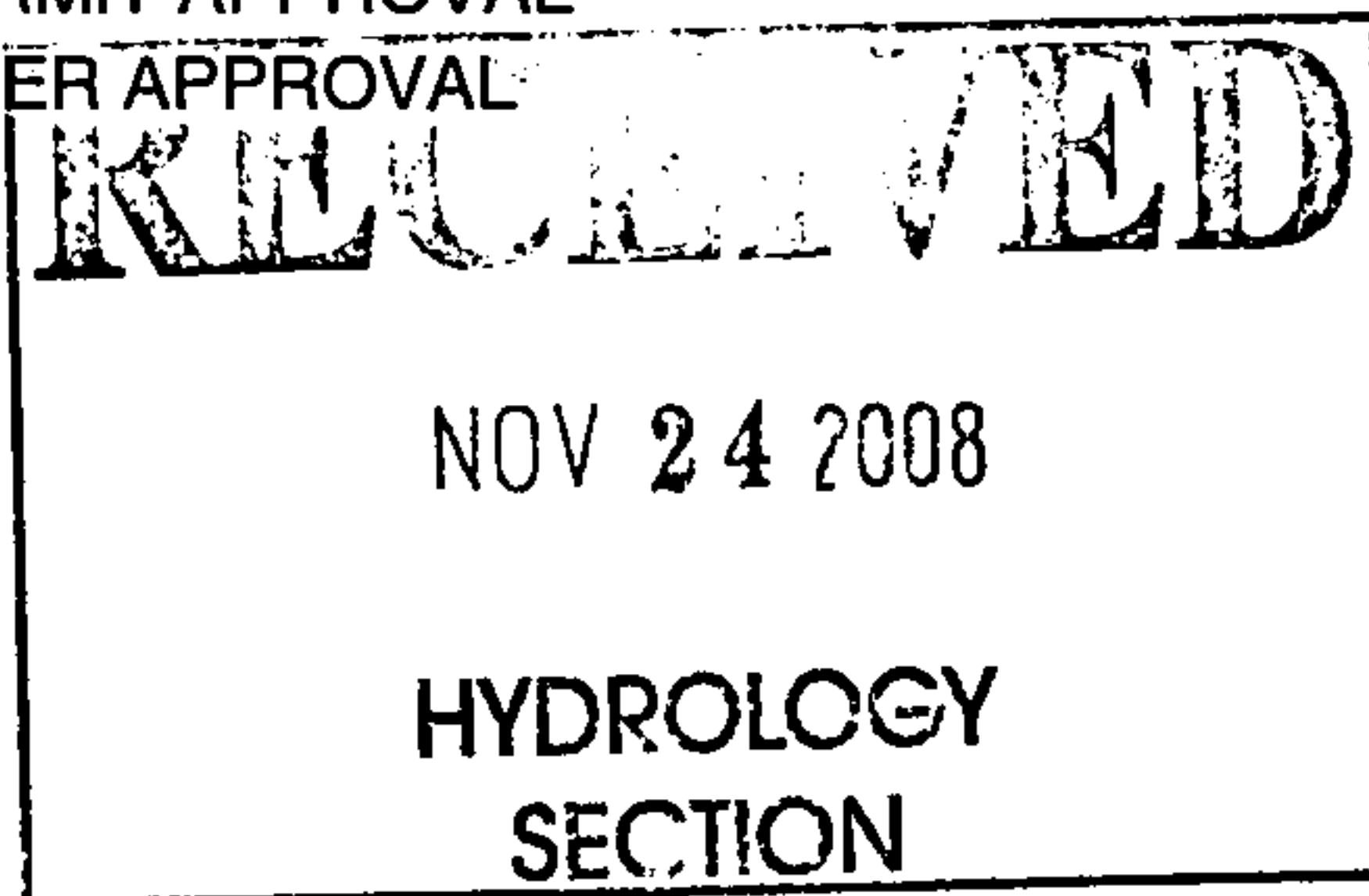
CONTACT: Daniel Pruitt
PHONE: 505-343-0990
ZIP CODE: 87107

CHECK TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEERS CERTIFICATION (TCL)
- ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- SIA / FINANACIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D. APPROVAL
- S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM.)
- CERTIFICATE OF OCCUPANCY (TEMP.)
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- SO-19



