

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 10, 2025

Michael Balaskovits, P.E.
Bohannon Huston, Inc.
7500 Jefferson St. NE
Albuquerque, NM 87109

**RE: Westgate Community Center - Gymnasium
10001 De Vargas Rd SW
Grading & Drainage Plan
Engineer's Stamp Date: 3/4/25
Hydrology File: M09D030
Case # HYDR-2025-00071**

Dear Mr. Balaskovits:

Based upon the information provided in your submittal received 03/04/2025, the Grading & Drainage Plan is approved for Grading Permit and Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

NM 87103

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E., CFM
Senior Engineer, Hydrology
Planning Department, Development Review Services

PROPOSED DRAINAGE NARRATIVE

INTRODUCTION

THE WESTGATE COMMUNITY CENTER HAS BEEN BUILT IN PHASES. DURING THE INITIAL PHASES THE PAD FOR THE NEW GYMNASIUM BUILDING WAS CONSTRUCTED AS WELL AS THE DRAINAGE INFRASTRUCTURE TO FULLY SUPPORT THE DEVELOPED CONDITIONS. THIS PHASE WILL ONLY DISTURB THE AREA WEST OF THE EXISTING BUILDING AND IS A LITTLE OVER A HALF ACRE (25,000SF) OF EXPECTED DISTURBED AREA.

THE OVERALL SITE IS BOUNDED BY DEVARGAS ROAD TO THE SOUTH, SNOW VISTA DRAINAGE CHANNEL TO THE EAST, AND RESIDENTIAL NEIGHBORHOODS TO THE NORTH AND EAST. THE PURPOSE OF THIS REPORT IS TO PROVIDE A GRADING PLAN FOR THE GYMNASIUM THAT IS IN ALIGNMENT OF THE ORIGINAL DRAINAGE MANAGEMENT PLAN FOR THE DEVELOPMENT AND A REQUEST CITY OF ALBUQUERQUE HYDROLOGY DEPARTMENT REVIEW IN SUPPORT OF GRADING AND BUILDING PERMIT APPROVAL.

EXISTING CONDITIONS

THE SITE HAS PREVIOUSLY BEEN ANALYZED UNDER COA HYDROLOGY FILE # M09D030 AND THE GYMNASIUM LIES ENTIRELY WITHIN BASIN A-5. BASIN A-5 WAS ANALYZED AS FULLY DEVELOPED (80% LAND TREATMENT D) WHICH DRAINS FROM NORTH TO SOUTH AND DISCHARGES INTO EXISTING POND 2 PER HYDROLOGY FILE #M09D030. POND 2 OVERFLOWS INTO POND 3 DURING LARGER STORM EVENTS. REFER TO THE HYDROLOGY FILE #M09D030 FOR MORE INFORMATION ON THE EXISTING CONDITIONS.

