

# CITY OF ALBUQUERQUE

Planning Department  
David Campbell, Director



Mayor Timothy M. Keller

November 21, 2018

Matt Satches, P.E.  
Bohannon Huston, Inc.  
7500 Jefferson St NE  
Albuquerque, NM 87109

**RE: Westgate Community Center  
10001 DeVargas Rd SW  
Conceptual Grading and Drainage Plan  
Engineer's Stamp Date: 11/9/18  
Hydrology File: M09D030**

Dear Mr. Satches:

PO Box 1293

Based on the submittal received on 11/9/18, the Grading and Drainage Plan cannot be approved until the following corrections are made:

Prior to Site Plan:

Albuquerque

1. Show all public improvements along DeVargas; the grading around the entrances and ponds 2 and 3 will need to be adjusted to accommodate the new road.
2. Provide freeboard around pond 1, especially along the east property line to ensure the emergency overflow will be engaged in case of overtopping. Provide capacity calculations for the emergency spillway, sized for the 100-yr peak inflow and specify Std Dwg 2260 for the channel.
3. The sidewalk culvert/channel out to DeVargas for pond 3 is unnecessary and should be removed; if overtopped, pond will discharge to the ROW no matter what.
4. Provide the volume for the basin A-3 pond; this should exceed the 100-yr, 10day volume for the contributing area.

NM 87103

www.cabq.gov

Prior to Building Permit (For information):

5. Provide hydraulic calculations for the riprap swale along the north side of the project, the concrete rundowns into ponds 2 and 3.
6. Include a note that *no work shall be allowed in the public ROW without an approved Work Order.*

# CITY OF ALBUQUERQUE

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7. Will the basin B-2 area be used for staging? It needs to be reseeded if so; specify reseeding per section 1012 for all disturbed areas.
8. This project requires an ESC Plan, submitted to the Stormwater Quality Engineer (Curtis Cherne PE, ccherne@cabq.gov or 924-3420).
9. Additional comments may be provided at Building Permit, based on the outcome of the above remarks and level of detail shown on plans.

Prior to Certificate of Occupancy (For Information):

10. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision*, will be required.
11. City acceptance and close-out of the public Work Order will be required, unless a financial guarantee has been posted.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Sincerely,

Dana M. Peterson  
Senior Engineer, Planning Dept.  
Development Review Services

Courtyard I  
7500 Jefferson St. NE  
Albuquerque, NM  
87109-4335  
[www.bhinc.com](http://www.bhinc.com)  
voice: 505.823.1000  
facsimile: 505.798.7988  
toll free: 800.877.5332

## CLIENT/COURIER TRANSMITTAL

To: City of Albuquerque Hydrology  
Planning Department  
600 2nd St. NW  
Albuquerque, NM 87102

Requested by: Matthew Satches

Date: 11-09-2018

Time Due: ☒ This A.M.  
☐ This P.M.  
☐ Rush \_\_\_\_\_  
☐ By Tomorrow

Phone: 505-924-3895

Job No.: 20191064

Job Name: Westgate Community Center

### DELIVERY VIA

☒ Courier ☐ Federal Express  
☐ Mail ☐ UPS  
☐ Other

### PICK UP

Item: \_\_\_\_\_

<u>ITEM NO.</u>	<u>QUANTITY</u>	<u>DESCRIPTION</u>
1	1	C-001 Drainage Management Plan
2	1	C-100 Overall Grading and Drainage Plan
3	1	C-101 Grading and Drainage Plan: South
4	1	C-102 Grading and Drainage Plan: East
5	1	C-103 Grading and Drainage Plan: West
6	1	Drainage and Transportation Information Sheet
7	1	Printed Copy of Emailed Submittal
8	1	Zone Atlas Page

### COMMENTS / INSTRUCTIONS

Please find attached our Hydrology submittal for the Westgate Community Center. We are requesting COA Hydrology Site Plan for Building Permit Approval

REC'D BY: \_\_\_\_\_ DATE: \_\_\_\_\_ TIME: \_\_\_\_\_



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** Westgate Community Center **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** TR OF LAND WITHIN NW/4 NW/4 NW/4 EXC A SWLY POR SEC 33 T10NR2E (AKA PARCEL 1 SURVEY OF TOWN OF ATRISCO GRANT) CONT 12.8369 AC M/L

