

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 27, 2022

Matt Satches, P.E.
Bohannon Huston, Inc.
7500 Jefferson St NE
Albuquerque, NM 87109

RE: Westgate Community Center Phase II
10001 De Vargas Road SW 87121
Grading and Drainage Plan
Engineer's Stamp Date: 12/22/2022
Hydrology File: M09D030

Dear Mr. Satches,

Based upon the information provided in your submittal received 12/22/2022, the Grading & Drainage Plan is approved for Building Permit approval. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

Albuquerque

PRIOR TO CERTIFICATE OF OCCUPANCY:

NM 87103

Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3695 or tchen@cabq.gov.

Sincerely,

Tiequan Chen, P.E.
Principal Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

December 22, 2022

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

Tiequan Chen, P.E. CFM
Principal Engineer, Hydrology
Planning Department
Development Review Services
PO Box 1293
Albuquerque, NM 87103

RE: Westgate Community Center Phase II
10001 De Vargas Road SW 87121
Grading and Drainage Plan
Engineer's Stamp Date: 10/21/2022
Hydrology File: M09D030

Dear Tiequan,

- Please provide the Benchmark information (location, description and elevation) for the survey contour information provided. Add parking lot symbol in Legend.
 - *Response: We have provided the Benchmark information including the location, description, and elevation to sheet C-150. Additionally we have added a parking lot symbol to the Legend on page C-150 as well.*
- Please provide the FEMA FIRM map and the vicinity map showing the location of the site.
 - *The FEMA FIRM map has been added to sheet C-001 and a hatched area detailing the exact project location has been called out on the map as well.*
- Sheet C-001: The total numbers (highlighted) for both proposed and existing conditions do not match with the summary of the sub-basins' numbers. Please verify. Has pond 3 already been built? If so, delete "Future" in pond data table. Indicate the sidewalk culverts locations or delete the sidewalk culvert table if they are not a part of this phase.
 - *The populated quantities for Pond 1's required volume is based on the summation of the volumes for Basins B-1, B-2, and B-4 from already approved Phase I Drainage Management Plan in addition to Basin B-3 which can be seen on sheet C-001. Adding these values together we can see that the total volume required for Pond 1 is equal to $1554 \text{ CF} + 13914 \text{ CF} + 11138 \text{ CF} + 4359 \text{ CF} = 30965 \text{ CF}$ which is what is shown on sheet C-001.*
 - *The populated quantities for Pond 2's required volume is based on the summation of the volumes for Basins A-5 and A-6 from the already approved Phase I Drainage Management Plan in addition to Basin A-1*

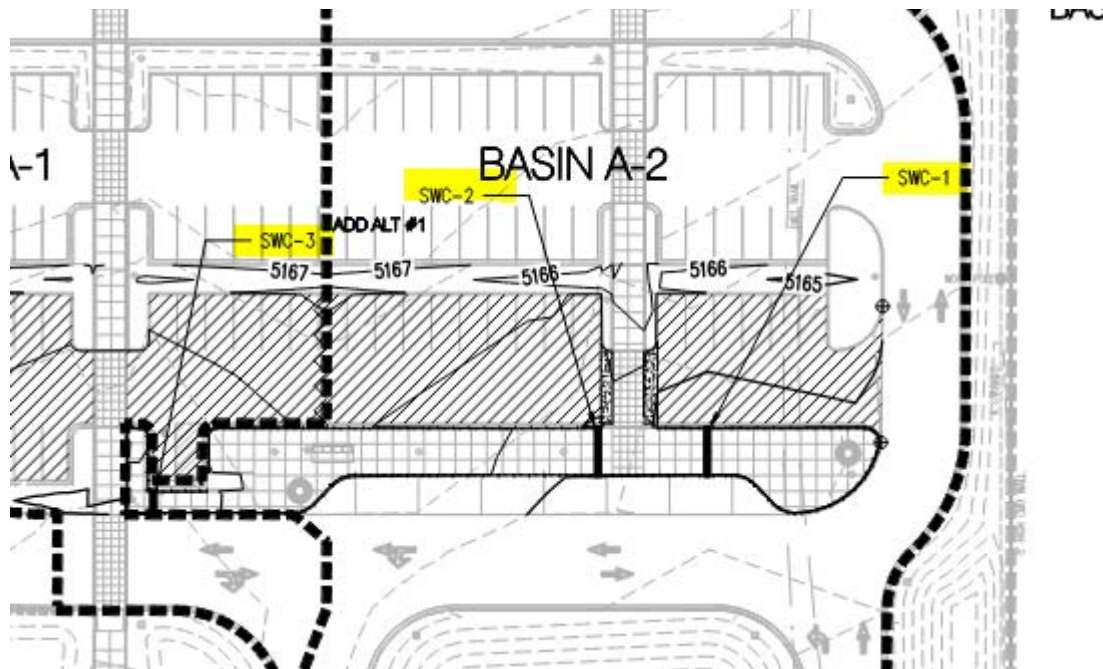
Engineering ▲

Spatial Data ▲

Advanced Technologies ▲

which can be seen on sheet C-001. Adding these values together we can see that the total volume required for Pond 2 is equal to $7916 \text{ CF} + 8161 \text{ CF} + 2461 \text{ CF} = 18538 \text{ CF}$. This total volume required for Pond 2 was previously showing an incorrect value and has been updated to show 18538 CF.