METHODOLOGY

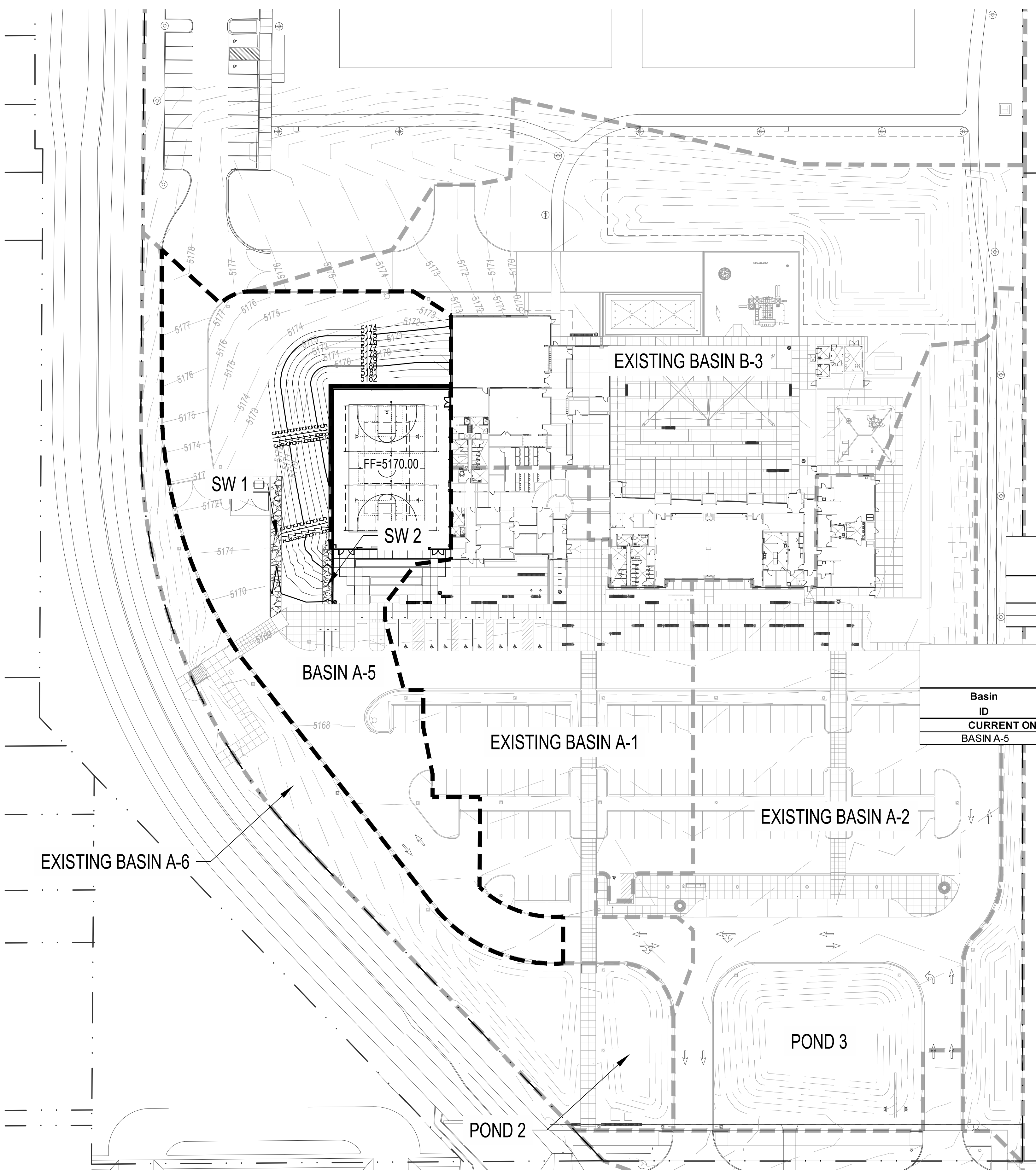
THE METHODOLOGY USED FOR HYDROLOGY AND HYDRAULICS CALCULATIONS ARE IN ACCORDANCE WITH THE ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, CHAPTER 22.2 WHICH WAS ORIGINALLY USED FOR THIS DEVELOPMENT AND IS CONTINUING TO BE USED FOR THIS LAST PHASE FOR CONSISTENCY. THIS PHASE REVISITS ONE DRAINAGE BASIN (A-5) AND ONE ANALYSIS POINT. IMPERVIOUS AREAS WERE CALCULATED BASED ON THE DEVELOPED CONDITIONS AND DECREASED FROM THE ORIGINAL ANALYSIS, HOWEVER THE 80% LAND TREATMENT D, AS ORIGINALLY NOTED WAS MAINTAINED FOR A CONSERVATIVE APPROACH. THE SITE WAS ANALYZED FOR A 100-YR, 6-HR STORM EVENT USING THE RATIONAL METHOD, AS DEFINED BY THE COA DPM.