**City Address:** 10001 De Vargas Road SW 87121

**Applicant:** Bohannon Huston **Contact:** Matt Satches

**Address:** 7500 Jefferson St NE, Albuquerque, NM 87109

**Phone#:** 505-923-3315 **Fax#:** \_\_\_\_\_ **E-mail:** msatches@bhinc.com

**Other Contact:** Lee Gamelsky Architects **Contact:** Lee Gamelsky

**Address:** 2412 Miles Rd. SE Albuquerque, NM 87106

**Phone#:** 505.842.8865 **Fax#:** \_\_\_\_\_ **E-mail:** lee@lganm.com

**TYPE OF DEVELOPMENT:** ☐ PLAT ☐ RESIDENCE ☒ DRB SITE ☐ ADMIN SITE

Check all that Apply:

### DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION  
☐ PAD CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☒ DRAINAGE REPORT  
☐ DRAINAGE MASTER PLAN  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ STREET LIGHT LAYOUT  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL? ☐ Yes ☒ No

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☒ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) \_\_\_\_\_

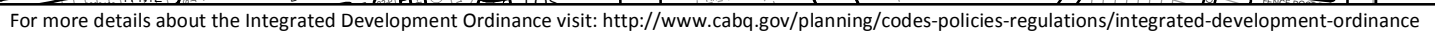
**DATE SUBMITTED:** 11-09-2018 **By:** Lee Gamelsky

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_







PROPOSED DRAINAGE NARRATIVE

INTRODUCTION:

WESTGATE COMMUNITY CENTER IS LOCATED NORTH OF DEVARGAS ROAD, EAST OF SNOW VISTA CHANNEL AND WEST OF 98TH STREET. THE PURPOSE OF THIS SUBMITTAL IS TO PROVIDE A DRAINAGE MANAGEMENT PLAN FOR THE DEVELOPMENT OF THE WESTGATE COMMUNITY CENTER AND REQUEST DRB SITE PLAN FOR BUILDING PERMIT APPROVAL.

EXISTING CONDITIONS:

THE SITE IS CURRENTLY UNDEVELOPED AND FREE DISCHARGES TO THE SOUTH INTO DEVARGAS ROAD. THE SITE CURRENTLY DRAINS FROM NORTHWEST TO SOUTHWEST. THE SITE IS BORDERED TO THE WEST BY THE SNOW VISTA CHANNEL. THIS CHANNEL AND THE WESTGATE SITE, ARE NOT LOCATED WITHIN A FEMA DESIGNATED FLOOD ZONE (FEMA FIRM MAP #3500100336H).

SITE HISTORY:

SEVERAL DRAINAGE REPORTS AND STUDIES HAVE INCLUDED THE SITE WITHIN THEIR ANALYSIS. SAD 222 DRAINAGE REPORT PREPARED BY THE LARKIN GROUP DATED 9/12/2000 STATES THAT THE INFRASTRUCTURE WITHIN THE TOWER/SAGE DRAINAGE BASIN WAS INITIALLY SIZED PRIOR TO THE ADDITION OF AHMO. SINCE THE ADOPTION OF AHMO, IT WAS FOUND THAT THE RUNOFF CONTRIBUTING TO INFRASTRUCTURE WITHIN THE TOWER/SAGE DRAINAGE BASIN, INCLUDING THE 98TH STREET STORM DRAIN, WAS MORE THAN INITIALLY THOUGHT. THE STORM DRAIN WITHIN 98TH STREET WAS SIZED TO CARRY RUNOFF GENERATED WITHIN THE 98TH STREET RIGHT OF WAY. THE PROPERTY OWNERS ALONG THE WEST EDGE OF 98TH STREET BETWEEN TOWER ROAD AND DEVARGAS ROAD ARE NOT INCLUDED WITHIN THE ANALYSIS OF SAD 222 AS THEY WILL MANAGE THEIR OWN RUNOFF ONSITE. THE AMOLE HUBBELL DRAINAGE MANAGEMENT PLAN FINAL FACILITIES REPORT DATED 7/22/1999 NOTES SIMILAR DRAINAGE ISSUES WITHIN THE TOWER/SAGE DRAINAGE BASIN. PER THE REPORT, THE CITY OF ALBUQUERQUE HAS RESTRICTED NEW DEVELOPMENT TO A RUNOFF RATE OF 1.29 CFS/ACRE. THIS WAS PROPOSED TO ALLEVIATE THE ISSUES DOWNSTREAM OF THE SITE. A NEW AMOLE HUBBELL DRAINAGE REPORT PREPARED BY WILSON & CO DATED 3/26/14 REANALYZED THE AGING 1999 REPORT. THIS NEWER REPORT DESCRIBES THE SITE'S RUNOFF AS DISCHARGING AT THE NORTHWEST CORNER OF 98TH STREET AND DEVARGAS ROAD AS ANALYSIS POINT SV16 AT A RATE OF 181 CFS. THIS ANALYSIS POINT INCLUDES THE TRAILER PARK TO THE EAST AS WELL AS PROPERTY ALONG THE WESTERN SIDE OF 98TH STREET. THE SAD 222 REPORT PREVIOUSLY STATED THAT THESE PROPERTIES WILL MANAGE THEIR OWN RUNOFF ONSITE. THESE ARE CONTRADICTING STATEMENTS. FURTHER ANALYSIS OF THE AS-BUILT OF SAD 222 SHOW THAT THE STORM DRAIN WITHIN 98TH STREET WAS DESIGNED TO HAVE A CAPACITY OF 59.30 CFS. THIS FLOW IS SIGNIFICANTLY LESS THAN THE 181 CFS THAT THE 2014 AMOLE HUBBELL DRAINAGE REPORT DESCRIBES.

