



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_\_# OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

**IS THIS A RESUBMITTAL?:** \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

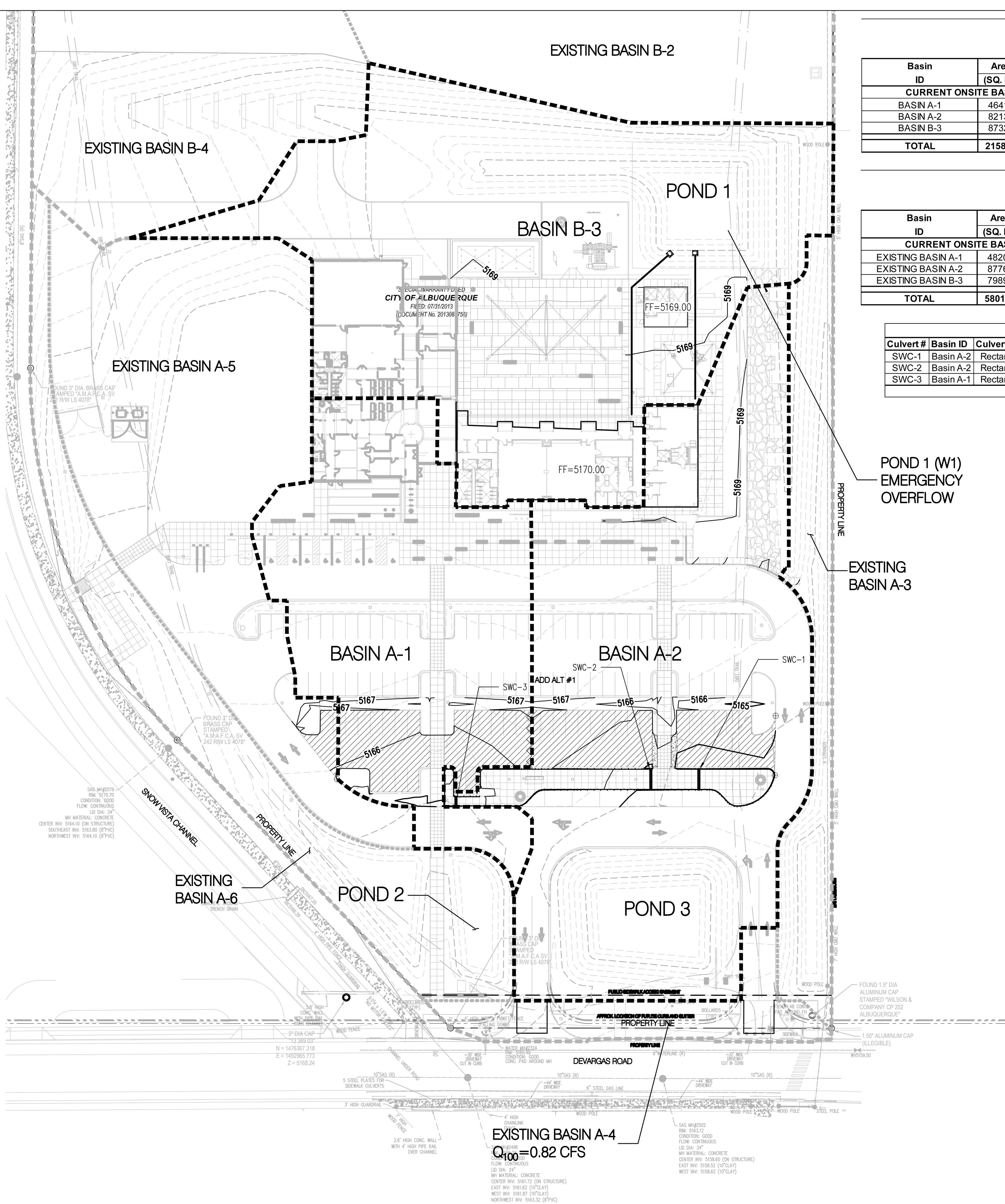
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