- The populated quantities for Pond 3's required volume is based on the summation of Basin A-2 which can be seen on sheet C-001 and the overflow volume from Pond 2. Adding these two values together we can see that the total volume required for Pond 3 is equal to $13567 \text{ CF} + (18538 \text{ CF} - 9585 \text{ CF}) = 22520 \text{ CF}$. This total volume required for Pond 3 was previously showing an incorrect value and has been updated to show 22520 CF.
- Pond 3 has in fact already been built so the "Future" located in the Pond Data Table has been removed.
- The sidewalk culvert locations are in fact located on sheet C-001. A snip of the referenced locations has been shown below for clarification.



- As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.
 - Noted.

Engineering ▲

Spatial Data ▲

Advanced Technologies ▲

If you have any questions, please contact me at 823-1000 or
msatches@bhinc.com.

Sincerely,

A handwritten signature in black ink, appearing to read "Matt Satches". The signature is fluid and cursive, with the first name "Matt" and last name "Satches" clearly distinguishable.

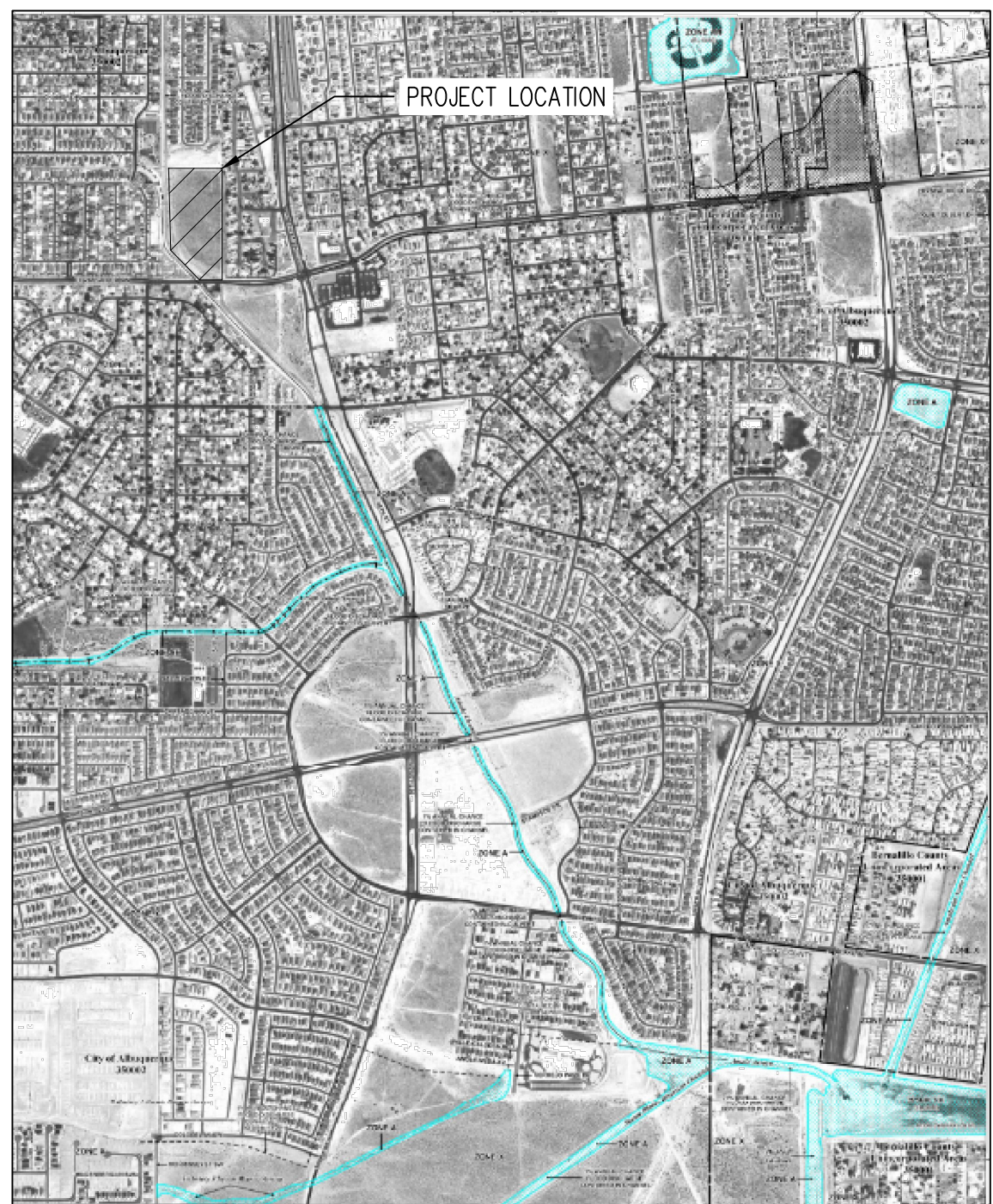
Matt Satches, PE
Senior Project Manager

MS/

| Basin | Area | Area | Land Treatment Percentages | | | | Q(100yr) | Q(100yr) | V(100yr) | V _(100yr-6hr) | FIRST FLUSH |
|-----------------------|----------|-------|----------------------------|------|-------|-------|-----------|----------|----------|--------------------------|-------------|
| ID | (SQ. FT) | (AC.) | A | B | C | D | (cfs/ac.) | (CFS) | (inches) | (CF) | (CF) |
| CURRENT ONSITE BASINS | | | | | | | | | | | |
| BASIN A-1 | 46418 | 1.07 | 0.0% | 0.0% | 15.0% | 85.0% | 3.93 | 4.19 | 2.05 | 7916 | 1118 |
| BASIN A-2 | 82139 | 1.89 | 0.0% | 0.0% | 20.0% | 80.0% | 3.87 | 7.30 | 1.98 | 13567 | 1862 |
| BASIN B-3 | 87327 | 2.00 | 0.0% | 0.0% | 55.0% | 45.0% | 3.43 | 6.88 | 1.53 | 11138 | 1113 |

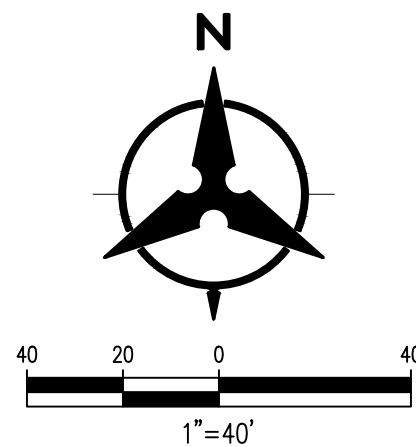
| Basin | Area | Area | Land Treatment Percentages | | | | Q(100yr) | Q(100yr) | V(100yr) | V _(100yr-6hr) | FIRST FLUSH |
|-----------------------|----------|-------|----------------------------|------|-------|-------|-----------|----------|----------|--------------------------|-------------|
