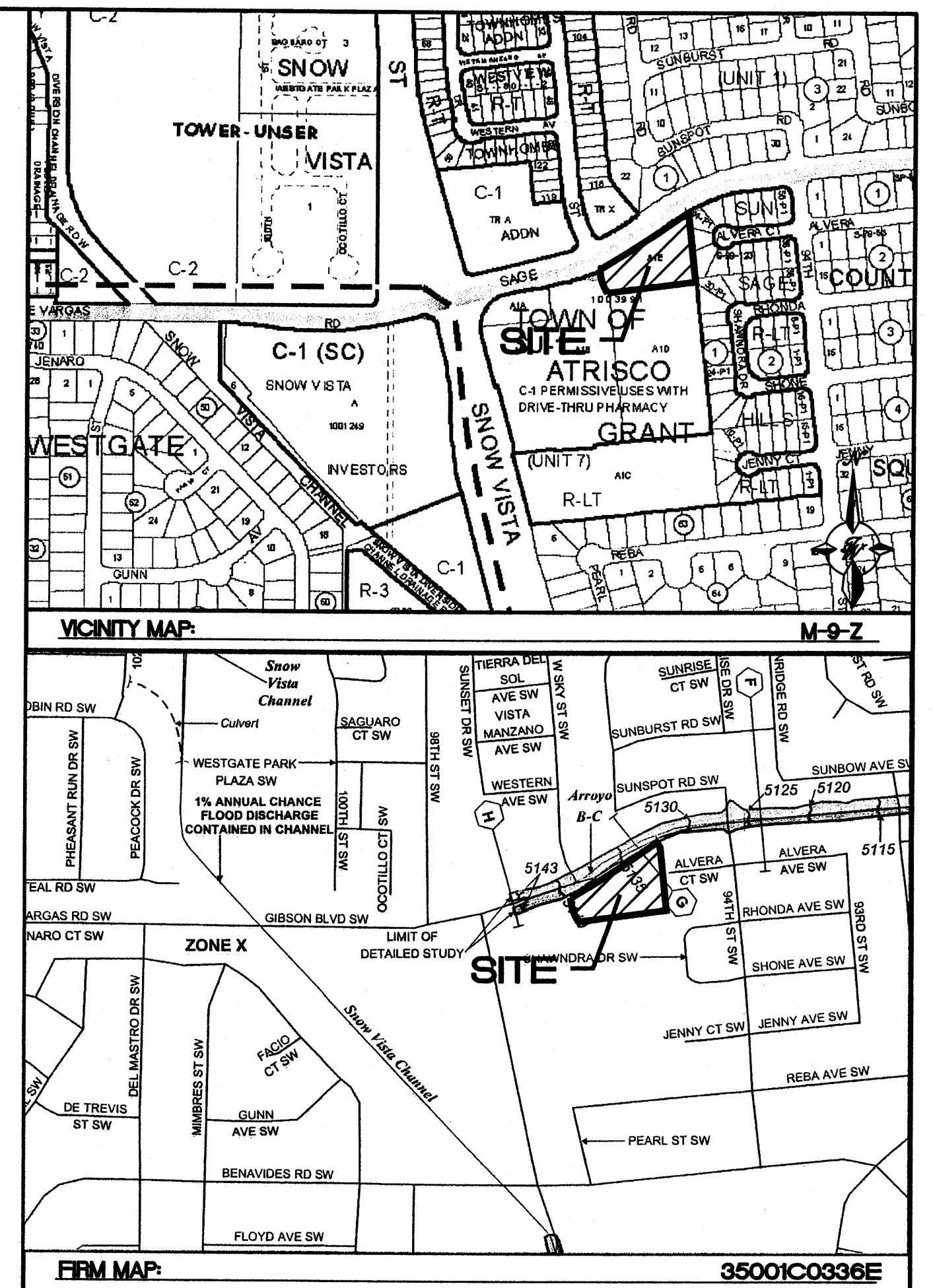
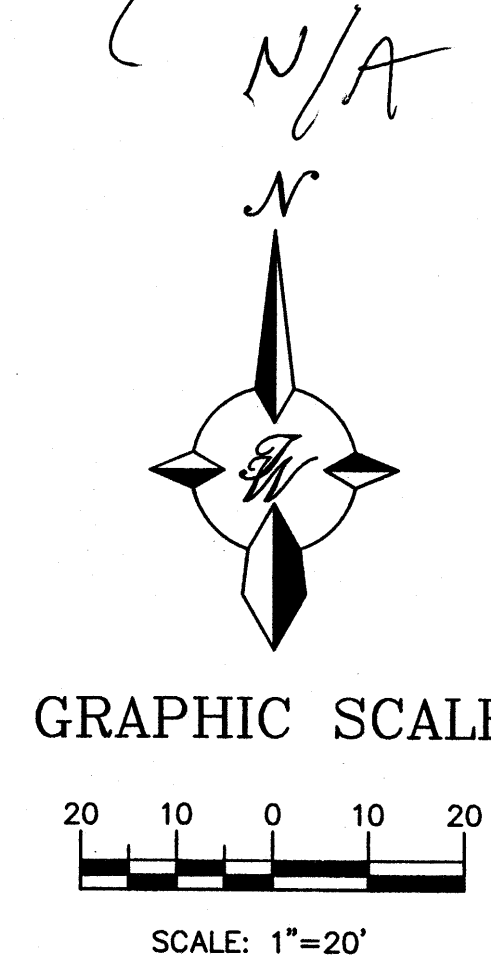


#### EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

- #### NOTICE TO CONTRACTORS
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
  2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
  3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
  4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
  6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
  7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		



#### LEGEND

- CONSTRUCTION BOUNDARY
- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED RETAINING WALL
- PROPOSED SIDEWALK
- 5011 --- EXISTING CONTOUR
- 5010 --- EXISTING INDEX CONTOUR
- x 5048.25 --- EXISTING SPOT ELEVATION
- 5011 --- PROPOSED CONTOUR
- 5010 --- PROPOSED INDEX CONTOUR
- x 5048.25 --- PROPOSED SPOT ELEVATION
- FLOW ARROW
- GRADE BREAK
- CONCRETE

ROUGH GRADING APPROVAL

DATE

<b>ENGINEER'S SEAL</b>  <b>RONALD R. BOHANNAN</b> P.E. #7868	<b>COMPASS BANK</b> <b>98TH AND SAGE</b> <b>MASTER GRADING</b> <b>AND DRAINAGE PLAN</b>	DRAWN BY ET
	<b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100	DATE 05/07/07
		SHEET # <b>C3</b>
		JOB # 26049

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HYDROLOGY SECTION

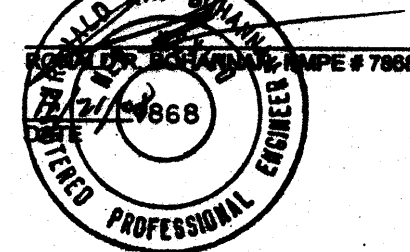


# DRAINAGE CERTIFICATION WITH SURVEY WORK DONE BY PROFESSIONAL SURVEYOR

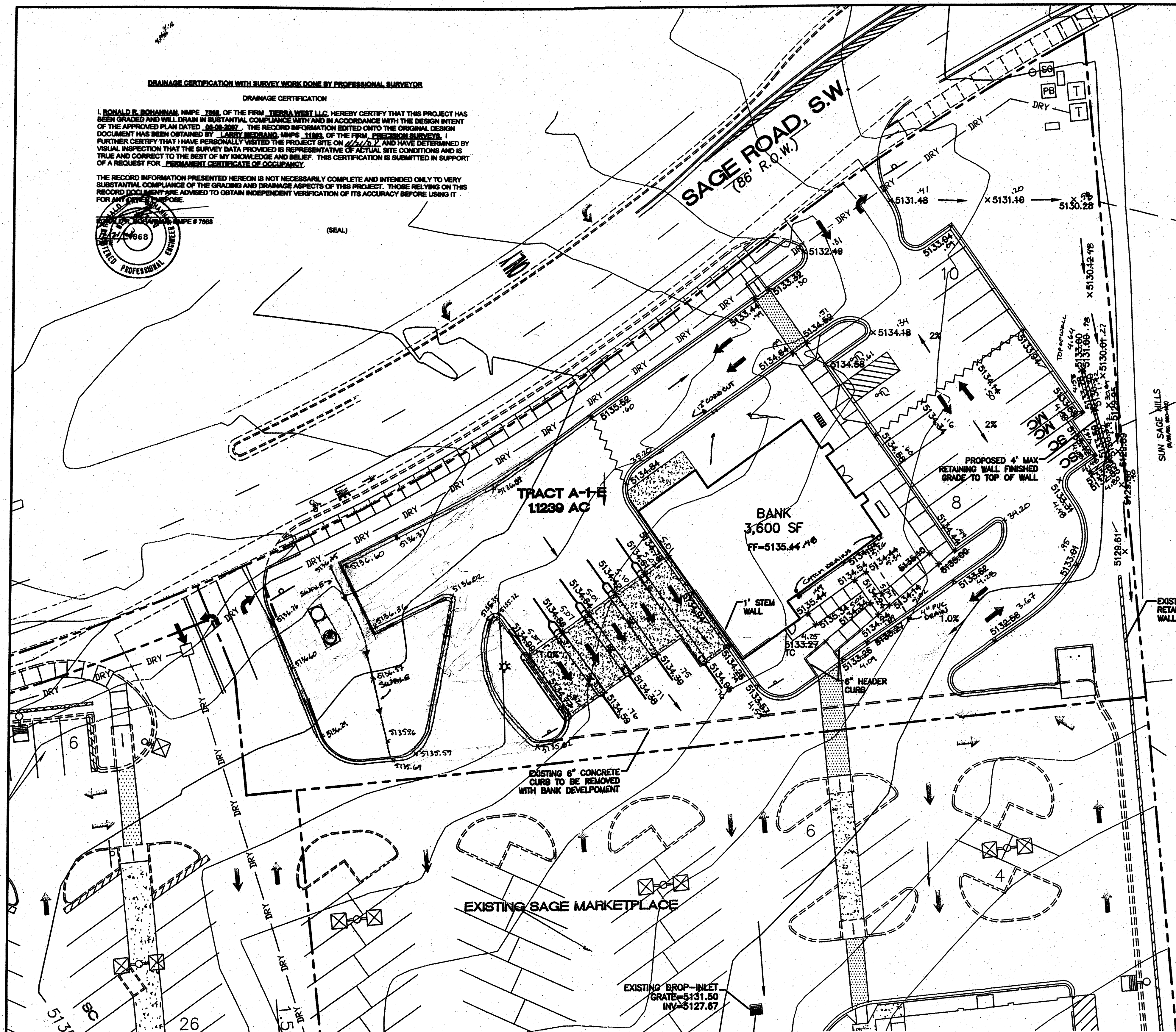
## DRAINAGE CERTIFICATION

I, RONALD R. BOHANNAN, N.M.P.E. 7868, OF THE FIRM TERRA WEST, L.L.C., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 05-06-2007. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY LARRY REISMAN, N.M.P.S. 11883, OF THE FIRM TERRA WEST, L.L.C., I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 04/24/07, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



(SEAL)



## EROSION CONTROL NOTES:

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7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