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#### WESTGATE COMMUNITY CENTER - PHASE 2

##### Proposed Developed Conditions Basin Data Table

This table is based on the DPM Section 6-2, Zone: 1

Basin ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100yr) (cfs/ac.)	Q(100yr) (CFS)	V(100yr) (inches)	V <sub>(100yr-6hr)</sub> (CF)	V <sub>(100yr-10day)</sub> (CF)	FIRST FLUSH (CF)
			A	B	C	D						
CURRENT ONSITE BASINS												
BASIN A-1	46418	1.07	0.0%	0.0%	15.0%	85.0%	3.93	4.19	2.05	7916	13604	1118
BASIN A-2	82139	1.89	0.0%	0.0%	20.0%	80.0%	3.87	7.30	1.98	13567	23040	1862
BASIN B-3	87327	2.00	0.0%	0.0%	55.0%	45.0%	3.43	6.88	1.53	11138	16803	1113
TOTAL	215884	4.96	-	-	-	-	-	18.37	-	69094	76422	34712

#### WESTGATE COMMUNITY CENTER - PHASE 2

##### Existing Developed Conditions Basin Data Table

This table is based on the DPM Section 22.2, Zone: 1

Basin ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100yr)	Q(100yr)	V(100yr)	V <sub>(100yr-6hr)</sub>	V <sub>(100yr-10day)</sub>	FIRST FLUSH
			A	B	C	D	(cfs/ac.)	(CFS)	(inches)	(CF)	(CF)	
CURRENT ONSITE BASINS												
EXISTING BASIN A-1	48209	1.11	0.0%	0.0%	15.0%	85.0%	4.15	4.59	1.82	7324	12344	1161
EXISTING BASIN A-2	87769	2.01	0.0%	0.0%	20.0%	80.0%	4.07	8.20	1.77	12975	21577	1989
EXISTING BASIN B-3	79899	1.83	0.0%	0.0%	60.0%	40.0%	3.47	6.36	1.38	9202	13117	906
TOTAL	580195	13.32	-	-	-	-	-	43.95	-	132517	120182	37135

#### SIDEWALK CULVERT TABLE

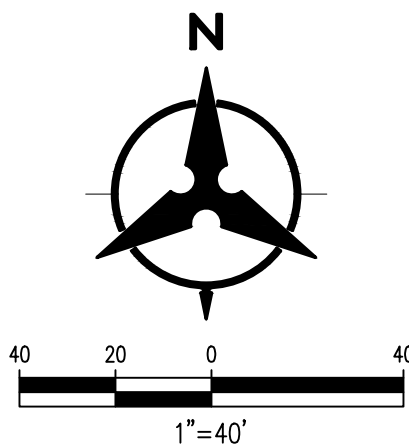
Culvert #	Basin ID	Culvert Type	Actual Flow	Capacity Weir (CFS)	Channel Width ft	Channel Height ft	Minimum Slope	Capacity Mannings (CFS)
SWC-1	Basin A-2	Rectangular	0.20	2.91	2	0.67	1.44%	10.00
SWC-2	Basin A-2	Rectangular	0.33	2.91	2	0.67	0.31%	4.64
SWC-3	Basin A-1	Rectangular	0.26	2.91	2	0.67	1.38%	9.79

Weir Eq:  $Q=2.65L(h^{1.5}) - **$

Capacity Based on Manning's Eq w/  $N=0.013 - *$

POND 1 (W1)  
EMERGENCY  
OVERFLOW

EXISTING  
BASIN A-3



#### POND DATA:

##### POND 1:

(BASIN B-1, B-2, B-3, B-4)  
VOLUME REQUIRED = 30,965 CF  
VOLUME PROVIDED = 33,561 CF  
TOP OF POND = 5168.00  
MAX WATER SURFACE ELEVATION = 5167.75  
EMERGENCY OVERFLOW ELEVATION = 5168.00