| ID | (SQ. FT) | (AC.) | A | B | C | D | (cfs/ac.) | (CFS) | (inches) | (CF) | (CF) |
| CURRENT ONSITE BASINS | | | | | | | | | | | |
| EXISTING BASIN A-1 | 48209 | 1.11 | 0.0% | 0.0% | 15.0% | 85.0% | 4.15 | 4.59 | 1.82 | 7324 | 1161 |
| EXISTING BASIN A-2 | 87769 | 2.01 | 0.0% | 0.0% | 20.0% | 80.0% | 4.07 | 8.20 | 1.77 | 12975 | 1989 |
| EXISTING BASIN B-3 | 79899 | 1.83 | 0.0% | 0.0% | 60.0% | 40.0% | 3.47 | 6.36 | 1.38 | 9202 | 906 |

| Culvert # | Basin ID | Culvert Type | Actual Flow | Capacity Weir (CFS) | Channel Width ft | Channel Height ft | Minimum Slope | Capacity Mannings (CFS) |
|------------------------------------|-----------|--------------|-------------|---------------------|------------------|-------------------|---------------------------------------------------|-------------------------|
| SWC-1 | Basin A-2 | Rectangular | 0.20 | 2.91 | 2 | 0.67 | 1.44% | 10.00 |
| SWC-2 | Basin A-2 | Rectangular | 0.33 | 2.91 | 2 | 0.67 | 0.31% | 4.64 |
| SWC-3 | Basin A-1 | Rectangular | 0.26 | 2.91 | 2 | 0.67 | 1.38% | 9.79 |
| Weir Eq: $Q = 2.65L(h^{1.5})$ - ** | | | | | | | Capacity Based on Manning's $q = W/n = 0.013$ - * | |



FEMA MAP: 35001C0336H

SCALE: NTS



-
- PROPERTY LINE
- LIMITS OF GRADING
- EXISTING INDEX CONTOUR
5025
5024
- EXISTING INTERMEDIATE CONTOUR
- PROPOSED INDEX CONTOUR
5025
5024
- PROPOSED MAJOR-BASIN
- PROPOSED SUB-BASIN
- EXISTING MAJOR-BASIN
- EXISTING SUB-BASIN

100% CONSTRUCTION DOCUMENTS



PROPOSED DRAINAGE NARRATIVE

INTRODUCTION:

WESTGATE COMMUNITY CENTER IS LOCATED NORTH OF DEVGARAS ROAD, EAST OF SNOW VISTA CHANNEL AND WEST OF 98TH STREET. WESTGATE COMMUNITY CENTER IS BEING CONSTRUCTED IN PHASES. THE FIRST PHASE IS CURRENTLY UNDER CONSTRUCTION. THE SECOND PHASE INCLUDES A NEW WING OF THE BUILDING ATTACHED TO PHASE 1 AS WELL AS COMPLETION OF THE PARKING LOT TO THE SOUTH. THE FIRST PHASE DESIGN AND ANALYSIS PLANNED FOR FUTURE PHASE 2 DEVELOPMENT. THE PURPOSE OF THIS SUBMITTAL IS TO PROVIDE A DRAINAGE MANAGEMENT PLAN FOR THE DEVELOPMENT OF THE WESTGATE COMMUNITY CENTER PHASE 2 AND REQUEST COA HYDROLOGY BUILDING & GRADING PERMIT APPROVAL.