THE STORM DRAIN WITHIN 98TH STREET IS UNDER CAPACITY AND CANNOT HANDLE DEVELOPED FLOWRATES FROM THE WESTGATE COMMUNITY CENTER SITE. AFTER MEETING WITH COA HYDROLOGY ON 8/7/2018 AND RESEARCHING THE AFOREMENTIONED REPORTS AND AS-BUILTS, IT WAS DETERMINED THAT THE SITE WILL BE REQUIRED TO RETAIN THE 100 YEAR – 6 HOUR STORM EVENT ONSITE.

METHODOLOGY:

THE HYDROLOGIC ANALYSIS PROVIDED WITH THIS DRAINAGE MANAGEMENT PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 22.2 OF THE DPM. THE SITE IS LOCATED WITHIN PRECIPITATION ZONE 1. LAND TREATMENT PERCENTAGES WERE CALCULATED BASED ON THE SITE CONDITIONS.

PROPOSED CONDITIONS:

PER THE EXISTING DRAINAGE REPORTS AND CAPACITY OF THE STORM DRAIN WITHIN 98TH STREET, THE SITE MUST RETAIN THE 100 YEAR – 6 HOUR STORM EVENT ONSITE.

THE SITE IS DIVIDED INTO 2 LARGE BASINS GENERALLY SEPARATING THE SITE NORTH AND SOUTH.

BASIN A IS LOCATED ON THE SOUTH PORTION OF THE SITE. THIS BASIN DRAINS FROM NORTH TO SOUTH AND CONTAINS A PORTION OF THE PROPOSED BUILDING AS WELL AS THE PARKING LOT SOUTH OF THE BUILDING. THE 100YR – 6HR VOLUME FOR SUB-BASINS A1 AND A2 IS APPROXIMATELY 29,267 CF. POND 2 AND POND 3 ARE LOCATED ALONG THE SOUTHERN PROPERTY LINE. THESE PONDS ARE SIZED TO RETAIN THE VOLUME FROM SUBBASIN A1 AND A2. POND 2 IS UNDERSIZED FOR THE SUBBASIN. OVERFLOW FROM THIS POND CONTINUES INTO POND 3. SUBBASIN A3 IS A SMALL BASIN ON THE EAST SIDE OF THE SITE THAT IS SELF CONTAINED. SUBBASIN A4 IS WITHIN THE PROPOSED PUBLIC SIDEWALK ACCESS EASEMENT. THIS SUBBASIN IS NOT RETAINED ONSITE, BUT DISCHARGES APPROXIMATELY 0.76 CFS INTO DEVARGAS ROAD.

BASIN B IS LOCATED ON THE NORTH PORTION OF THE SITE. THIS BASIN IS PRIMARILY UNDEVELOPED AND WILL CONTINUE TO BE UNDEVELOPED. SUBBASINS B1 AND B2 DISCHARGE TO THE SOUTHEAST INTO POND 1. SUBBASIN B3 DISCHARGES TO THE NORTH AND EAST OF THE EXISTING BUILDING INTO POND A AS WELL. THE 100 YR – 6 HR VOLUME FOR BASIN B IS APPROXIMATELY 32,176 CF. UNDER A LARGE STORM EVENT, A CONCRETE RIBBON CHANNEL WILL MITIGATE ANY OVERFLOW FROM POND 1 TO THE EAST OF THE PROPOSED BUILDING.

FIRST FLUSH VOLUME IS RETAINED WITHIN THE 100 YR – 6 HR STORM EVENT.

SEE POND TABLE THIS SHEET FOR MORE INFORMATION

CONCLUSION:

THE SITE RETAINS THE 100 YEAR-6 HOUR STORM EVENT. THEREFORE, WE ARE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE HYDROLOGY REQUIREMENTS AND REQUEST SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPROVAL.

LEE GAMESKY ARCHITECTS P.C.