PROPOSED CONDITIONS

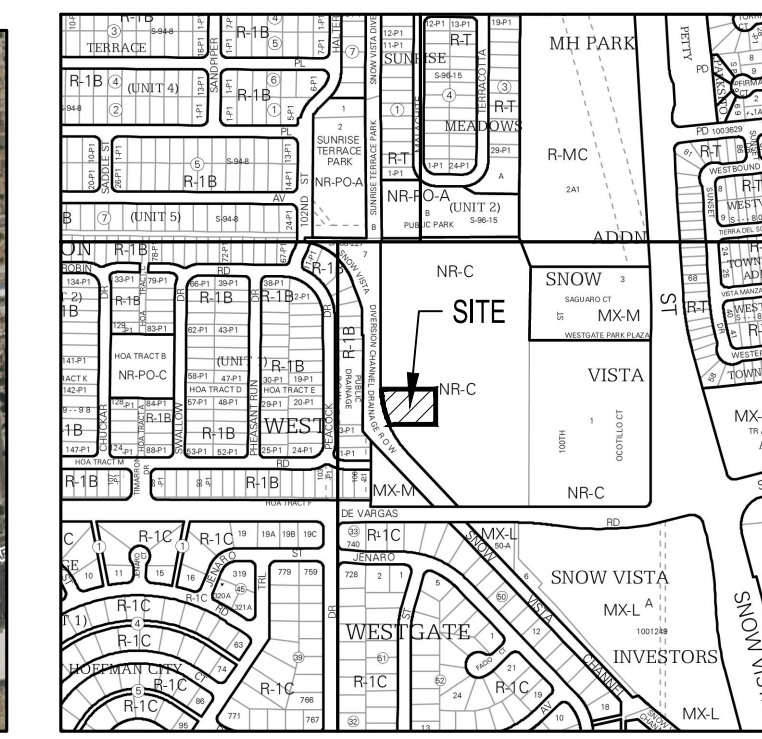
WESTGATE COMMUNITY CENTER IS BEING CONSTRUCTED IN PHASES. THE NEW GYMNASIUM BUILDING THAT IS WITHIN BASIN A-5 IS THE LAST PHASE OF THIS DEVELOPMENT. BASIN A-5 WILL MAINTAIN ITS ORIGINAL FLOW PATTERN. THE ROOF OF THE GYMNASIUM WILL DRAIN INTO ROOF DRAINS AND DAYLIGHT AT THE SOUTHWEST CORNER OF THE NEW BUILDING VIA A DOWN SPOUT. AT THIS POINT, A DOME GRATE INLET WILL PICK UP THIS ROOF DRAIN FLOWS AND CONVEY THEM VIA A STORM DRAIN INTO A SWALE TO A CURB OPENING JUST SOUTH OF THE EXISTING DUMPSTERS. HERE IT WILL DISCHARGE INTO THE EXISTING ROADWAY WHERE IT WILL FOLLOW ITS ORIGINAL FLOW PATTERN INTO POND 2. THE REMAINDER OF THE DISTURBED AREA WILL DRAIN INTO TWO ADDITIONAL RIP RAP SWALES AND CONVEY FLOW AWAY FROM THE NEW BUILDING. THE NEW GYMNASIUM VOLUME WILL STAY CONSISTENT WITH THE ORIGINAL ANALYSIS OF BASIN A-5. POND 2 WITH THE OVERFLOW TO POND 3 HAD THE VOLUME NECESSARY FOR THIS LAST PHASE. THE TOTAL VOLUME REQUIRED WAS LESS THAN THE OVERFLOW VOLUME PROVIDED INTO POND 3. BASED ON THIS ANALYSIS, THE REQUIRED VOLUME IS STILL LESS THAN THE PROVIDED VOLUME FOR POND 3.

CONCLUSION

THE SITE WILL RETAIN A 100-YR, 6-HR STORM EVENT. HYDROLOGY FILES M09D030 AND L09C014 WERE USED TO REFERENCE POND SIZING AND EXISTING BASIN CONDITIONS. BASED ON THE HYDROLOGIC ANALYSIS, WE ARE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE HYDROLOGY REQUIREMENTS AND REQUEST GRADING AND BUILDING PERMIT APPROVAL.



FEMA FIRM MAP #35001C0336H



VICINITY MAP
NOT TO SCALE

WESTGATE COMMUNITY CENTER - PHASE IV
PROPOSED Developed Conditions Basin Data Table
This table is based on the DPM Section 22.2, Zone: 1

Basin ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100yr) (cfs/ac.)	Q(100yr) (CFS)	V(100yr) (inches)	V(100yr-6hr) (CF)	V(100yr-10day) (CF)	FIRST FLUSH (CF)
			A	B	C	D						
CURRENT ONSITE BASINS												
BASIN A-5	55201	1.27	0.0%	0.0%	20.0%	80.0%	4.07	5.16	1.77	8161	13570	1251