EXISTING CONDITIONS:

THE SITE IS DIVIDED INTO 2 LARGE BASINS (BASIN A & BASIN B) GENERALLY SEPARATING THE SITE NORTH AND SOUTH. BASIN A IS LOCATED ON THE SOUTH PORTION OF THE SITE. THIS BASIN DRAINS FROM NORTH TO SOUTH AND CONTAINS A PORTION OF THE PHASE 1 BUILDING AS WELL AS THE PARKING LOT SOUTH OF THE BUILDING. BASIN A DISCHARGES INTO POND 2 & POND 3. POND 2 AND POND 3 ARE LOCATED ALONG THE SOUTHERN PROPERTY LINE. THESE PONDS ARE SIZED TO RETAIN THE VOLUME FROM SUB-BASINS A-1, A-2, A-5, & A-6. POND 2 IS UNDERSIZED AND OVERFLOW FROM THIS POND CONTINUES INTO POND 3. BASIN B IS LOCATED ON THE NORTH PORTION OF THE SITE. THIS BASIN IS PRIMARILY UNDEVELOPED AND WILL CONTINUE TO BE UNDEVELOPED. BASIN B DISCHARGES INTO POND 1. SEE APPROVED GRADING & DRAINAGE PLAN STAMPED AND DATED 10/01/2019 HYDROLOGY FILE # M09D030.

FIRST FLUSH VOLUME IS RETAINED WITHIN THE 100YR-6HR STORM EVENT. THE SITE IS BORDERED TO THE WEST BY THE SNOW VISTA CHANNEL. THIS CHANNEL AND THE WESTGATE SITE, ARE NOT LOCATED WITH A FEM DESIGNATED FLOOD ZONE (FEMA FIRM MAP #35001C0336H).

SITE HISTORY:

SEVERAL DRAINAGE REPORTS AND STUDIES HAVE INCLUDED THE SITE WITHIN THEIR ANALYSIS. SAD 222 DRAINAGE REPORT PREPARED BY THE LARKIN GROUP DATED 9/12/2000 STATES THAT THE INFRASTRUCTURE WITHIN THE TOWER/SAGE DRAINAGE BASIN WAS INITIALLY SIZED PRIOR TO THE ADOPTION OF AHMO. SINCE THE ADOPTION OF AHMO, IT WAS FOUND THAT THE RUNOFF CONTRIBUTING TO INFRASTRUCTURE WITHIN THE TOWER/SAGE DRAINAGE BASIN, INCLUDING THE 98TH STREET STORM DRAIN, WAS MORE THAN INITIALLY THOUGHT. THE STORM DRAIN WITHIN 98TH STREET WAS SIZED TO CARRY RUNOFF GENERATED WITHIN THE 98TH STREET RIGHT OF WAY. THE PROPERTY OWNERS ALONG THE WEST EDGE OF 98TH STREET BETWEEN TOWER ROAD AND DEVARGAS ROAD ARE NOT INCLUDED WITHIN THE ANALYSIS OF SAD 222 AS THEY WILL MANAGE THEIR OWN RUNOFF ONSITE. THE AMOLE HUBBELL DRAINAGE MANAGEMENT PLAN FINAL FACILITIES REPORT DATED 7/22/1999 NOTES SIMILAR DRAINAGE ISSUES WITHIN THE TOWER/SAGE DRAINAGE BASIN. PER THE REPORT, THE CITY OF ALBUQUERQUE HAS RESTRICTED NEW DEVELOPMENT TO A RUNOFF RATE OF 1.29 CFS/ACRE. THIS WAS PROPOSED TO ALLEVIATE THE ISSUES DOWNSTREAM OF THE SITE. A NEW AMOLE HUBBELL DRAINAGE REPORT PREPARED BY WILSON & CO DATED 3/26/14 REANALYZED THE AGING 1999 REPORT. THIS NEWER REPORT DESCRIBES THE SITE'S RUNOFF AS DISCHARGING AT THE NORTHWEST CORNER OF 98TH STREET AND DEVARGAS ROAD AS ANALYSIS POINT SY6 AT A RATE OF 1.29 CFS/ACRE. ANALYSIS POINT 10V INCLUDES THE TOWER PARK TO THE EAST AS WELL AS PROPERTY ALONG THE WESTERN SIDE OF THE 98TH STREET. THE SAD 222 REPORT PREVIOUSLY STATED THAT THESE PROPERTIES WILL MANAGE THEIR OWN RUNOFF ONSITE. THESE ARE CONTRADICTORY STATEMENTS. FURTHER ANALYSIS OF THE AS-BUILT OF SAD 222 SHOWS THAT THE STORM DRAIN WITHIN 98TH STREET WAS DESIGNED TO HAVE A CAPACITY OF 59.30 CFS. THIS FLOW IS SIGNIFICANTLY LESS THAN THE 181 CFS THAT THE 2014 AMOLE HUBBELL DRAINAGE REPORT DESCRIBES.