##### POND 2:

(BASIN A-1, A-5, A-6)  
VOLUME REQUIRED = 18,811 CF  
VOLUME PROVIDED = 9,585 CF  
TOP OF POND = 5164.50  
MAX WATER SURFACE ELEVATION = 5164.50\*  
\* POND OVERFLOWS TO POND 3 (OVERFLOW VOL=9226 CF)

##### POND 3: (FUTURE)

(BASIN A-2 & OVERFLOW OF BASIN A-1, A-5, A-6)  
VOLUME REQUIRED = 22528 CF  
VOLUME PROVIDED = 24,678 CF  
TOP OF POND = 5162.00  
MAX WATER SURFACE ELEVATION = 5161.25

#### LEGEND

---	PROPERTY LINE
---	LIMITS OF GRADING
---	EXISTING INDEX CONTOUR
---	EXISTING INTERMEDIATE CONTOUR
---	PROPOSED INDEX CONTOUR
---	PROPOSED INTERMEDIATE CONTOUR
---	PROPOSED MAJOR-BASIN
---	PROPOSED SUB-BASIN
---	EXISTING MAJOR-BASIN
---	EXISTING SUB-BASIN

100% CONSTRUCTION DOCUMENTS

## PROPOSED DRAINAGE NARRATIVE

#### INTRODUCTION:

WESTGATE COMMUNITY CENTER IS LOCATED NORTH OF DEVARGAS ROAD, EAST OF SNOW VISTA CHANNEL AND WEST OF 98TH STREET. WESTGATE COMMUNITY CENTER IS BEING CONSTRUCTED IN PHASES. THE FIRST PHASE IS CURRENTLY UNDER CONSTRUCTION. THE SECOND PHASE INCLUDES A NEW WING OF THE BUILDING ATTACHED TO PHASE 1 AS WELL AS COMPLETION OF THE PARKING LOT TO THE SOUTH. THE FIRST PHASE DESIGN AND ANALYSIS PLANNED FOR FUTURE PHASE 2 DEVELOPMENT. THE PURPOSE OF THIS SUBMITTAL IS TO PROVIDE A DRAINAGE MANAGEMENT PLAN FOR THE DEVELOPMENT OF THE WESTGATE COMMUNITY CENTER PHASE 2 AND REQUEST COA HYDROLOGY BUILDING & GRADING PERMIT APPROVAL.

#### EXISTING CONDITIONS:

THE SITE IS DIVIDED INTO 2 LARGE BASINS (BASIN A & BASIN B) GENERALLY SEPARATING THE SITE NORTH AND SOUTH. BASIN A IS LOCATED ON THE SOUTH PORTION OF THE SITE. THIS BASIN DRAINS FROM NORTH TO SOUTH AND CONTAINS A PORTION OF THE PHASE 1 BUILDING AS WELL AS THE PARKING LOT SOUTH OF THE BUILDING. BASIN A DISCHARGES INTO POND 2 & 3. POND 2 AND POND 3 ARE LOCATED ALONG THE SOUTHERN PROPERTY LINE. THESE PONDS ARE SIZED TO RETAIN THE VOLUME FROM SUB-BASINS A-1, A-2, A-5, & A-6. POND 2 IS UNDERSIZED AND OVERFLOW FROM THIS POND CONTINUES INTO POND 3. BASIN B IS LOCATED ON THE NORTH PORTION OF THE SITE. THIS BASIN IS PRIMARILY UNDEVELOPED AND WILL CONTINUE TO BE UNDEVELOPED. BASIN B DISCHARGES INTO POND 1. SEE APPROVED GRADING & DRAINAGE PLAN STAMPED AND DATED 10/01/2019 HYDROLOGY FILE # M090303.

FIRST FLUSH VOLUME IS RETAINED WITHIN THE 100YR-6HR STORM EVENT. THE SITE IS BORDERED TO THE WEST BY THE SNOW VISTA CHANNEL. THIS CHANNEL AND THE WESTGATE SITE, ARE NOT LOCATED WITHIN A FIRM DESIGNATED FLOOD ZONE (FEMA FIRM MAP #35001C0336H).