WAS A PRE-DESIGN CONFERENCE ATTENDED:

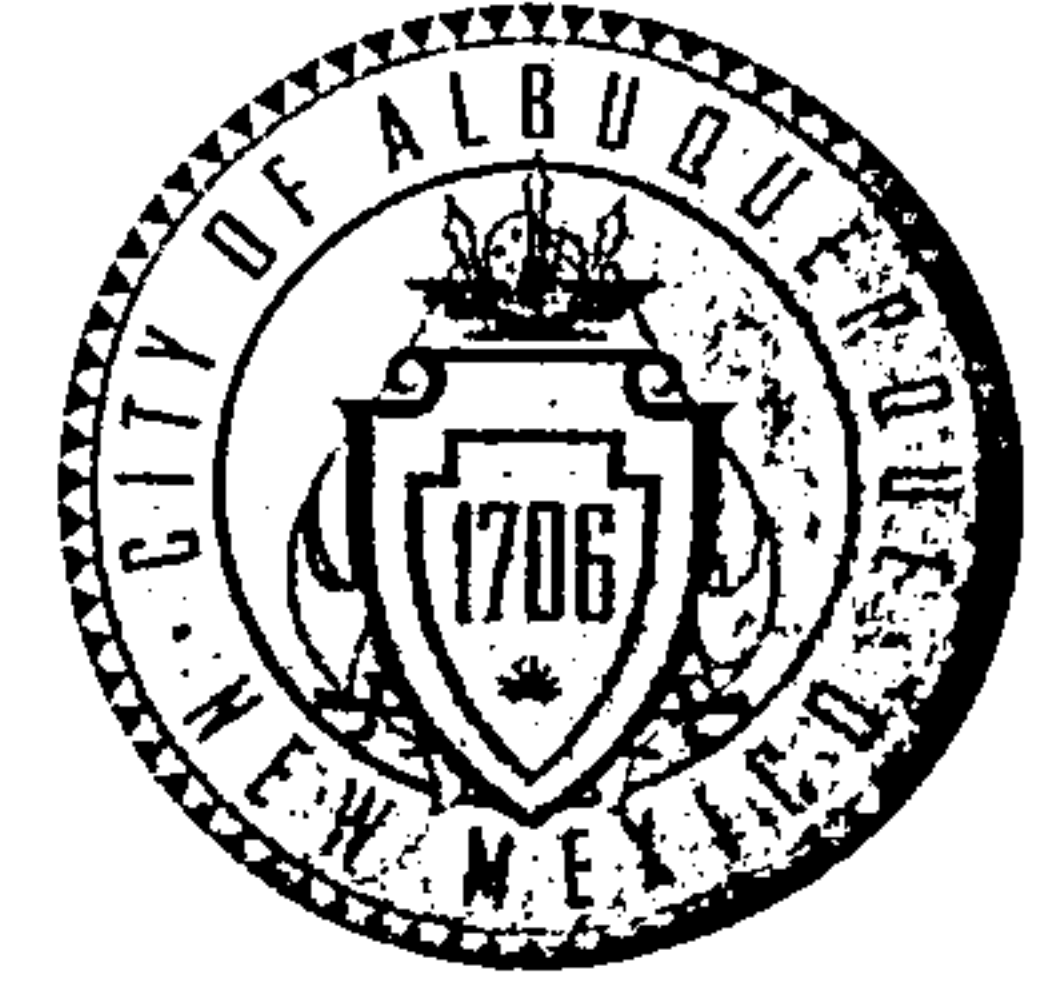
- YES
- NO
- COPY PROVIDED

DATE SUBMITTED: 11/21/2008 BY: Jonathan D. Niski, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



November 24, 2008

Ronald Ray Bohannon, P.E.
Tierra West, LLC.
5571 Midway Park Place N.E.
Albuquerque, NM 87109

**Re: Compass Bank @ 98th & Sage, 9500 Sage Road SW,
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 05/08/07 (M-09/D025B)
Certification dated 11/21/08**

Mr. Bohannon,

PO Box 1293

Based upon the information provided in your submittal received 11/21/08, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