2412 MILES ROAD SE  
ALBUQUERQUE, NM 87106  
505.842.8865 FAX 842.1693  
lee@gamm.com

WESTGATE COMMUNITY CENTER

10001 De Vargas Road SW, Albuquerque, New Mexico 87121

PROJECT ARCHITECT:  
LEE GAMESKY, AIA

Project #:  
Date: 29 OCTOBER 2018

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
DRB PROJECT NO.:

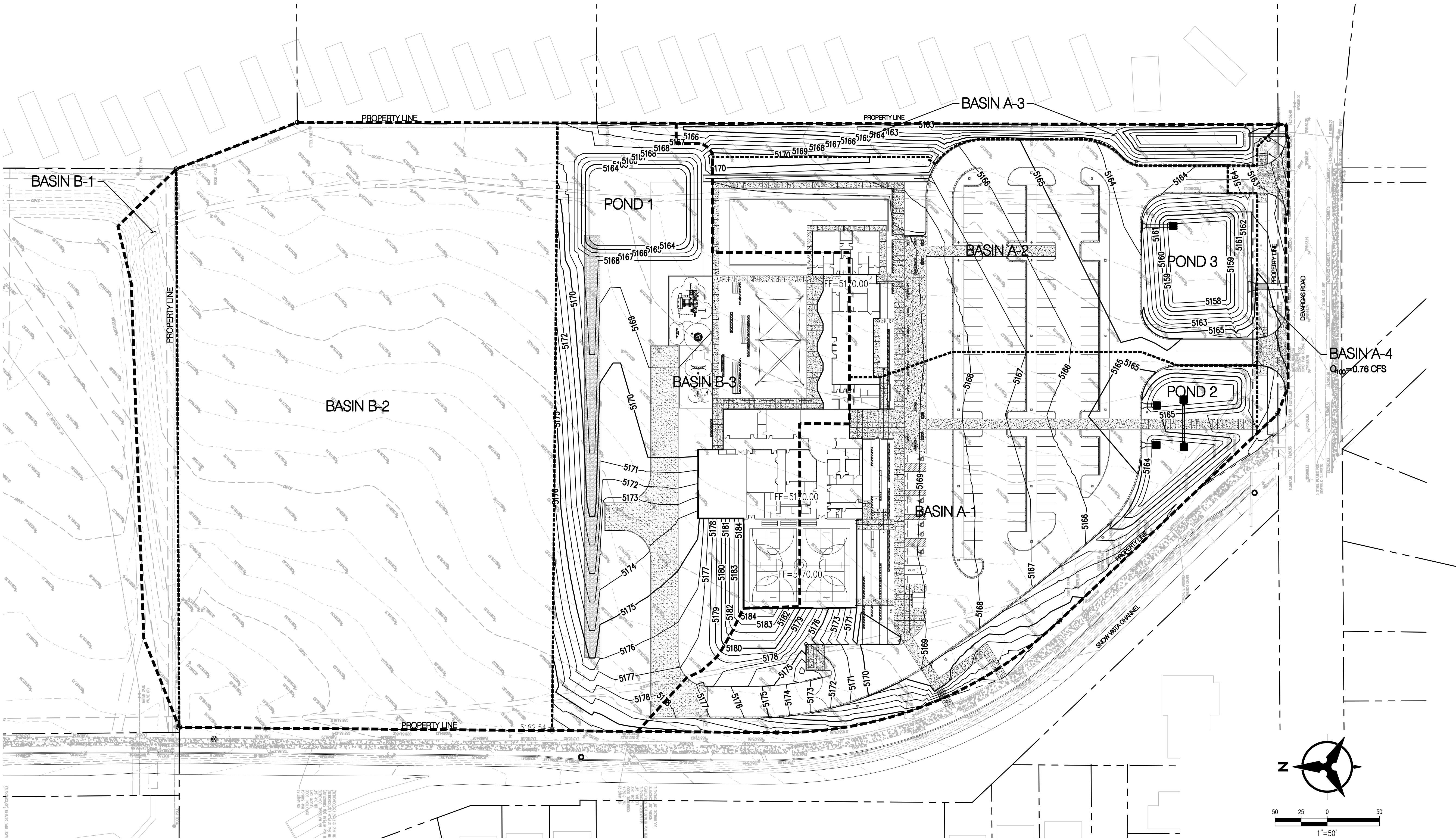
DRAINAGE MANAGEMENT PLAN

By: JPW

Sheet: Of:

SITE DEVELOPMENT PLAN

C-001



POND TABLE:

POND 1:  
VOLUME REQUIRED = 32,177 CF  
VOLUME PROVIDED = 38,232 CF  
TOP OF POND = 5168.00  
MAX WATER SURFACE ELEVATION = 5167.75