#### SITE HISTORY:

SEVERAL DRAINAGE REPORTS AND STUDIES HAVE INCLUDED THE SITE WITHIN THEIR ANALYSIS. SAD 222 DRAINAGE REPORT PREPARED BY THE LARKIN GROUP DATED 9/12/2000 STATES THAT THE INFRASTRUCTURE WITHIN THE TOWER/SAGE DRAINAGE BASIN WAS INITIALLY SIZED PRIOR TO THE ADOPTION OF AHMO. SINCE THE ADOPTION OF AHMO, IT WAS FOUND THAT THE RUNOFF CONTRIBUTING TO INFRASTRUCTURE WITHIN THE TOWER/SAGE DRAINAGE BASIN, INCLUDING THE 98TH STREET STORM DRAIN, WAS MORE THAN INITIALLY THOUGHT. THE STORM DRAIN WITHIN 98TH STREET WAS SIZED TO CARRY RUNOFF GENERATED WITHIN THE 98TH STREET RIGHT OF WAY. THE PROPERTY OWNERS ALONG THE WEST EDGE OF 98TH STREET BETWEEN TOWER ROAD AND DEVARGAS ROAD ARE NOT INCLUDED WITHIN THE ANALYSIS OF SAD 222 AS THEY WILL MANAGE THEIR OWN RUNOFF ONSITE. THE AMOLE HUBBELL DRAINAGE MANAGEMENT PLAN FINAL FACILITIES REPORT DATED 7/22/1999 NOTES SIMILAR DRAINAGE ISSUES WITHIN THE TOWER/SAGE DRAINAGE BASIN. PER THE REPORT, THE CITY OF ALBUQUERQUE HAS RESTRICTED NEW DEVELOPMENT TO A RUNOFF RATE OF 1.29 CFS/ACRE. THIS WAS PROPOSED TO ALLEVIATE THE ISSUES DOWNSTREAM OF THE SITE. A NEW AMOLE HUBBELL DRAINAGE REPORT PREPARED BY WILSON & CO DATED 3/26/14 REANALYZED THE AGING 1999 REPORT. THIS NEWER REPORT DESCRIBES THE SITE'S RUNOFF AS DISCHARGING AT THE NORTHWEST CORNER OF 98TH STREET AND DEVARGAS ROAD AS ANALYSIS POINT SV16 AT A RATE OF 181 CFS. THIS ANALYSIS POINT INCLUDES THE TRAILER PARK TO THE EAST AS WELL AS PROPERTY ALONG THE WESTERN SIDE OF 98TH STREET. THE SAD 222 REPORT PREVIOUSLY STATED THAT THESE PROPERTIES WILL MANAGE THEIR OWN RUNOFF ONSITE. THESE ARE CONTRADICTING STATEMENTS. FURTHER ANALYSIS OF THE AS-BUILT OF SAD 222 SHOW THAT THE STORM DRAIN WITHIN 98TH STREET WAS DESIGNED TO HAVE A CAPACITY OF 59.30 CFS. THIS FLOW IS SIGNIFICANTLY LESS THAN THE 181 CFS THAT THE 2014 AMOLE HUBBELL DRAINAGE REPORT DESCRIBES.

THE STORM DRAIN WITHIN 98TH STREET IS UNDER CAPACITY AND CANNOT HANDLE DEVELOPED FLOWRATES FROM THE WESTGATE COMMUNITY CENTER SITE. AFTER MEETING WITH COA HYDROLOGY ON 8/7/2018 AND RESEARCHING THE FOREMENTIONED REPORTS AND AS-BUILTS, IT WAS DETERMINED THAT THE SITE WILL BE REQUIRED TO RETAIN THE 100 YEAR - 6 HOUR STORM EVENT ONSITE.