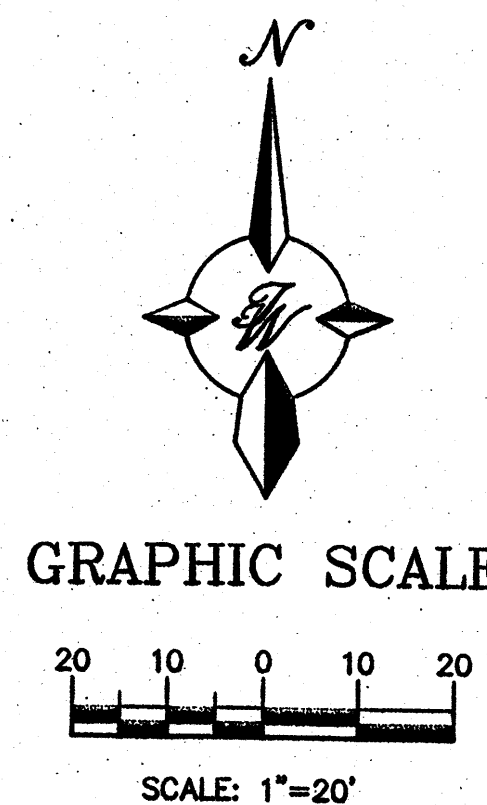
APPROVAL	NAME	DATE
INSPECTOR		

## LEGEND

---	CONSTRUCTION BOUNDARY
=====	EXISTING CURB & GUTTER
----	BOUNDARY LINE
----	EASEMENT
----	PROPOSED EASEMENT
----	PROPOSED SCREEN WALL
----	PROPOSED RETAINING WALL
=====	PROPOSED SIDEWALK
5011	EXISTING CONTOUR
5010	EXISTING INDEX CONTOUR
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5011	PROPOSED CONTOUR
5010	PROPOSED INDEX CONTOUR
x 5048.25	PROPOSED SPOT ELEVATION
→	FLOW ARROW
~~~~~	GRADE BREAK
▨	CONCRETE

ROUGH GRADING APPROVAL

DATE



<p>ENGINEER'S SEAL</p> <p>RONALD R. BOHANNAN P.E. #7868</p>	<p><b>COMPASS BANK</b> <b>98TH AND SAGE</b> <b>MASTER GRADING</b> <b>AND DRAINAGE PLAN</b></p>	<p>DRAWN BY ET</p>
	<p><b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100</p>	<p>DATE 05/07/07</p>
		<p>26049-GRB</p>
		<p>SHEET # <b>C3</b></p>

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NOV 2 2008  
HYDROLOGY  
SECTION



PROJECT NUMBER: \_\_\_\_\_

APPLICATION NUMBER: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division \_\_\_\_\_ Date \_\_\_\_\_

Bernalillo Co./Albuquerque Water Utility Authority \_\_\_\_\_ Date \_\_\_\_\_

Parks & Recreation Department \_\_\_\_\_ Date \_\_\_\_\_

City Engineer \_\_\_\_\_ Date \_\_\_\_\_

\* Environmental Health Department (conditional) \_\_\_\_\_ Date \_\_\_\_\_