POND 2:  
VOLUME REQUIRED = 15,970 CF  
VOLUME PROVIDED = 10,125 CF  
TOP OF POND = 5164.55  
MAX WATER SURFACE ELEVATION = 5164.55\*  
\* POND OVERFLOWS TO POND 3

POND 3:  
VOLUME REQUIRED = 19,143 CF  
VOLUME PROVIDED = 40,365 CF  
TOP OF POND = 5163.25  
MAX WATER SURFACE ELEVATION = 5160.25

WESTGATE COMMUNITY CENTER

Existing Developed Conditions Basin Data Table

This table is based on the DPM Section 22.2, Zone: 1

Basin ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100yr) (cfs/ac.)	Q(100yr) (CFS)	V(100yr) (inches)	V(100yr-6hr) (CF)	V(100yr-24hr) (CF)
			A	B	C	D					
EXISTING BASIN A	232346	5.33	100.0%	0.0%	0.0%	0.0%	1.29	6.88	0.44	8519	8519
EXISTING BASIN B	347850	7.99	100.0%	0.0%	0.0%	0.0%	1.29	10.30	0.44	12755	12755
TOTAL	580196	13.32	-	-	-	-	-	17.18	-	21274	21274

WESTGATE COMMUNITY CENTER

Proposed Developed Conditions Basin Data Table

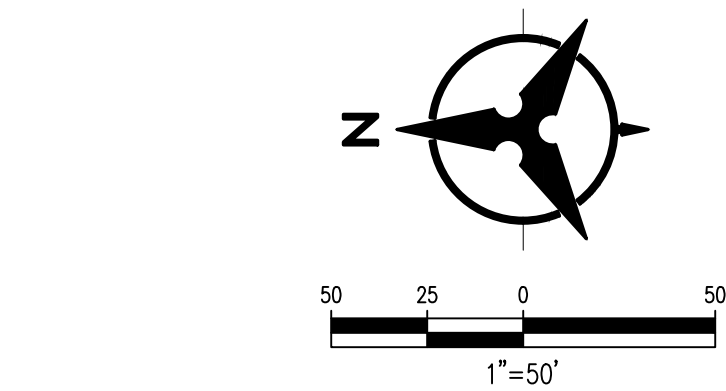
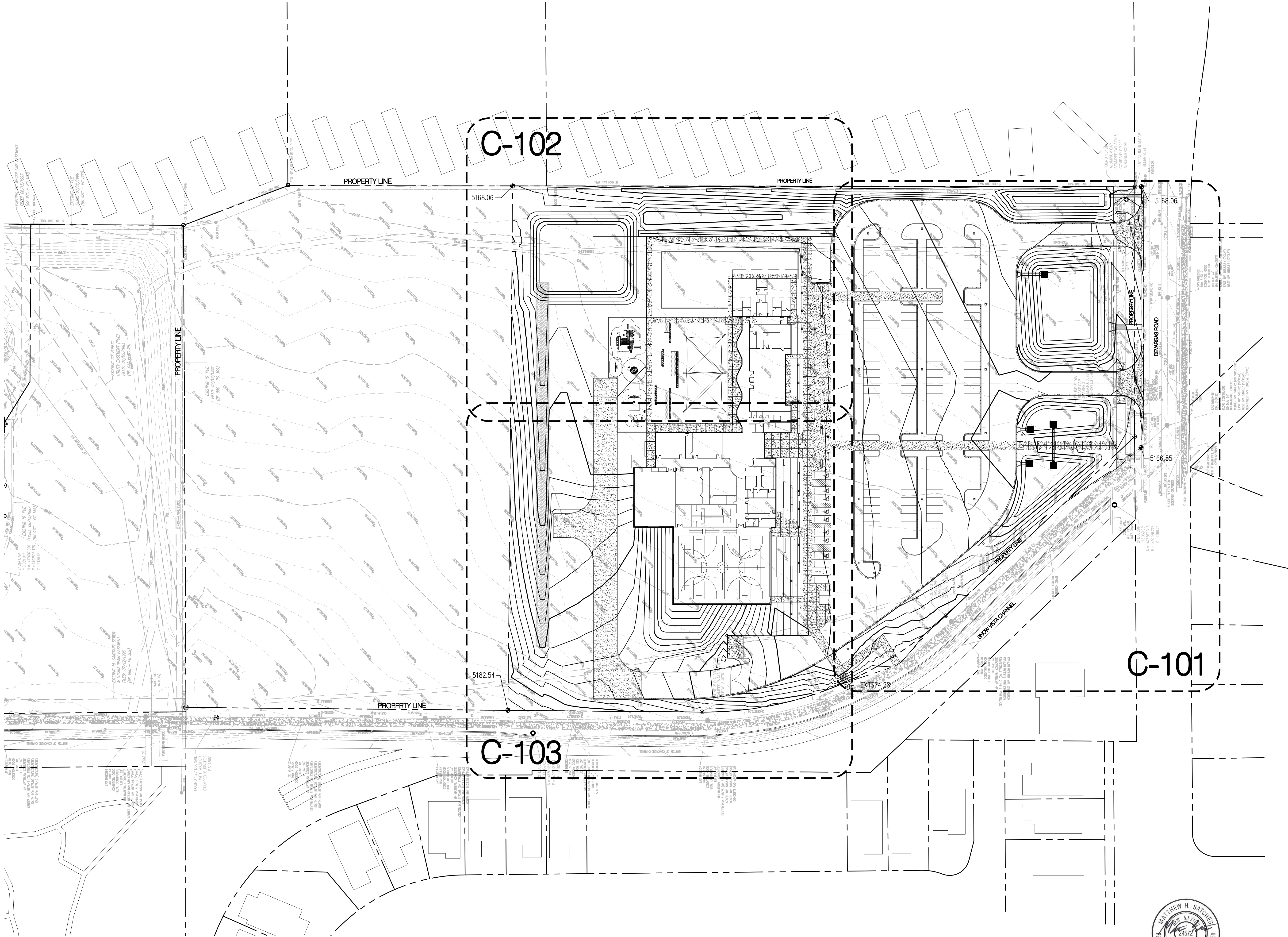
This table is based on the DPM Section 22.2, Zone: 1