#### METHODOLOGY:

THE ORIGINAL HYDROLOGIC ANALYSIS PROVIDED WITH THE PHASE 1 DRAINAGE MANAGEMENT PLAN WAS PREPARED IN ACCORDANCE WITH SECTION 22.2 OF THE OLD DPM. THE PHASE 2 ANALYSIS WAS DEVELOPED IN ACCORDANCE WITH CHAPTER 6 OF THE NEW DMP. AS SUCH, MINOR DISCREPANCIES MAY BE FOUND. THE SITE IS LOCATED WITHIN PRECIPITATION ZONE 1. LAND TREATMENT PERCENTAGES WERE CALCULATED BASED ON THE SITE CONDITIONS.

#### PROPOSED CONDITIONS:

THE EXISTING PONDS WERE SIZED FOR FUTURE DEVELOPMENT. WHEN THE PONDS WERE SIZED, FLOW PATHS WERE ASSUMED BASED ON THE KNOWN FUTURE DEVELOPMENT AT THE TIME. THE ASSUMED FLOW PATHS WERE ALTERED SLIGHTLY, AND AS SUCH AFFECTED 3 SUB-BASINS.

SUB-BASINS A-1 & A-2 SLIGHTLY DECREASED IN SIZE THEREFORE ACTUALLY PRODUCE LESS VOLUME AND RUNOFF THAN IN EXISTING CONDITIONS. THE NEW ASPHALT PARKING LOT INCLUDED WITHIN THESE BASINS WAS ACCOUNTED FOR IN THE PHASE 1 DRAINAGE MANAGEMENT ANALYSIS.

SUB-BASIN B3 INCREASED IN SIZE. THE EXISTING 100 YEAR-6 HOUR STORM VOLUME WAS 9,202 CF. THE PROPOSED 100 YEAR-6 HOUR STORM VOLUME IS 11,138 CF. THIS IS AN INCREASE OF 1,935 CF. THE VOLUME REQUIRED IS NOW 30,965 CF, WHICH IS LESS THAN THE VOLUME PROVIDED. SEE POND DATA THIS SHEET FOR MORE INFORMATION.