THE STORM DRAIN WITHIN 98TH STREET IS UNDER CAPACITY AND CANNOT HANDLE DEVELOPED FLOWRATES FROM THE WESTGATE COMMUNITY CENTER SITE. AFTER MEETING WITH COA HYDROLOGY ON 8/7/2018 AND RESEARCHING THE AFOREMENTIONED REPORTS AND AS-BUILTS, IT WAS DETERMINED THAT THE SITE WILL BE REQUIRED TO RETAIN THE 100 YEAR - 6 HOUR STORM EVENT ONSITE.

METHODOLOGY:

THE ORIGINAL HYDROLOGIC ANALYSIS PROVIDED WITH THE PHASE 1 DRAINAGE MANAGEMENT PLAN WAS PREPARED IN ACCORDANCE WITH SECTION 22.2 OF THE OLD DPM. THE PHASE 2 ANALYSIS WAS DEVELOPED IN ACCORDANCE WITH CHAPTER 6 OF THE NEW DMP. AS SUCH, MINOR DISCREPANCIES MAY BE FOUND. THE SITE IS LOCATED WITHIN PRECIPITATION ZONE 1. LAND TREATMENT PERCENTAGES WERE CALCULATED BASED ON THE SITE CONDITIONS.

PROPOSED CONDITIONS:

THE EXISTING PONDS WERE SIZED FOR FUTURE DEVELOPMENT. WHEN THE PONDS WERE SIZED, FLOW PATHS WERE ASSUMED BASED ON THE KNOWN FUTURE DEVELOPMENT AT THE TIME. THE ASSUMED FLOW PATHS WERE ALTERED SLIGHTLY, AND AS SUCH AFFECTED 3 SUB-BASINS.

SUB-BASINS A-1 & A-2 SLIGHTLY DECREASED IN SIZE THEREFORE ACTUALLY PRODUCE LESS VOLUME AND RUNOFF THAN IN EXISTING CONDITIONS. THE NEW ASPHALT PARKING LOT INCLUDED WITHIN THESE BASINS WAS ACCOUNTED FOR IN THE PHASE 1 DRAINAGE MANAGEMENT ANALYSIS.

SUB-BASIN B3 INCREASED IN SIZE. THE EXISTING 100 YEAR-6 HOUR STORM VOLUME WAS 9,202 CF. THE PROPOSED 100 YEAR-6 HOUR STORM VOLUME IS 11,138 CF. THIS IS AN INCREASE OF 1,935 CF. THE VOLUME REQUIRED IS NOW 30,965 CF, WHICH IS LESS THAN THE VOLUME PROVIDED. SEE POND DATA THIS SHEET FOR MORE INFORMATION.

CONCLUSION:

THE SITE RETAINS THE 100 YEAR-6 HOUR STORM EVENT. THEREFORE, WE ARE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE HYDROLOGY REQUIREMENTS AND REQUEST BUILDING & GRADING PERMIT APPROVAL.

| NO. | DATE | REVISIONS | CHECKED BY: |
|-----|------|-----------|-------------|
| | | | |
| | | | |
| | | | |
| | | | |