WESTGATE COMMUNITY CENTER - PHASE IV
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			A	B	C	D						
CURRENT ONSITE BASINS												
BASIN A-5	55201	1.27	0.0%	0.0%	20.0%	80.0%	4.07	5.16	1.77	8161	13570	1251

Swale Table

Swale #	Basin ID	Actual Flow (CFS)	Manning's N	Bottom Width FT	Top Width FT	Depth FT	Minimum Slope	Capacity* CFS	Velocity FPS
SW1	PERVIOUS DISTURBED AREA (~30% OF Basin A-5)	0.99	0.030	0.0	6.00	0.67	0.010	4.75	1.52
SW2	ROOF OF NEW GYMNASIUM (~15% OF Basin A-5)	0.81	0.030	0.0	6.00	0.67	0.200	21.23	4.67

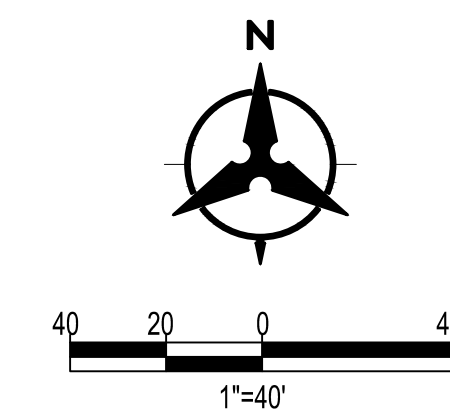
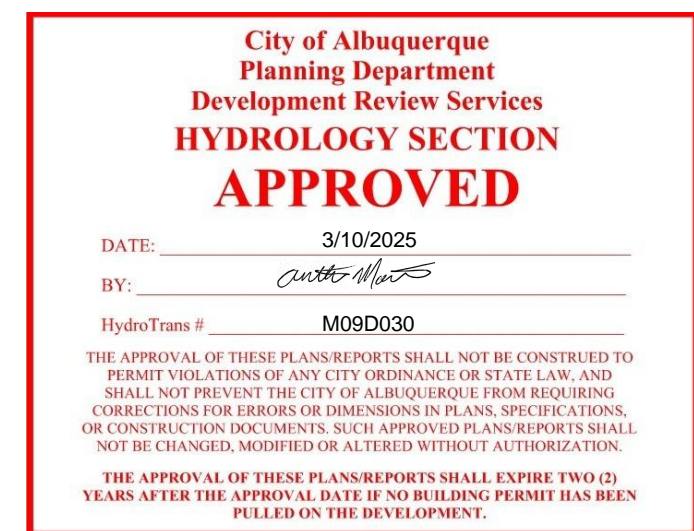
Capacity Based on Manning's Eq *

POND DATA:

POND 2
(EXISTING BASINS A-1 AND A-6, BASIN A-5)
VOLUME REQUIRED = 17,945 CF
VOLUME PROVIDED = 9,585 CF
TOP OF POND = 5164.50
MAX WATER SURFACE ELEVATION = 5164.50
* POND OVERFLOWS TO POND 3 (OVERFLOW VOL = 8,360 CF)

POND 3
(EXISTING BASIN A-2 & OVERFLOW OF EXISTING BASINS A-1 AND A-6, BASIN A-5)
VOLUME REQUIRED = 21,335 CF
VOLUME PROVIDED = 24,678 CF
TOP OF POND = 5162.00
MAX WATER SURFACE ELEVATION = 5161.25

- LEGEND**
- PROPERTY LINE
 - PROJECT LIMITS OF GRADING
 - 5185--- EXISTING INDEX CONTOUR
 - 5183--- EXISTING INTERMEDIATE CONTOUR
 - x 5181.25 EXISTING GROUND SPOT ELEVATION
 - 5185--- PROPOSED INDEX CONTOUR
 - 5183--- PROPOSED INTERMEDIATE CONTOUR
 - PROPOSED MAJOR BASIN
 - PROPOSED MAJOR SUB-BASIN
 - S=2.0% DIRECTION OF FLOW
 - WATER BLOCK/GRADE BREAK



NO.	DATE	REVISIONS	CHECKED BY:

LEE GAMELSKY ARCHITECTS P.C.