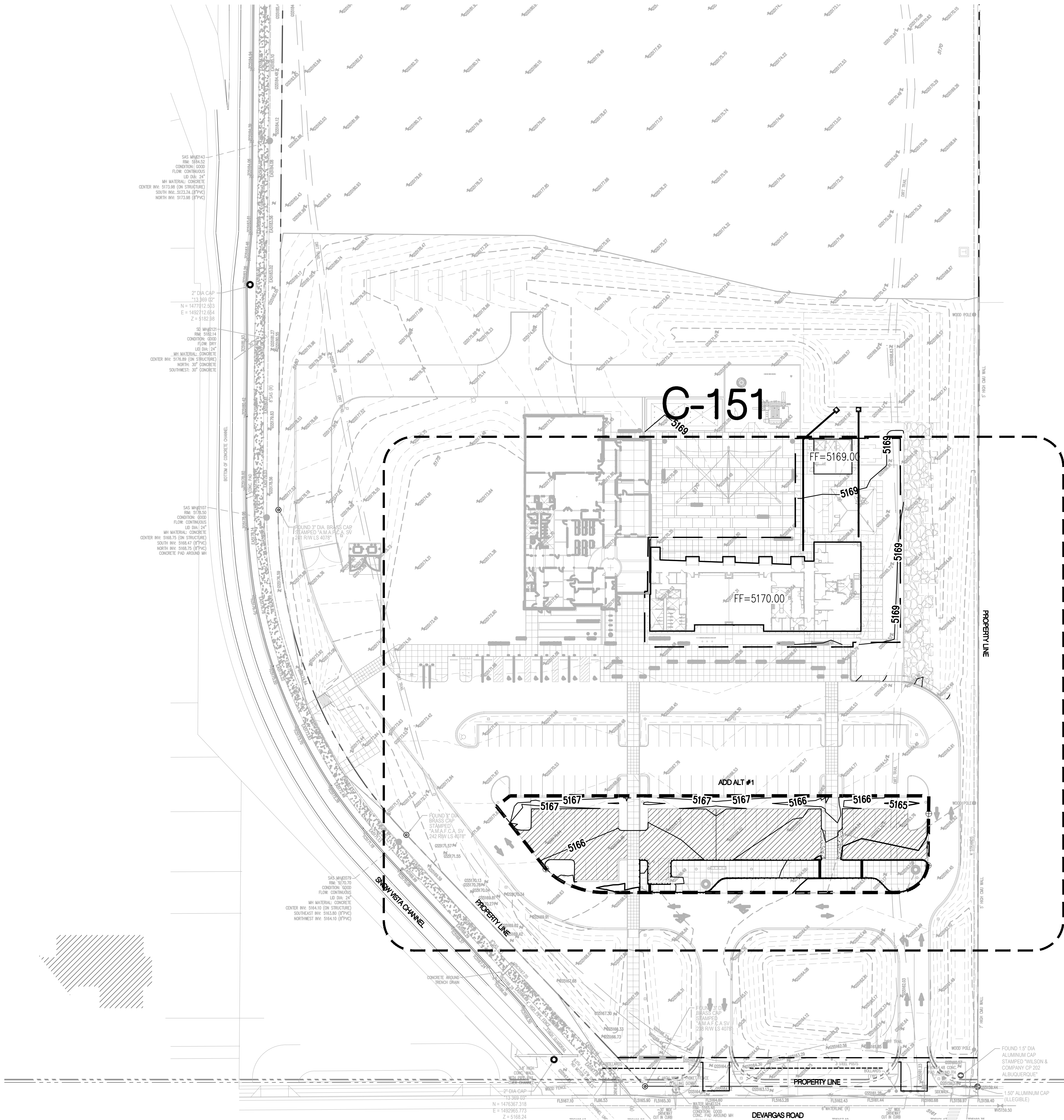
#### CONCLUSION:

THE SITE RETAINS THE 100 YEAR-6 HOUR STORM EVENT. THEREFORE, WE ARE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE HYDROLOGY REQUIREMENTS AND REQUEST BUILDING & GRADING PERMIT APPROVAL.

NO.	DATE	REVISIONS	CHECKED BY:
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2412 MILES ROAD SE ALBUQUERQUE, NM 87106 505.842.8865 FAX 842.1693 lee@lganm.com			
WESTGATE COMMUNITY CENTER Albuquerque, New Mexico			
PROJECT ARCHITECT: LEE GAMESKY, AIA		Project #:	16-01-A
		Date:	09/23/2022
DRAINAGE MANAGEMENT PLAN			
By:		Sheet:	Of:
File:		C-001	



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## LEGEND

- PROPERTY LINE
- LIMITS OF GRADING
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- EXISTING GROUND SPOT ELEVATION
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- PROPOSED FINISHED GRADE SPOT ELEVATION
- PROPOSED TOP OF CURB, FL=FLOW LINE, TS=TOP OF SIDEWALK, TG=TOP OF GRATE, FGH=FINISH GROUND HIGH, FGL=FINISH GROUND LOW
- PROPOSED CURB & GUTTER
- DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLETS
- SWALE FLOWLINE
- TOP OF BERM
- GRADE BREAK
- LIMITS OF PHASE II
- LIMITS OF ADD ALTERNATE #1

### NOTE

CONTRACTOR SHALL PROVIDE AS-BUILT GRADING INFORMATION STAMPED BY A PROFESSIONAL SURVEYOR. AS-BUILT INFORMATION REQUIRED SHALL BE COORDINATED WITH THE ENGINEER AND SHALL BE SUFFICIENTLY DETAILED TO VERIFY THAT THE DRAINAGE WILL FUNCTION IN ACCORDANCE WITH THE DESIGN. AS-BUILT DATA SHALL BE PROVIDED AT LEAST 5 WORKING DAYS PRIOR TO CONTRACTOR'S REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY. AT A MINIMUM, AS-BUILT DATA SHALL INCLUDE:

- ALL GRATES AND INVERTS OF CATCH BASINS
- APPROXIMATELY 75% OF ALL DESIGN SPOT ELEVATIONS & FINISHED FLOOR ELEVATIONS.