NM 87103

Sincerely,

Timothy E. Sims
Plan Checker-Hydrology,
Development and Building Services

www.cabq.gov

C: CO Clerk—Katrina Sigala
File

DRAINAGE AND TRANSPORTATION SHEET
(REV. 1/28/2003rd)

PROJECT TITLE: Tract A-1-E Town of Atrisco Grant Unit 7
 DRB #: 1005242 EPC #: _____

ZONE MAP/DRG. FILE # M9-D25 B.
 WORK ORDER #: _____

LEGAL DESCRIPTION Tract 1A, ROW 1, UNIT 1 West of Westland
 CITY ADDRESS: 9500 Sage Road SW

ENGINEERING FIRM: Tierra West, LLC
 ADDRESS: 5571 Midway Park Place
 CITY, STATE: Albuquerque, NM

CONTACT: Ron Bohannon
 PHONE: (505) 858-3100
 ZIP CODE: 87109

OWNER: Compass Bank
 ADDRESS: 15 South 20th Street
 CITY, STATE: Birmingham, AL

CONTACT: Steve Kirkpatrick
 PHONE: 205-297-5158
 ZIP CODE: 35233

ARCHITECT: KPS Group
 ADDRESS: 2101 1st Avenue
 CITY, STATE: Birmingham, AL

CONTACT: Ross McCain
 PHONE: (204) 251-0125
 ZIP CODE: 35203

SURVEYOR: Precision Surveys, Inc.
 ADDRESS: 8500-A Jefferson Street NE
 CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano
 PHONE: (505) 856-5700
 ZIP CODE: 87113

CONTRACTOR: Global Structures
 ADDRESS: 510 Candelaria NE
 CITY, STATE: Albuquerque, NM

CONTACT: Daniel Pruitt
 PHONE: 505-343-0990
 ZIP CODE: 87107

CHECK TYPE OF SUBMITTAL:

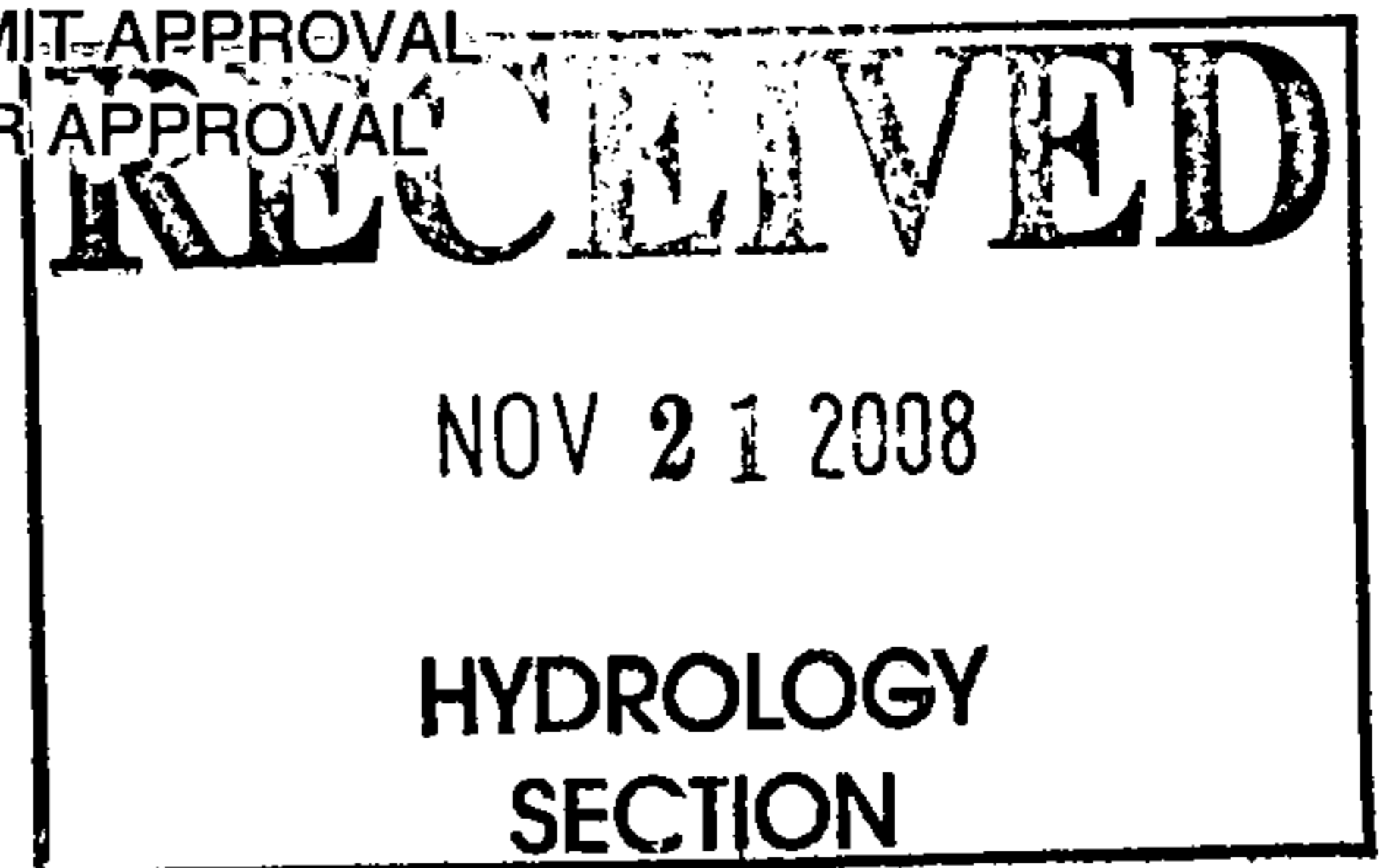
- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEERS CERTIFICATION (TCL)
- ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- OTHER