Basin ID	Area	Area	Land Treatment Percentages				Q(100yr)	Q(100yr)	V(100yr)	V <sub>(100yr-6hr)</sub>	V <sub>(100yr-10day)</sub>	FIRST FLUSH
	(SQ. FT)	(AC.)	A	B	C	D	(cfs/ac.)	(CFS)	(inches)	(CF)	(CF)	(CF)
CURRENT ONSITE BASINS												
BASIN A1	117785	2.70	0.0%	0.0%	35.0%	65.0%	3.85	10.40	1.63	15970	25348	2169
BASIN A2	89950	2.06	0.0%	0.0%	20.0%	80.0%	4.07	8.40	1.77	13298	22113	2039
BASIN A3	16007	0.37	0.0%	0.0%	100.0%	0.0%	2.87	1.05	0.99	1321	1321	0
BASIN A4	8604	0.20	0.0%	0.0%	35.0%	65.0%	3.85	0.76	1.63	1167	1852	158
BASIN B1	18833	0.43	0.0%	0.0%	100.0%	0.0%	2.87	1.24	0.99	1554	1554	0
BASIN B2	207317	4.76	0.0%	0.0%	100.0%	0.0%	2.87	13.66	0.99	17104	17104	0
BASIN B3	121700	2.79	0.0%	0.0%	65.0%	35.0%	3.40	9.49	1.33	13519	18737	1207
TOTAL	580196	13.32	-	-	-	-	-	45.00	-	63931	122595	5573



NOT FOR CONSTRUCTION





LEGEND	
	PROPERTY LINE
	LIMITS OF GRADING
	EXISTING INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	EXISTING GROUND SPOT ELEVATION
	PROPOSED INDEX CONTOUR
	PROPOSED INTERMEDIATE CONTOUR
PROPOSED FINISHED GRADE SPOT ELEVATION TC=TOP OF CURB, FL=FLOW LINE, TS=TOP OF SIDEWALK TG=TOP OF GRATE, FGH=FINISH GROUND HIGH, FGL=FINISH GROUND LOW	
	PROPOSED CURB & GUTTER
	DIRECTION OF FLOW
	WATER BLOCK/GRADE BREAK
	PROPOSED STORM DRAIN LINE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED STORM DRAIN INLETS
	SWALE FLOWLINE
	TOP OF BERM
	GRADE BREAK

LEE GAMESKY ARCHITECTS P.C.	
2412 MILES ROAD SE ALBUQUERQUE, NM 87106 505.842.8865 FAX 842.1693 lee@gamm.com	
WESTGATE COMMUNITY CENTER	
10001 De Vargas Road SW, Albuquerque, New Mexico 87121	
PROJECT ARCHITECT: LEE GAMESKY, AIA	Project #: Date: 29 OCTOBER 2018
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT DRB PROJECT NO.:	
OVERALL GRADING AND DRAINAGE PLAN	
By: JPW	Sheet: Of:
SITE DEVELOPMENT PLAN	
C-100	