### NOTE

HDPE PIPE AND FITTINGS SHALL BE INSTALLED AND BACKFILLED PER MANUFACTURER SPECIFICATIONS. CONNECTIONS TO CONCRETE MANHOLES AND CONCRETE DROP INLETS SHALL USE WATER STOP GASKETS AND SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS

### NOTE

ENDS OF ALL STORM DRAIN PIPES, CULVERTS, & CMP END SECTIONS (LARGER THAN 12") SHALL BE COVERED WITH STEEL BARS APPROXIMATELY 12" SQUARE. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL. HYDRAULIC INTEGRITY SHALL NOT BE COMPROMISED. BARS TO BE PAINTED TO MATCH BUILDING.

### NOTE

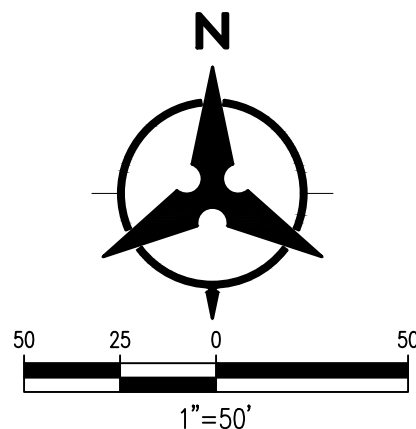
SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 1.0% AND A MAXIMUM OF 2.0%

### NOTE

RESEED ALL DISTURBED AREAS, INCLUDING STAGING AREAS, PER COA SPEC SECTION 1012.

### NOTE

REFER TO GEOTECH REPORT ADDENDUMS #1, 2, AND 3 FOR BUILDING PAD REQUIREMENTS.



100% CONSTRUCTION DOCUMENTS

**Bohannon & Huston**  
www.bhinc.com 800.877.5332

## GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS SHALL APPLY.
  - THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  - TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
  - ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
  - THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
  - CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
  - OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
  - THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
  - ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
  - THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
  - ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
  - THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
  - THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.
  - THE CONTRACTOR SHALL PROVIDE 1 HARD COPY AND 1 ELECTRONIC COPY OF THE EPA STORM WATER POLLUTION PREVENTION PLAN ALONG WITH THE APPROPRIATE SUBMITTAL FEE TO CITY OF ALBUQUERQUE TWO WEEKS PRIOR TO THE START OF SITE DISTURBANCE.
- ### GRADING NOTES
- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
  - THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
  - ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION." ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
  - EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
  - IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
  - THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
  - A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
  - PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
  - VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

NO.	DATE	REVISIONS	CHECKED BY:

LEE GAMESKY ARCHITECTS P.C.

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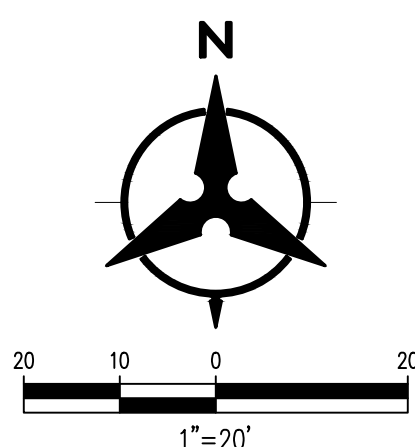
**WESTGATE COMMUNITY CENTER**  
Albuquerque, New Mexico

PROJECT ARCHITECT: LEE GAMESKY, AIA	Project #: 16-01-AL Date: 09/23/2022
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OVERALL CIVIL PLAN

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**Bohannon**  **Huston**  
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