LEE GAMELSKY ARCHITECTS P.C

2412 MILES ROAD SE
ALBUQUERQUE, NM 87106
505.842.8865 FAX 842.1693
lee@lganm.com



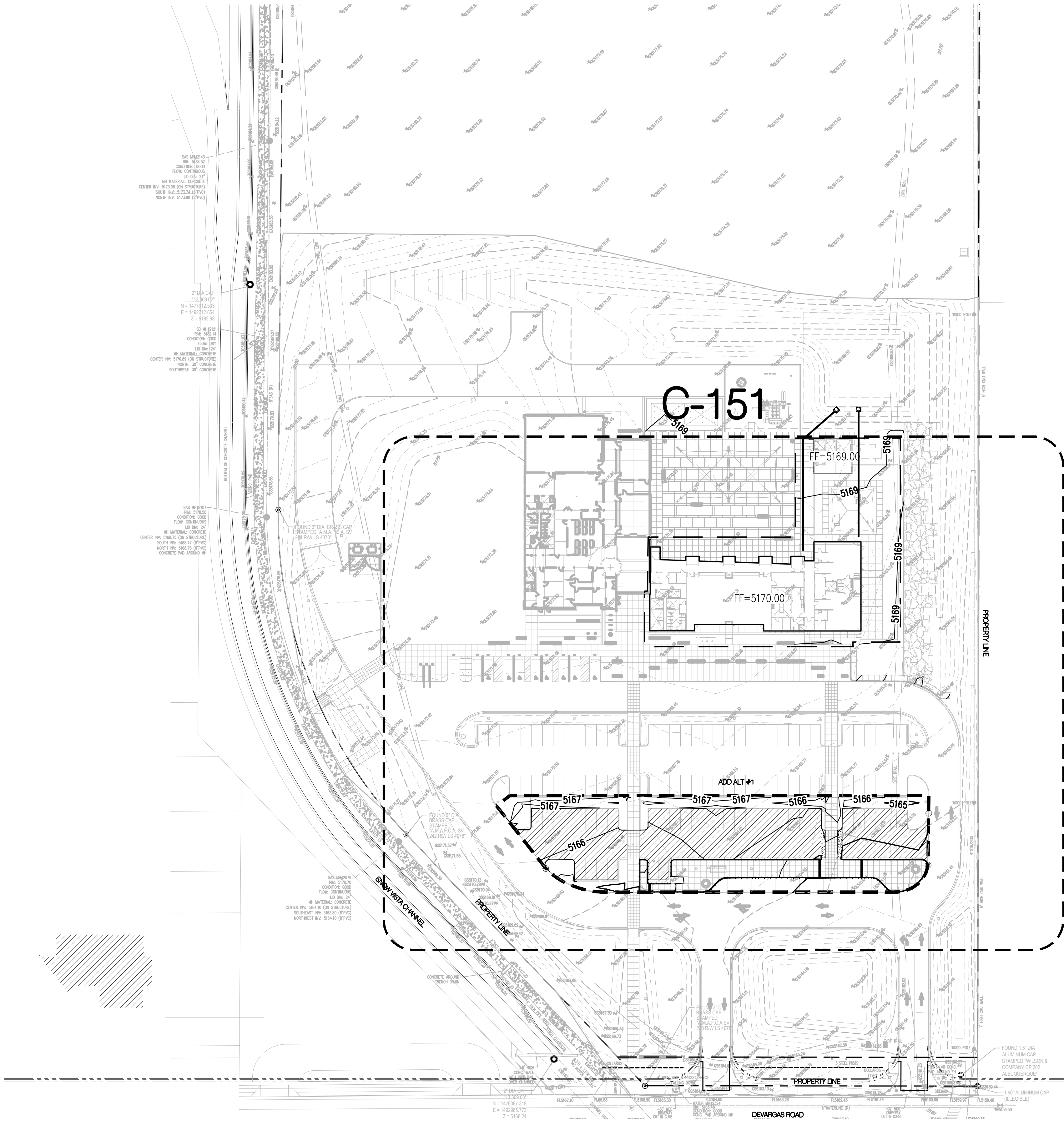
WESTGATE COMMUNITY CENTER
Albuquerque, New Mexico

PROJECT ARCHITECT:
LEE GAMELSKY, AIA

DRAINAGE MANAGEMENT PLAN

| | | |
|-------|--------|-----|
| By: | Sheet: | Of: |
| File: | C-001 | |

P:\2019016\1\CDP\Plans\General\2019016\CDP000_P042.dwg
Fri, 16-Dec-2022 11:24 am, Plotted by: NPERCE



City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
12/27/2022
DATE: 12/27/2022
BY: M09D030
HydroTeam # M09D030
THE APPROVAL OF THESE PLANS DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE CITY OF ALBUQUERQUE DOES NOT PROVIDE ANY WARRANTY, EXPRESS OR IMPLIED, FOR THE INFORMATION PROVIDED HEREON. THE CITY OF ALBUQUERQUE DOES NOT PROVIDE ANY WARRANTY, EXPRESS OR IMPLIED, FOR THE INFORMATION PROVIDED HEREON. THE CITY OF ALBUQUERQUE DOES NOT PROVIDE ANY WARRANTY, EXPRESS OR IMPLIED, FOR THE INFORMATION PROVIDED HEREON.

LEGEND

- PROPERTY LINE
- LIMITS OF GRADING
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- EXISTING GROUND SPOT ELEVATION
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- PROPOSED FINISHED GRADE SPOT ELEVATION
- PROPOSED TOP OF CURB, FL=FLOW LINE, TS=TOP OF SIDEWALK, TG=TOP OF GRATE, FGH=FINISH GROUND HIGH, FGL=FINISH GROUND LOW
- PROPOSED CURB & GUTTER
- DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLETS
- SWALE FLOWLINE
- TOP OF BERM
- GRADE BREAK
- LIMITS OF PHASE II
- LIMITS OF ADD ALTERNATE #1
- PARKING LOT

NOTE

CONTRACTOR SHALL PROVIDE AS-BUILT GRADING INFORMATION STAMPED BY A PROFESSIONAL SURVEYOR. AS-BUILT INFORMATION REQUIRED SHALL BE COORDINATED WITH THE ENGINEER AND SHALL BE SUFFICIENTLY DETAILED TO VERIFY THAT THE DRAINAGE WILL FUNCTION IN ACCORDANCE WITH THE DESIGN. AS-BUILT DATA SHALL BE PROVIDED AT LEAST 5 WORKING DAYS PRIOR TO CONTRACTOR'S REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY. AT A MINIMUM, AS-BUILT DATA SHALL INCLUDE:

- ALL GRATES AND INVERTS OF CATCH BASINS
- APPROXIMATELY 75% OF ALL DESIGN SPOT ELEVATIONS & FINISHED FLOOR ELEVATIONS.