NOT FOR CONSTRUCTION



1. INSTALL CONCRETE RIBBON CHANNEL
2. INSTALL CONCRETE CURB OPENING
3. INSTALL RIP-RAP SWALE
4. INSTALL EMERGENCY OVERFLOW WEIR
5. INSTALL STORM DRAIN
6. INSTALL STORM DRAIN END SECTION
7. RETAINING WALL
8. INSTALL LANDSCAPED BERM
9. INSTALL RIP-RAP PAD
10. INSTALL SIDEWALK CULVERT
11. RETENTION POND

	PROPERTY LINE
	LIMITS OF GRADING
	EXISTING INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	EXISTING GROUND SPOT ELEVATION
	PROPOSED INDEX CONTOUR
	PROPOSED INTERMEDIATE CONTOUR
	PROPOSED FINISH GRADE SPOT ELEVATION TC=TOP OF CURB, FL=FLOW LINE, TS=TOP OF SIDEWALK TG=TOP OF GRATE, FGH=FINISH GROUND HIGH, FGL=FINISH GROUND LOW
	PROPOSED CURB & GUTTER
	DIRECTION OF FLOW
	WATER BLOCK/GRADE BREAK
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	PROPOSED STORM DRAIN MANHOLE
	PROPOSED STORM DRAIN INLETS
	SWALE FLOWLINE
	TOP OF BERM
	GRADE BREAK