2412 MILES ROAD SE
ALBUQUERQUE, NM 87106
505.842.8865
lee@gamnm.com

WESTGATE COMMUNITY CENTER • GYMNASIUM
Albuquerque, New Mexico

PROJECT ARCHITECT:
LEE GAMELSKY, AIA

LGA Project #: xx-xxx-xxxx
Date: 9.20.2023

Tue, 4-Mar-2025 - 5:46 pm. Plotted by MBALASKOVITS P:\2025\1717CDP\plan\General\Gymnasium\20250317_1717_Dmpt-194-CDV.dwg

GRADING KEYED NOTES

1. MATCH TO EXISTING GRADE.
2. INSTALL RETAINING WALL. SEE ARCHITECTURAL SITE DRAWINGS FOR DETAILS.
3. INSTALL RIP-RAP SWALE PER DETAIL A, SHEET C-401.
4. INSTALL CURB OPENING PER DETAIL B, SHEET C-401.
5. INSTALL 24" NYLOPLAST INLET WITH DOME GRATE PER MANUFACTURER'S RECOMMENDATIONS OR APPROVED EQUAL. PROVIDE RIP RAP APPROXIMATELY 5' RADIUS AROUND INLET.
6. INSTALL 8" PVC STORM DRAIN PIPE.
7. INSTALL 8" CMP END SECTION OR APPROVED EQUAL.

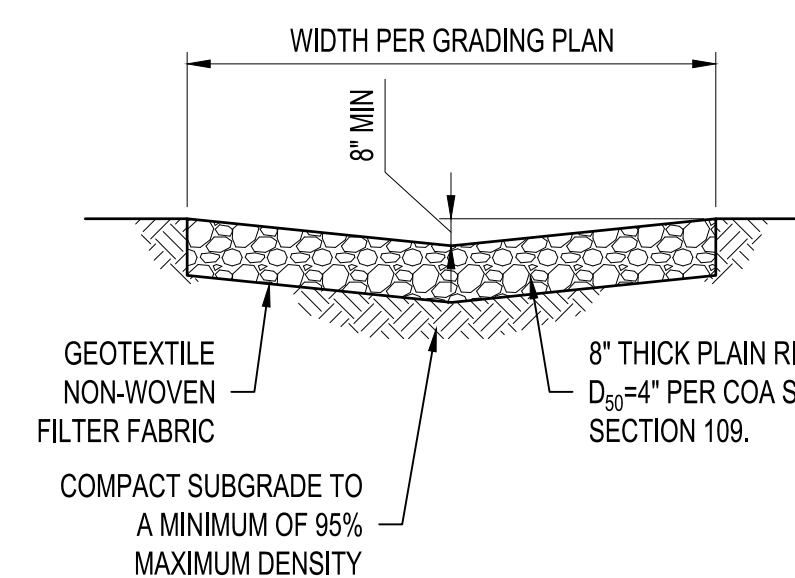
NOTE

CONTRACTOR SHALL PROVIDE AS-BUILT GRADING INFORMATION STAMPED BY A PROFESSIONAL SURVEYOR. AS-BUILT INFORMATION REQUIRED SHALL BE COORDINATED WITH THE ENGINEER AND SHALL BE SUFFICIENTLY DETAILED TO VERIFY THAT THE DRAINAGE WILL FUNCTION IN ACCORDANCE TO THE DESIGN. AS-BUILT DATA SHALL BE PROVIDED AT LEAST 5 WORKING DAYS PRIOR TO CONTRACTOR'S REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY. AT A MINIMUM, AS-BUILT DATA SHALL INCLUDE:

- ALL GRATES AND INVERTS OF CATCH BASINS
- APPROXIMATELY 75% OF ALL DESIGN SPOT ELEVATIONS & FINISHED FLOOR ELEVATIONS

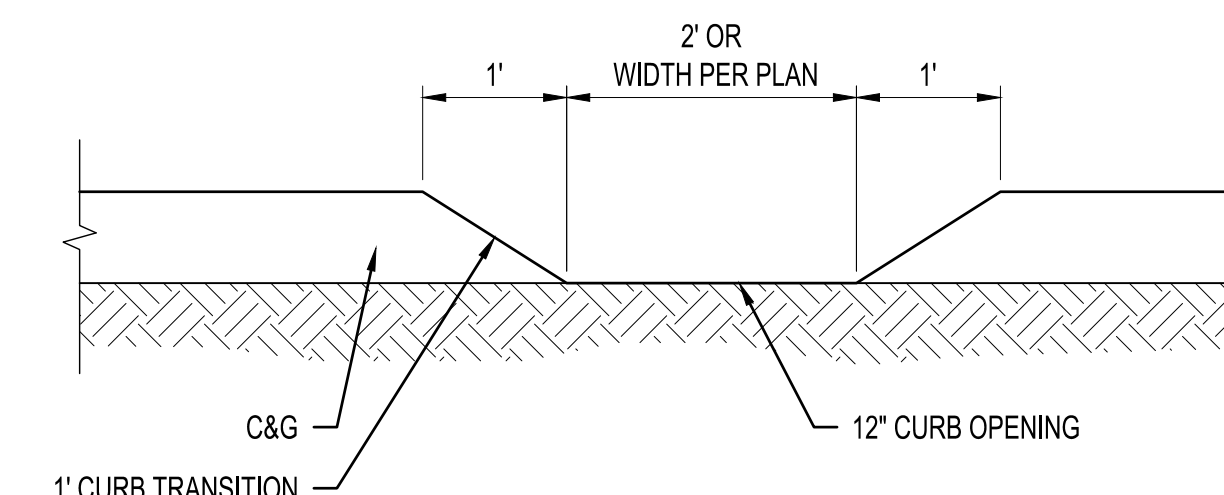
NOTE

SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 1.0% AND A MAXIMUM OF 2.0%.



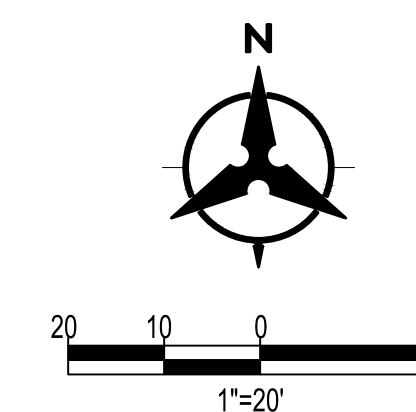
A RIP-RAP SWALE

NTS



B TYPICAL CURB OPENING

NTS



LEGEND

- PROPERTY LINE
- PROJECT LIMITS OF GRADING
- 6695--- EXISTING INDEX CONTOUR
- 6698--- EXISTING INTERMEDIATE CONTOUR
- ⊕ EXISTING GROUND SPOT ELEVATION
- 6695— PROPOSED INDEX CONTOUR
- 6698— PROPOSED INTERMEDIATE CONTOUR
- PROPOSED GRADE SPOT ELEVATION
- FL=FLOW LINE
- TC=TOP OF CURB
- TS=TOP OF SIDEWALK
- DIRECTION OF FLOW
- ← } → WATER BLOCK/GRADE BREAK
- ▬ RETAINING WALL