Solid Waste Management \_\_\_\_\_ Date \_\_\_\_\_

DRB Chairperson, Planning Department \_\_\_\_\_ Date \_\_\_\_\_

\* Environmental Health, if necessary

### ADMINISTRATIVE AMENDMENT

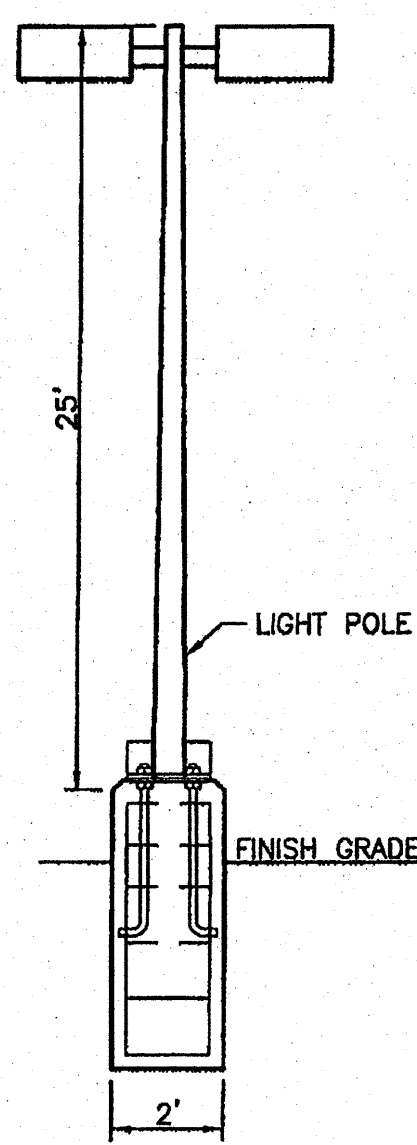
File # 08A-1118 Project # 1005242

Modified drive-thru  
by-pass lane layout.

Russell B. 19 Sept 08  
APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_

### LIGHT POLE DETAIL

NTS



PROPOSED CHEVRON STRIPING  
PER COA WORK ORDER -

SAGE ROAD S.W.  
(25' R.O.W.)

EXISTING 6' SIDEWALK

EXISTING 6' BIKE LANE

EXISTING UNIDIRECTIONAL HC RAMP

EXISTING PERSON SIGN

CONCRETE PAD FOR HVAC EQUIPMENT

EMPLOYEE PARKING ONLY 3 SPACES

EXISTING 6" CONCRETE  
HEADER CURB TO BE  
REMOVED WITH COMPASS  
BANK DEVELOPMENT

PROPOSED 4' HIGH  
(FG TO TW) TAN  
CMU RETAINING WALL

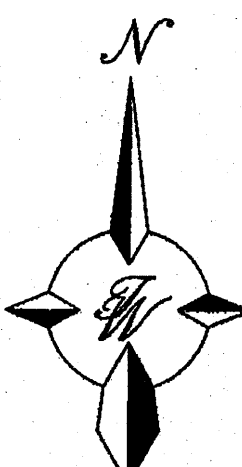
EXISTING 4' HIGH TAN  
CMU RETAINING WALL

### LEGEND

	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	PARKING LOT LIGHTS
	PROPOSED BUILDING
	PROPOSED SCREEN WALL
	PROPOSED RETAINING WALL
	EXISTING CURB & GUTTER
	EXISTING SIDEWALK
	EXISTING LANE
	EXISTING STRIPING
	SMALL CAR SPACE
	MOTORCYCLE SPACE
	CONCRETE

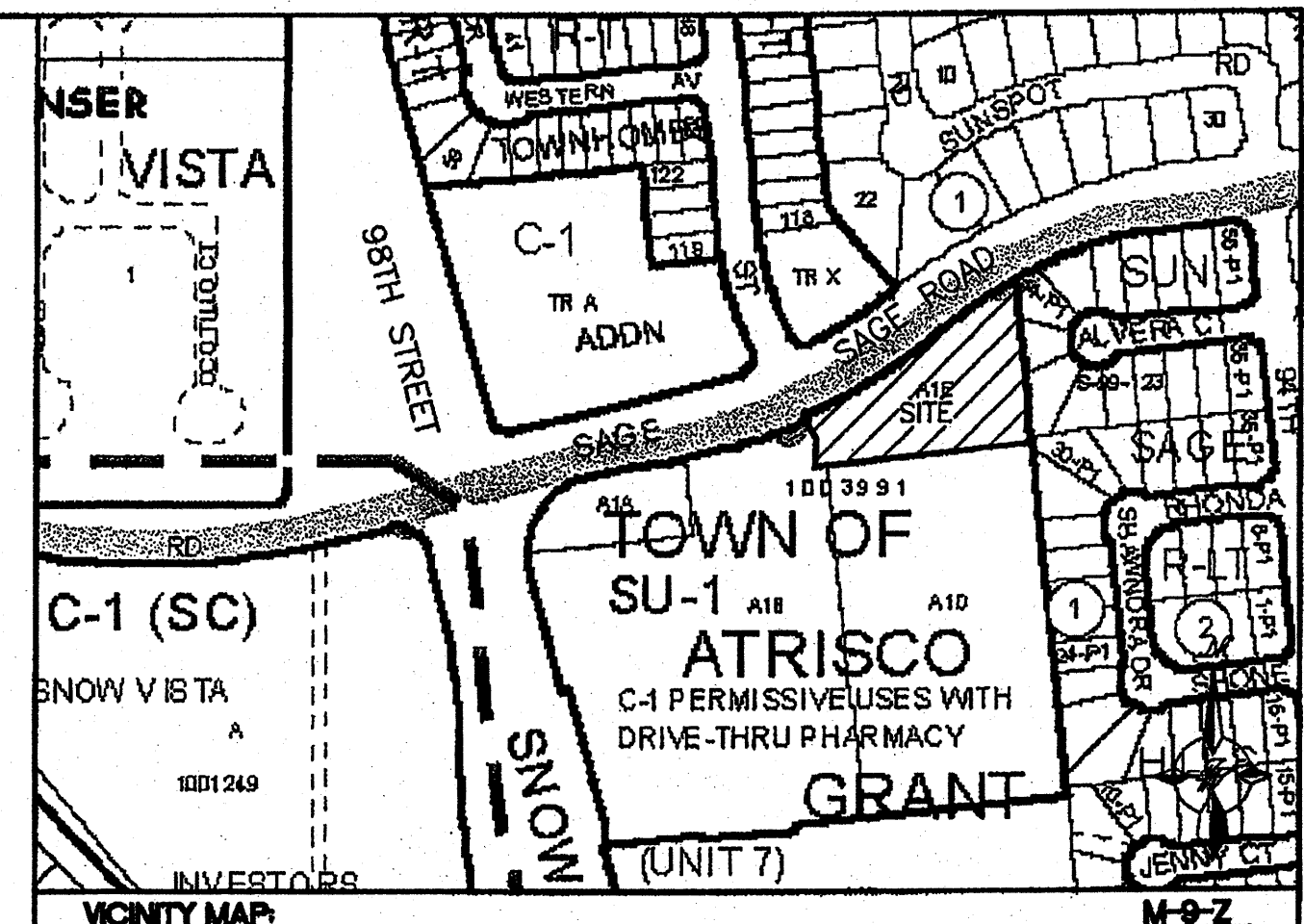
### KEYED NOTES

1. STD CURB AND GUTTER
2. EXISTING STOP SIGN