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- PRELIMINARY PLAT APPROVAL
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- S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM.)
- CERTIFICATE OF OCCUPANCY (TEMP.)
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- YES
- NO
- COPY PROVIDED

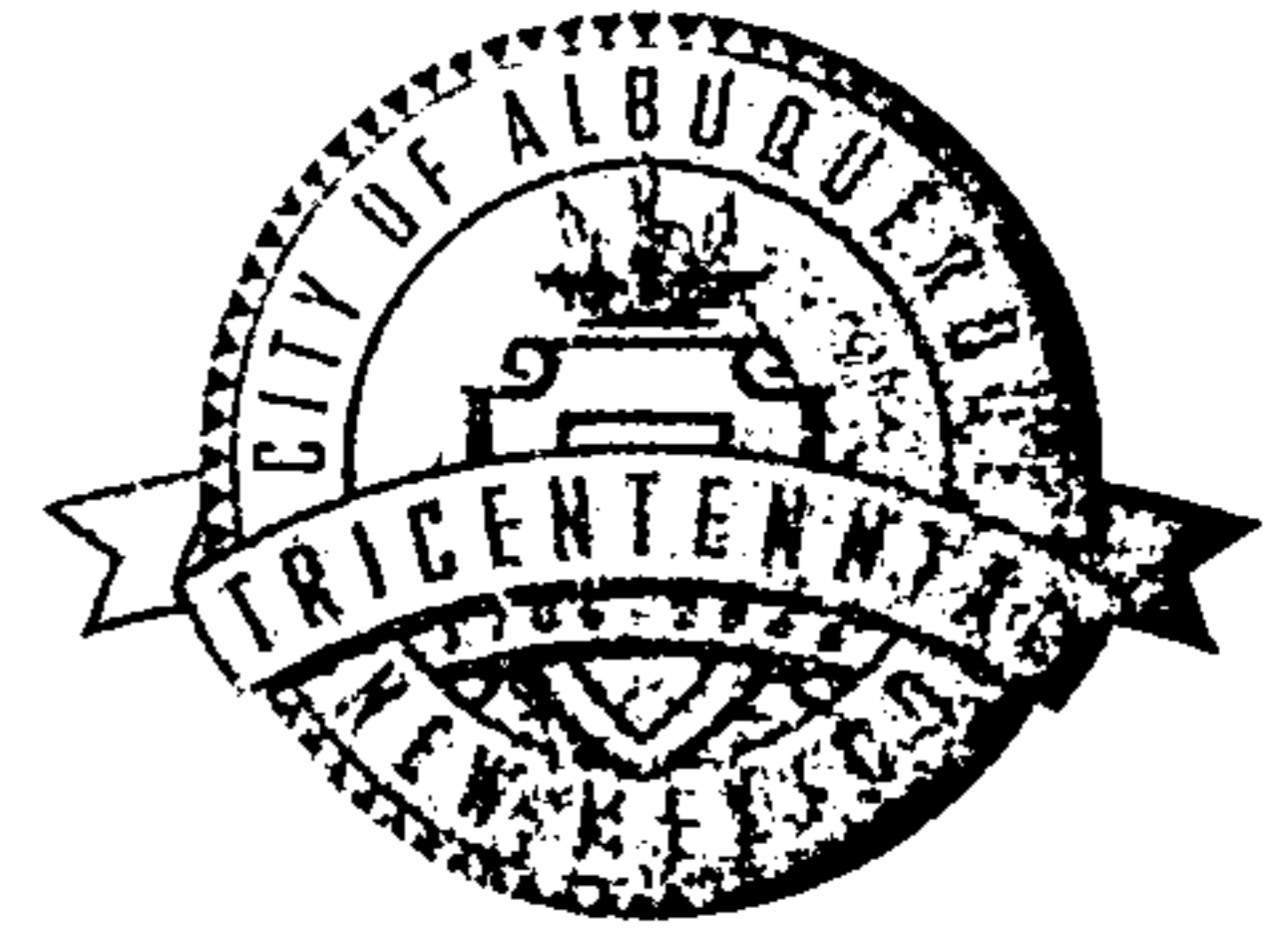


DATE SUBMITTED: 11/21/2008 BY: Jonathan D. Niski, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



May 16, 2007

FAXED
12/20/07
JS

Ronald R. Bohannon, P.E.
Tierra West, LLC.
5571 Midway Park Place NE
Albuquerque, NM 87109

Re: Tracts 7A and 7B of the renaissance Center
Engineer's Stamp dated 5-8-07, (M9/D25B ①)

Dear Mr. Bohannon,

Based upon the information provided in your submittal received on May 9, 2007, the above referenced plan is approved for Building Permit. Please attach a copy of this letter and the approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

This project will also require a National Pollutant Discharge Elimination System (NPDES) permit. Inquiries regarding this permit should be directed to Sertil Kandar at 768-3645. If you have any questions or need additional information, feel free to contact me at 924-3990.

Sincerely,

Jeremy Hoover, P.E.
Senior Engineer
Hydrology Section
Development and Building Services

cc: file (M9/D25B)

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



May 16, 2007

Ronald R. Bohannon, P.E.
Tierra West, LLC.
5571 Midway Park Place NE
Albuquerque, NM 87109

Re: Tracts 7A and 7B of the renaissance Center
Engineer's Stamp dated 5-8-07, (M9/D25B ②)

Dear Mr. Bohannon,

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Sincerely,

A handwritten signature in black ink, appearing to read "Jeremy Hoover".

Jeremy Hoover, P.E.
Senior Engineer
Hydrology Section
Development and Building Services

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

cc: file (M9/D25B)

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

(505) 858-3100
fax (505) 858-1118
May 2, 2007

twllc@tierrawestllc.com
1-800-245-3102

Mr. Bradley Bingham, PE
Public Works Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: Grading Plan and Building Permit Approval for
Compass Bank Snow Vista Boulevard & Sage Road
Zone Atlas M-9**

Dear Mr. Bingham:

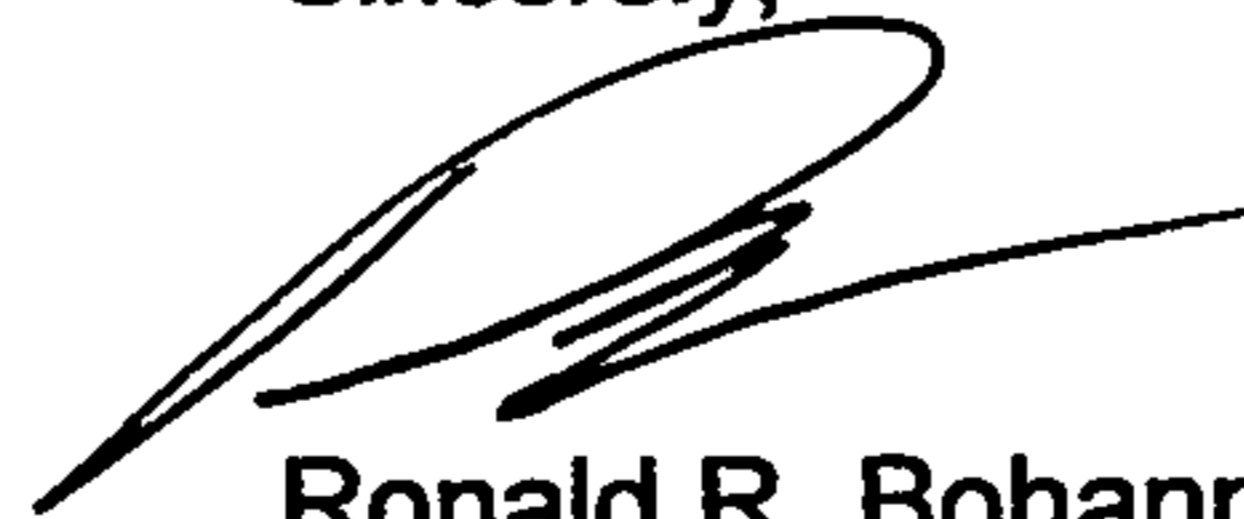
Tierra West, LLC on behalf of KPS Group, requests Grading Plan and Building Permit approval for a new 3600 sf bank which will be built in the existing Sage Marketplace commercial development. Sage Marketplace is located on the southeast corner of Snow Vista Boulevard and Sage Road. There is an approved Grading and Drainage Plan (M9-D25) for Sage Marketplace dated 11-8-05.

The Sage Marketplace development is approximately 9.98 acres. The bank lot makes up 1.12 acres of that development. According to the previously approved Drainage Report, the bank site lies in basin 5. Due to changes in the Site Plan from the original layout, the basin was slightly modified. The previously approved Drainage Report stated that no drainage would discharge to Sage Road. Due to the change in the layout there is approximately 0.85 cfs which will drain to Sage Road, as shown on the attached Grading and Drainage Plan.

The remaining portion of the basin still drains as planned previously, to an existing drop inlet. From the inlet the drainage is conveyed via storm drain to an exiting detention pond located on the southeast corner of the Sage Marketplace site. From the detention pond the runoff drains, at a controlled rate, to an existing concrete channel then to Jenny Court. From Jenny Court the runoff discharges to Sapphire Street at Corriz Drive where it is intercepted by a series of seven Type C inlets.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