NOTE

HDPE PIPE AND FITTINGS SHALL BE INSTALLED AND BACKFILLED PER MANUFACTURER SPECIFICATIONS. CONNECTIONS TO CONCRETE MANHOLES AND CONCRETE DROP INLETS SHALL USE WATER STOP GASKETS AND SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS

NOTE

ENDS OF ALL STORM DRAIN PIPES, CULVERTS, & CMP END SECTIONS (LARGER THAN 12") SHALL BE COVERED WITH STEEL BARS APPROXIMATELY 12" SQUARE. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL. HYDRAULIC INTEGRITY SHALL NOT BE COMPROMISED. BARS TO BE PAINTED TO MATCH BUILDING.

NOTE

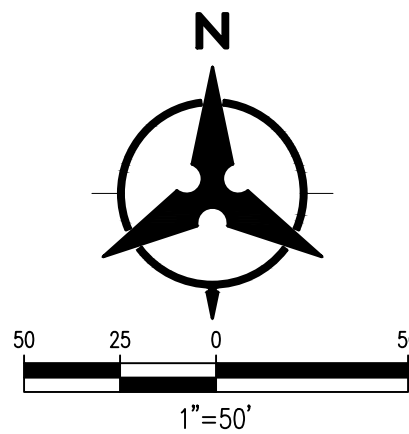
SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 1.0% AND A MAXIMUM OF 2.0%.

NOTE

RESEED ALL DISTURBED AREAS, INCLUDING STAGING AREAS, PER COA SPEC SECTION 1012.

NOTE

REFER TO GEOTECH REPORT ADDENDUMS #1, 2, AND 3 FOR BUILDING PAD REQUIREMENTS.



100% CONSTRUCTION DOCUMENTS

Bohannon & Huston
www.bhinc.com 800.877.5332

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.
- THE CONTRACTOR SHALL PROVIDE 1 HARD COPY AND 1 ELECTRONIC COPY OF THE EPA STORM WATER POLLUTION PREVENTION PLAN ALONG WITH THE APPROPRIATE SUBMITTAL FEE TO CITY OF ALBUQUERQUE TWO WEEKS PRIOR TO THE START OF SITE DISTURBANCE.

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION." ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

| NO. | DATE | REVISIONS | CHECKED BY: |
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LEE GAMELSKY ARCHITECTS P.C.

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lee@gamm.com

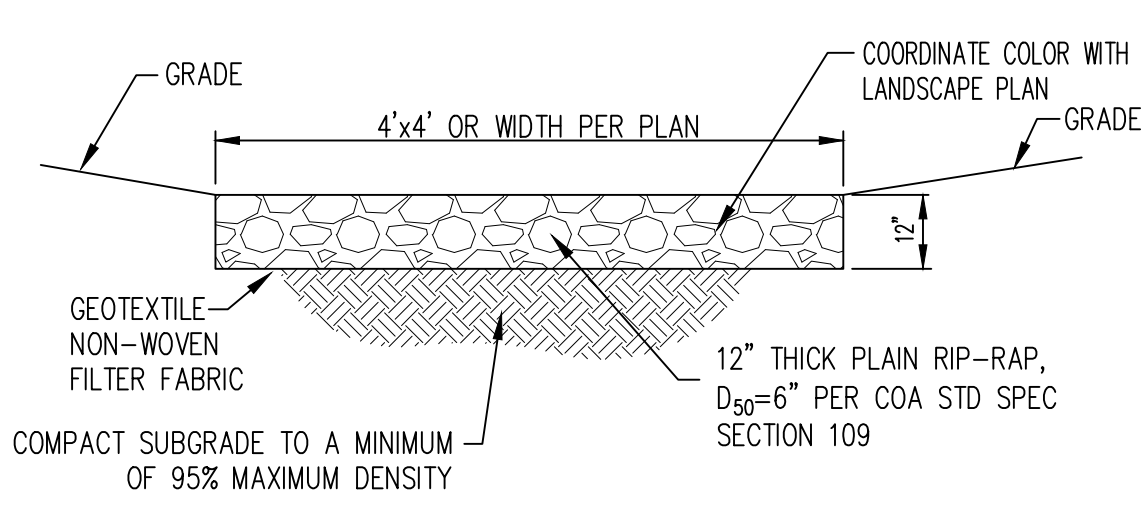


WESTGATE COMMUNITY CENTER
Albuquerque, New Mexico

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| PROJECT ARCHITECT: LEE GAMELSKY, AIA | Project #: 16-01-AL |
| | Date: 09/23/2022 |