3. 8' WIDE CONCRETE SIDEWALK TYPICAL
4. HC RAMP
5. DUMPSTER ENCLOSURE (SEE DETAILS SHEET 7)
6. ACCESSIBLE PARKING SPACE TYPICAL (SEE DETAILS SHEET 7 FOR ACCESSIBLE PARKING SPACE SIZE, SIGN, AND SYMBOL) ("VAN" INDICATES VAN ACCESSIBLE SPACE)
7. 6' WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK
8. PAINTED DIRECTIONAL ARROW
9. 5 SPACE BIKE RACK TYPICAL
10. NEW STOP SIGN LOCATION
11. BENCH (6' WIDE BY 15" HIGH)
12. 5' WIDE CONCRETE SIDEWALK
13. "DO NOT ENTER" SIGN
14. "ONE WAY" SIGN
15. FUTURE MODIFICATIONS TO 8" STANDARD CURB AND GUTTER PER COA STD DWG 2415A TO BE COMPLETED BY COA.
16. 6" MEDIAN CURB AND GUTTER PER COA STD DWG 2415B, PER COA WORK ORDER -



GRAPHIC SCALE

SCALE: 1"=30'



### LEGAL DESCRIPTION

TRACT A-1-E TOWN OF ATRISCO GRANT, UNIT 7

### NOTES:


1. EXISTING COMMON STORM DRAINAGE, PEDESTRIAN, CROSS PARKING, AND VEHICULAR ACCESS ACROSS TRACTS GRANTED BY PLAT OF PARCELS A-1-A, A-1-B, A-1-C, A-1-D, AND A-1-E TOWN OF ATRISCO GRANT, UNIT 7, BK-2005C, PG-362.
2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
3. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
4. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
5. LIGHT POLES SHALL BE A MAXIMUM OF 25' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' FEET WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. LIGHT POLE LOCATIONS SHOWN FOR REFERENCE ONLY. REFER TO ARCHITECTURAL DRAWINGS FOR CORRECT LOCATIONS.
6. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
7. NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
8. SETBACKS: THERE SHALL BE A FRONT OR CORNER SIDE SETBACK OF NOT LESS THAN TEN FEET WHERE THE LOT IS ACROSS THE STREET FROM THE FRONT LOT LINE OF A FACING LOT IN A RESIDENTIAL ZONE. THIS SETBACK APPLIES TO ON AND OFF PREMISE SIGNS. THERE SHALL BE A SIDE OR REAR SETBACK OF NOT LESS THAN FIVE FEET WHERE THE SITE ABUTS THE SIDE OF A LOT IS A RESIDENTIAL ZONE. THERE SHALL BE A SIDE OR REAR SETBACK OF NOT LESS THAN 15 FEET WHERE THE SITE ABUTS THE REAR OF A LOT IN A RESIDENTIAL ZONE. THE CLEAR SIGHT TRIANGLE SHALL NOT BE INFRINGED UPON.
9. BUILDINGS CANNOT EXCEED THE HEIGHTS AS SPECIFIED IN THE C-1 ZONE OF THE COMPREHENSIVE CITY ZONING CODE.
10. BUS ROUTE 54 RUNS DOWN 98TH AND PAST THE SITE.
11. HIGHLY REFLECTIVE SURFACES ARE NOT PERMITTED ON THE CANOPY. ALL UNDER CANOPY LIGHTS MUST BE FULLY RECESSED SO THAT NO PART OF THE LENS PROJECTS BELOW THE SURFACE OF THE UNDERSIDE CANOPY. SITE LIGHTING MUST MEET NIGHT SKY ORDINANCE.

### SITE DATA

PROPOSED USAGE:	BANK
EXISTING ZONING:	SU-1 FOR C-1 PERMISSIVE USES WITH DRIVE THRU PHARMACY
LOT AREA:	48957 SF (1.1239 ACRE)