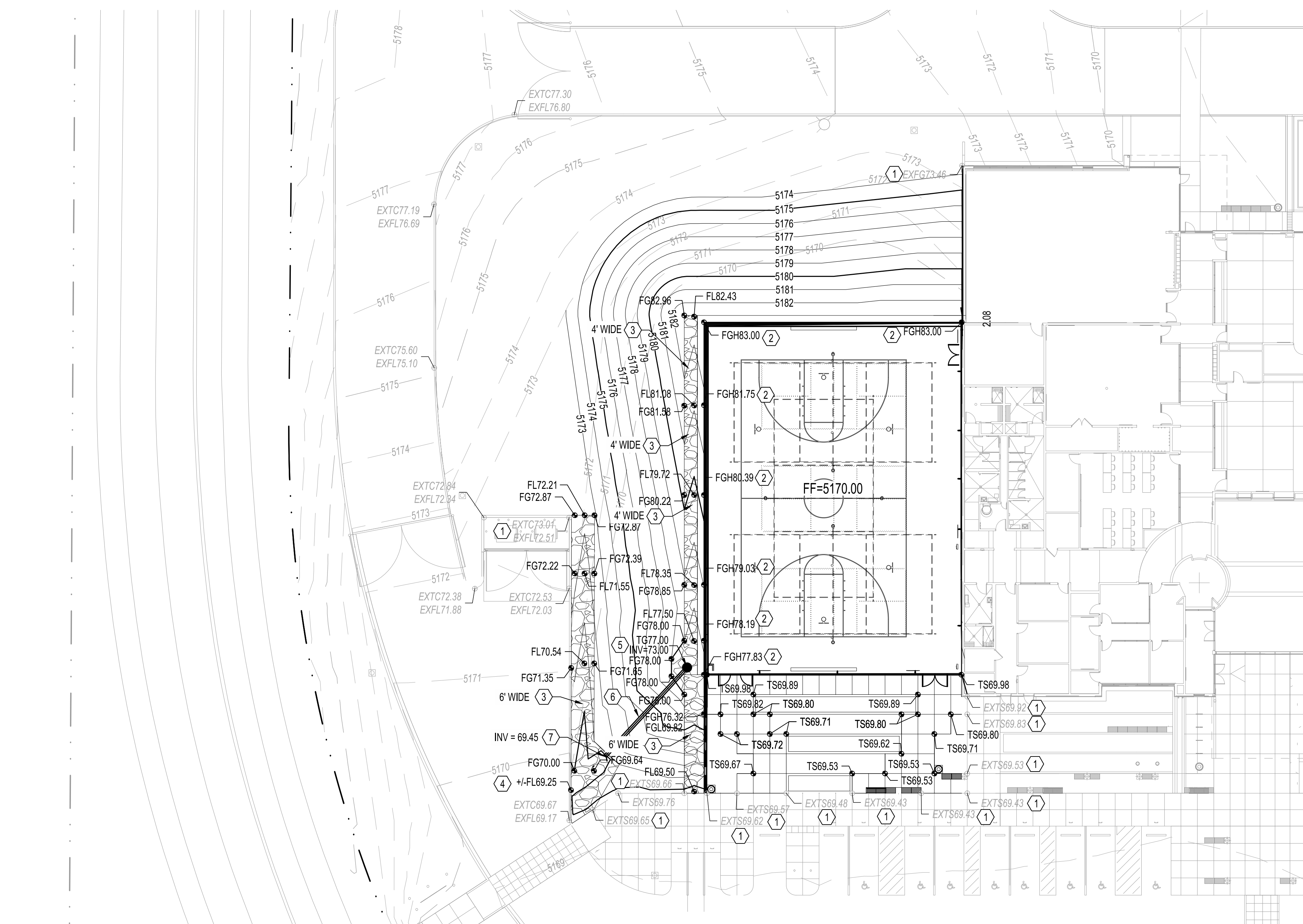
NO.	DATE	REVISIONS	CHECKED BY:

LEE GAMELSKY ARCHITECTS P.C.
 2412 MILES ROAD SE
 ALBUQUERQUE, NM 87106
 505.842.8865
 lee@gam.com

WESTGATE COMMUNITY CENTER • GYMNASIUM Albuquerque, New Mexico	
PROJECT ARCHITECT: LEE GAMELSKY, AIA	LGA Project #: Date: 9.20.2023

GRADING PLAN

By:	Sheet:	Of:
File:	C-401	



GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS, AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.

- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT. PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.
- THE CONTRACTOR SHALL PROVIDE 1 HARD COPY AND 1 ELECTRONIC COPY OF THE EPA STORM WATER POLLUTION PREVENTION PLAN ALONG WITH THE APPROPRIATE SUBMITTAL FEE TO CITY OF ALBUQUERQUE TWO WEEKS PRIOR TO THE START OF SITE DISTURBANCE IF NECESSARY.

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION." ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED HERON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAD ELEVATION SHALL BE +/- 0.05' FROM THE BUILDING PLAN ELEVATION.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 3/10/2025
 BY: [Signature]
 HydroTrans #: M09D030

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSIDERED TO BE A VIOLATION OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM ENFORCING CURB CUTS FOR ERRORS OR OMISSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.

THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.

THE PROJECT BENCHMARK IS A 2" DIA CAP STAMPED "13 369 01"
 GEOGRAPHIC POSITION (NAD 83)
 NM STATE PLANE COORDINATES
 (CENTRAL ZONE)
 GROUND TO GRID = 0.999682050
 N = 1477607.920
 E = 1492893.175
 NAVD 1988 ELEVATION = 5185.65