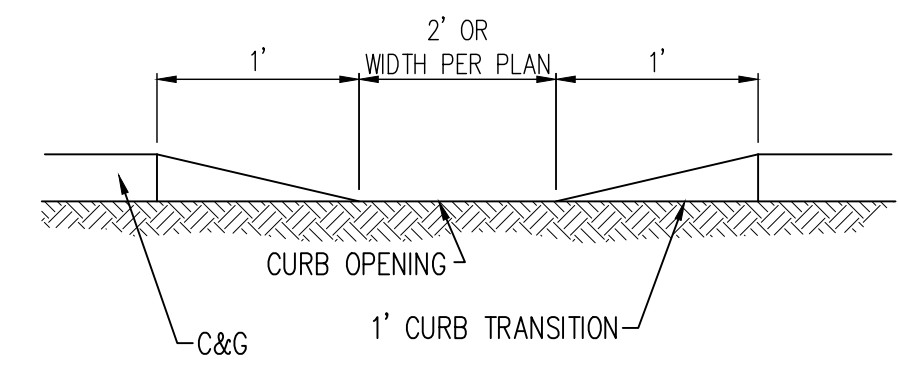
OVERALL CIVIL PLAN

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A RIP-RAP PAD

NOT TO SCALE



B TYPICAL CURB OPENING

NOT TO SCALE

SPECIAL WARRANTY DEED
CITY OF ALBUQUERQUE
FILED: 07/31/2013
(DOCUMENT No. 201308756)



- ### GRADING KEYED NOTES
1. INSTALL CONCRETE CURB OPENING PER DETAIL B, SHEET C-151.
 2. INSTALL ROOF DRAIN TO WITHIN 5' OF BUILDING. SEE PLUMBING PLAN FOR CONTINUATION.
 3. DAYLIGHT ROOF DRAIN. MITER PIPE TO SLOPE.
 4. INSTALL HDPE (N12 WT. OR APPROVED EQUAL) STORM DRAIN PIPE. SEE PLAN FOR SIZE.
 5. DEPRESS LANDSCAPE ISLANDS.
 6. INSTALL PREFABRICATED WATERTIGHT STORM DRAIN FITTING. SEE PLAN FOR SIZE.
 7. INSTALL TURN BLOCK IN WALL FOR DRAINAGE.
 8. EXISTING CONCRETE CURB OPENING.
 9. INSTALL RIP-RAP PAD PER DETAIL A, SHEET C-151.
 10. INSTALL NEW 24" WIDE SIDEWALK CULVERT PER COA STD DWG 2236.

- ### LEGEND
- PROPERTY LINE
 - LIMITS OF GRADING
 - LIMITS OF PROJECT
 - LIMITS OF ADD ALTERNATE #1
 - 5025--- EXISTING INDEX CONTOUR
 - 5024--- EXISTING INTERMEDIATE CONTOUR
 - EX5025.25 EXISTING GROUND SPOT ELEVATION
 - 5025--- PROPOSED INDEX CONTOUR
 - 5024--- PROPOSED INTERMEDIATE CONTOUR
 - XX.XX PROPOSED FINISHED GRADE SPOT ELEVATION
 - TC=TOP OF CURB, FL=FLOW LINE, TS=TOP OF SIDEWALK, TG=TOP OF GRATE, FGH=FINISH GROUND HIGH, FGL=FINISH GROUND LOW
 - S=2.0%--- PROPOSED CURB & GUTTER
 - S=2.0%--- DIRECTION OF FLOW
 - S=2.0%--- WATER BLOCK/GRADE BREAK
 - S=2.0%--- PROPOSED STORM DRAIN LINE
 - S=2.0%--- PROPOSED STORM DRAIN MANHOLE
 - S=2.0%--- PROPOSED STORM DRAIN INLETS
 - S=2.0%--- TOP OF BERM
 - XX.XX FUTURE SPOT ELEVATION

| NO. | DATE | REVISIONS | CHECKED BY: |
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Matthew H. Satchler
24572
12/27/2022
REGISTERED PROFESSIONAL ENGINEER

WESTGATE COMMUNITY CENTER
Albuquerque, New Mexico

PROJECT ARCHITECT:
LEE GAMESKY, AIA

Project #:
16-01-AL

Date:
09/23/2022

GRADING AND DRAINAGE PLAN

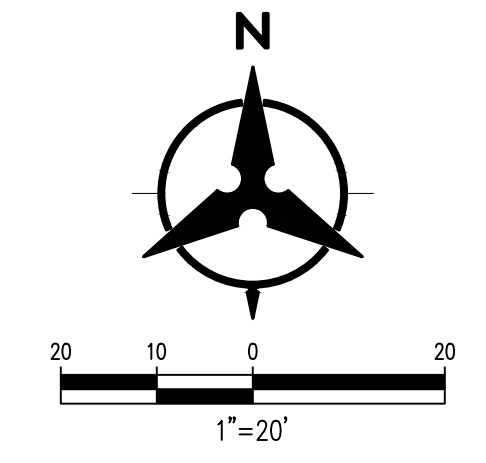
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Fri, 16-Dec-2022 11:24 am, Plotted by: NPIERCE

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