BUILDING AREA:	3,600 SF
PARKING PROVIDED:	21 SPACES
PARKING REQUIRED:	18 SPACES
HC PARKING PROVIDED:	2 SPACES
HC PARKING REQUIRED:	1 SPACES 1 SPACES VAN ACCESSIBLE
MC PARKING PROVIDED:	2 SPACES
BIKE SPACES PROVIDED:	5 SPACES
BIKE SPACES REQUIRED:	2 SPACES

### INDEX TO DRAWINGS

- C1. AMENDED SITE PLAN FOR BUILDING PERMIT
- C2. APPROVED SITE PLAN FOR BUILDING PERMIT
- C3. MASTER GRADING PLAN
- C4. MASTER UTILITY PLAN
- C5. AMENDED LANDSCAPING PLAN
- CSA. APPROVED LANDSCAPING PLAN

1	06/06/08	SHIFTED DRIVE THRU CANOPY 3'± TO EAST PER ARCHITECT	SA/ET
NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL	COMPASS BANK 98TH AND SAGE AMENDED SITE PLAN FOR BUILDING PERMIT		DRAWN BY ET
			DATE 8-25-08
			26049-SPB
			SHEET #
	 <b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100		C1
DESIGNED BY: EDP/RYO/DMN P.E. #76882			JOB # 26049

NOV 24 2008

HYDROLOGY  
SECTION



PROJECT NUMBER: 1005242  
APPLICATION NUMBER: 07 DRB-00601

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 5/23/07, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

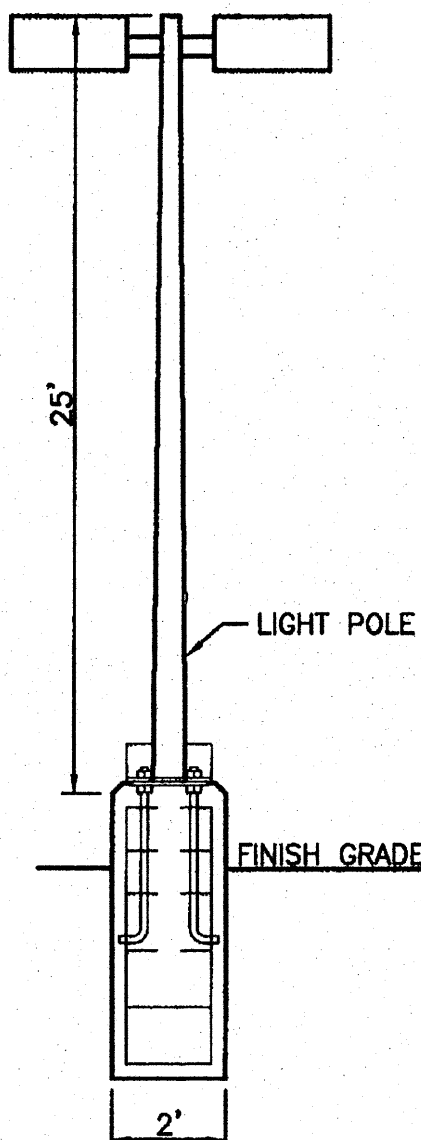
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineer, Transportation Division	2/21/08
Date	
Water Utility Development	5-23-07
Date	
Christina Sandoval	5/23/07
Parks & Recreation Department	Date