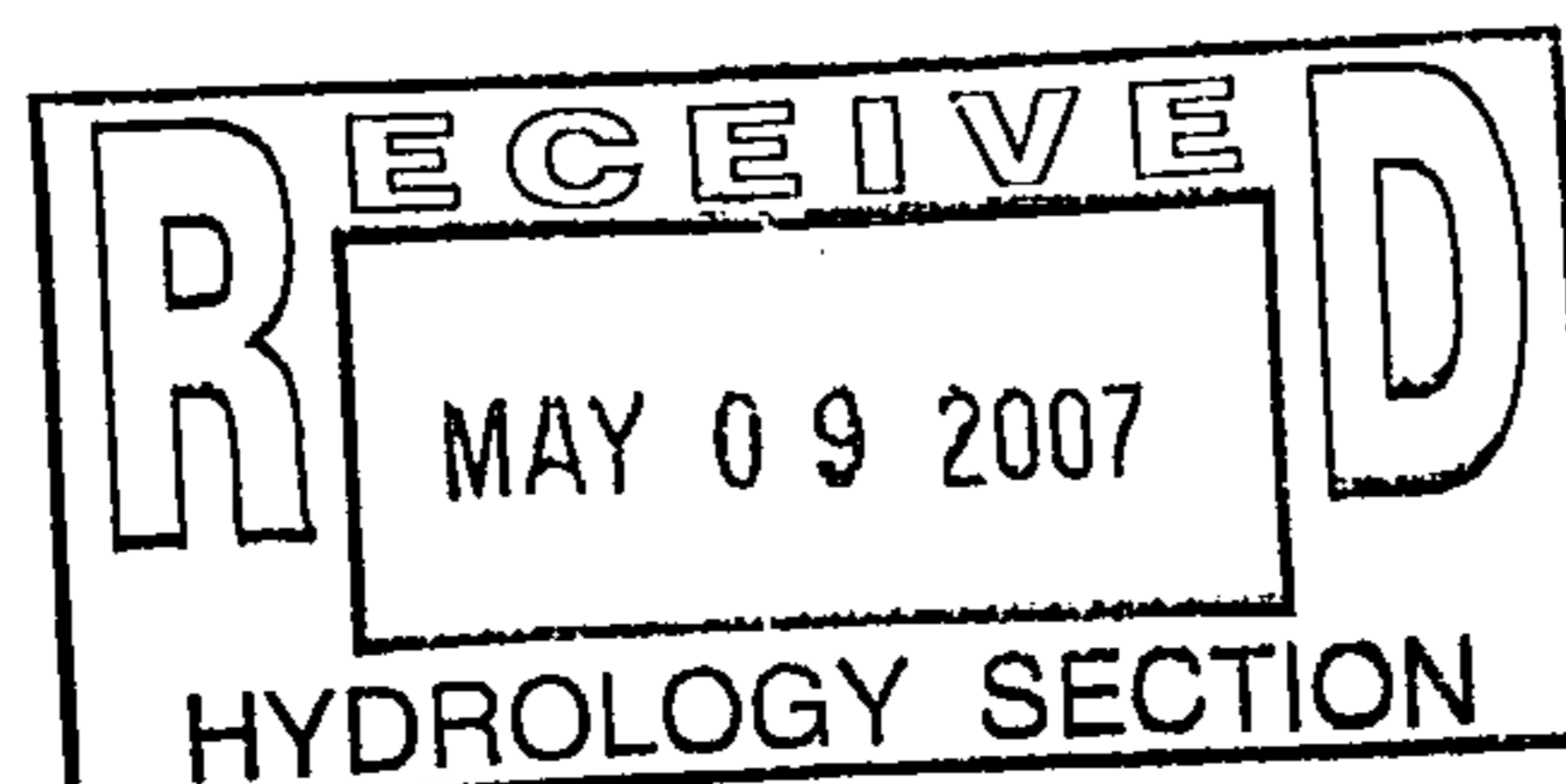


Ronald R. Bohannon, P.E.

Enclosure/s

cc: Ross McCain
Enclosure/s

JN: 26049
RRB/cla



DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Compass Bank
Tract A-T-E Town of Atrisco Grant Unit 7
DRB # 1005242 EPC #: _____

ZONE MAP/DRG. FILE #: M9-D25 B
WORK ORDER #: _____

LEGAL DESCRIPTION: Tract 1A, ROW 1, UNIT 1 West of Westland
CITY ADDRESS: _____

ENGINEERING FIRM: Tierra West, LLC
ADDRESS: 5571 Midway Park Place
CITY, STATE: Albuquerque, NM

CONTACT: Ron Bohannon
PHONE: (505) 858-3100
ZIP CODE: 87109

OWNER: KPS Group, Inc.
ADDRESS: 2101 First Avenue North
CITY, STATE: Albuquerque, NM

CONTACT: Donald Simson
PHONE: (204) 251-0125
ZIP CODE: 35203

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: Precision Surveys, Inc.
ADDRESS: 8500-A Jefferson Street NE
CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano
PHONE: (505) 856-5700
ZIP CODE: 87113