Bradley A. Dwyer	2/21/08
City Engineer	Date
N/A	
Environmental Health Department (conditional)	Date
Joe Redondo	2-22-08
Sanitary Management	Date
Andrew Smith	5/23/07
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary

Stephanie Mundy, Planner 6/13/07

LIGHT POLE DETAIL  
NTS

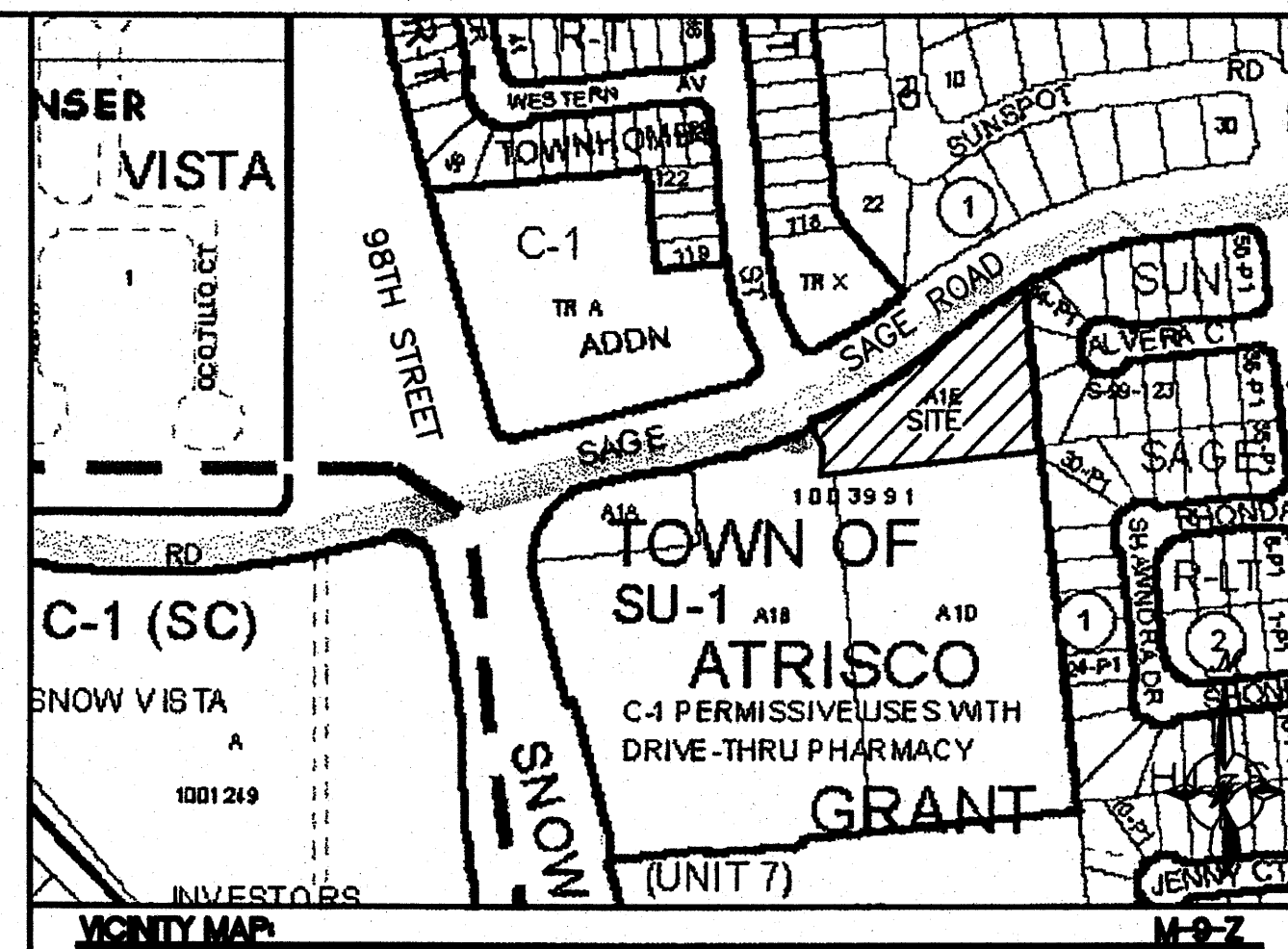


LEGEND

PROPOSED CURB & GUTTER
BOUNDARY LINE
EASEMENT
PROPOSED SIDEWALK
PARKING LOT LIGHTS
PROPOSED BUILDING
PROPOSED SCREEN WALL
PROPOSED RETAINING WALL
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EXISTING LANE
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MC MOTORCYCLE SPACE
CONCRETE

KEYED NOTES

- 6" CONCRETE HEADER CURB
- EXISTING STOP SIGN
- 8' WIDE CONCRETE SIDEWALK TYPICAL
- HC RAMP
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LEGAL DESCRIPTION

TRACT A-1-E TOWN OF ATRISCO GRANT, UNIT 7

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- C2. APPROVED SITE PLAN FOR SUBDIVISION
- C3. MASTER GRADING PLAN
- C4. MASTER UTILITY PLAN
- C5. LANDSCAPING PLAN
- C5A. LANDSCAPING PLAN
- C6. BUILDING ELEVATIONS
- C7. DETAILS

ENGINEER'S SEAL	COMPASS BANK 98TH AND SAGE SITE PLAN FOR BUILDING PERMIT	DRAWN BY ET
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100	DATE 06/12/07
		26049-SPB
		SHEET # C1
		JOB # 26049