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

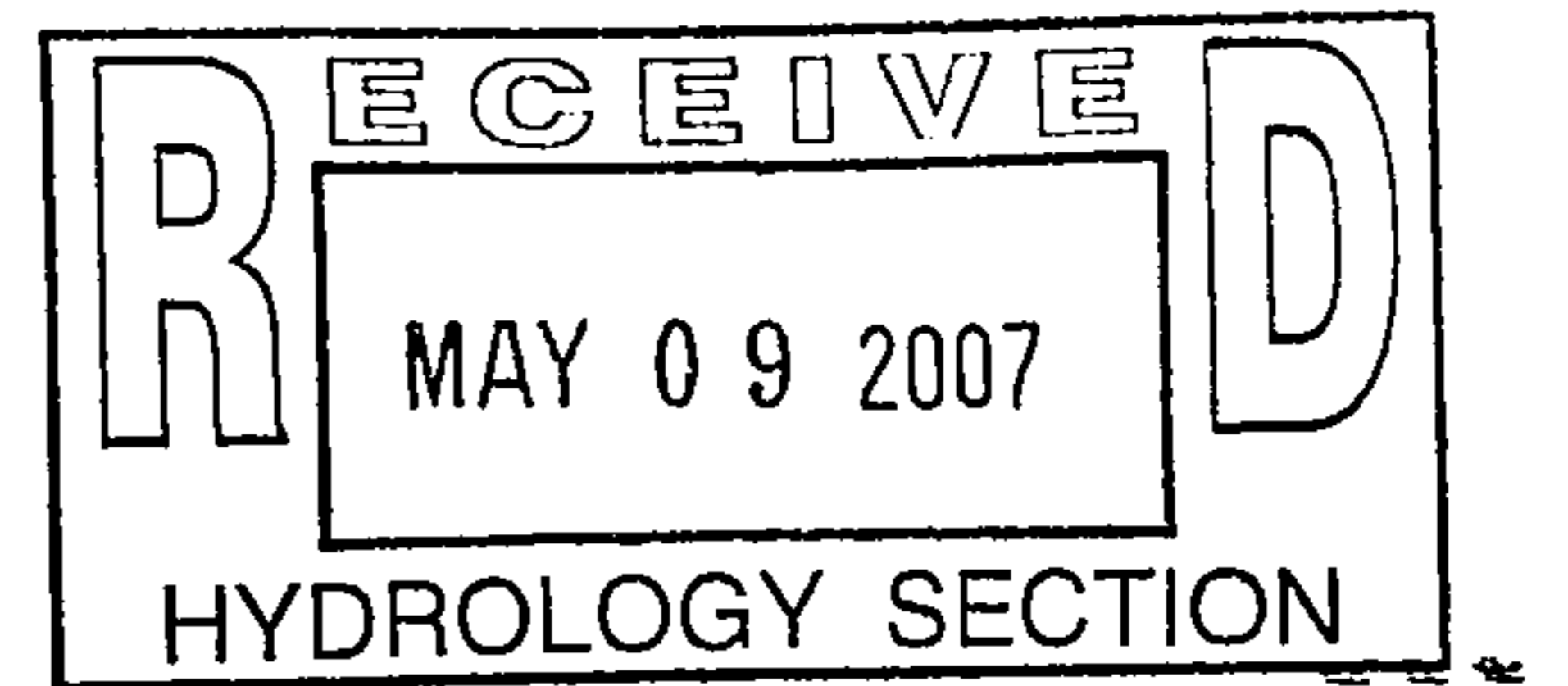
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- DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEERS CERTIFICATION (TCL)
- ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- OTHER

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- CERTIFICATE OF OCCUPANCY (TEMP.)
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- YES
- NO
- COPY PROVIDED



DATE SUBMITTED: 5/9/2007 BY: Sarah Abeyta

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME TIERRA WEST
AGENT _____
ADDRESS _____
PROJECT & APP # 98th & CENTRAL COMPASS BANK
PROJECT NAME COMPASS BANK

\$ _____ 441032/3424000 Conflict Management Fee
\$ _____ 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ 50.⁰⁰ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 50.⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

TIERRA WEST LLC
8509 JEFFERSON NE
ALBUQUERQUE, NM 87113
PH (505) 858-3100

2637
95-677/1070

DATE 5/10/07

PAY TO THE ORDER OF City of Albuquerque
Fifty and _____ \$ 50.00 ***

City of Albuquerque
Treasury Department
DOLLARS

HIGH DESERT STATE BANK
Member FDIC
8110 Ventura NE
Albuquerque, NM 87122

5/11/2007 8:26AM LOC: ANNY
RECEIPT# 00081588 WSH 007 TRANS# 0002
Account 441006 Fund 0110
Danna Bohannon TRSMSP
MP

FOR 26049 Drainage Review
⑈002637⑈ ⑆107006677⑆

201813
CHARGE \$50.00

Thank You