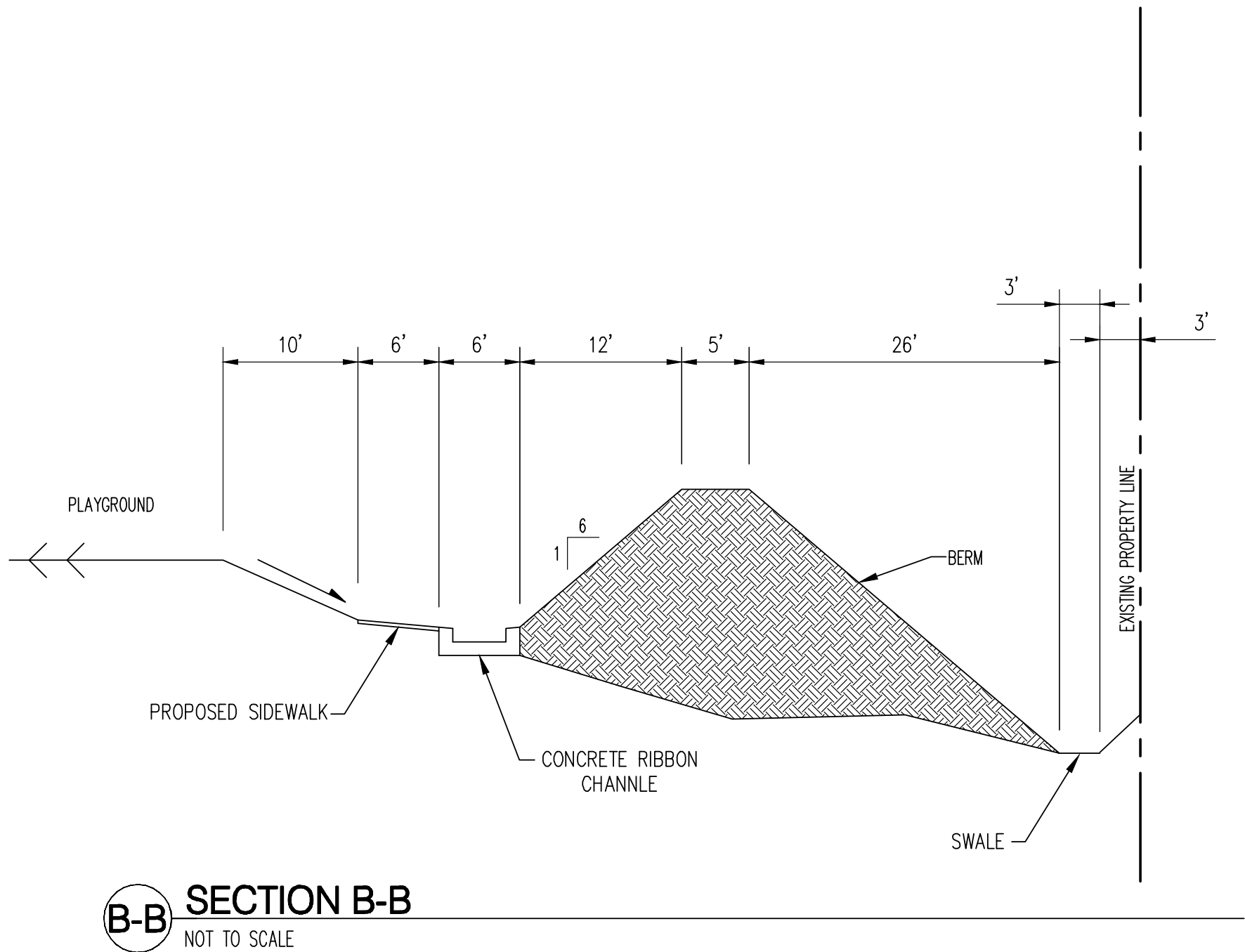
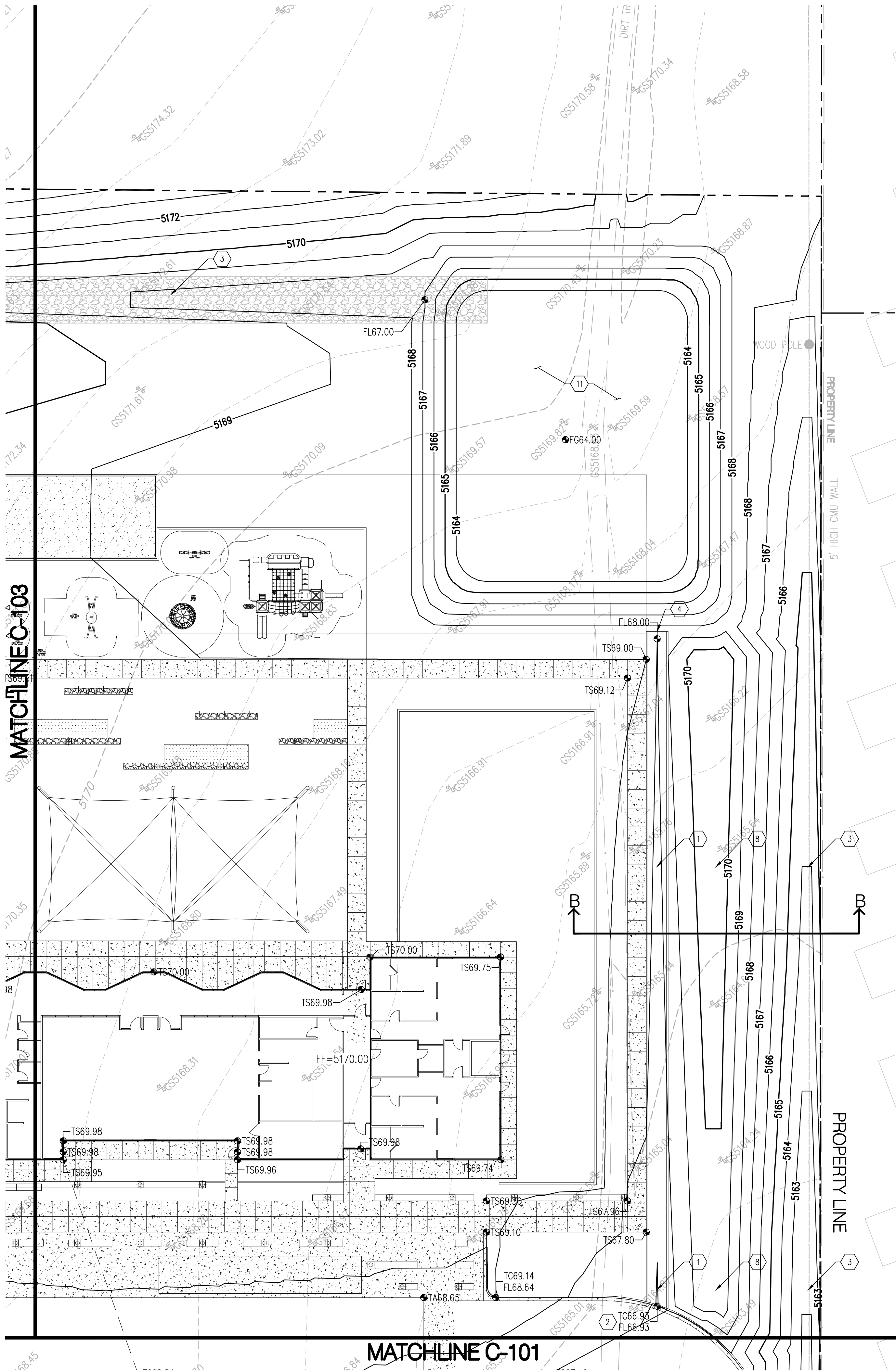
2412 MILES ROAD SE  
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By: JPW	Sheet: Of:
SITE DEVELOPMENT PLAN	0 101

C-101

**Bohannon**  **Huston**  
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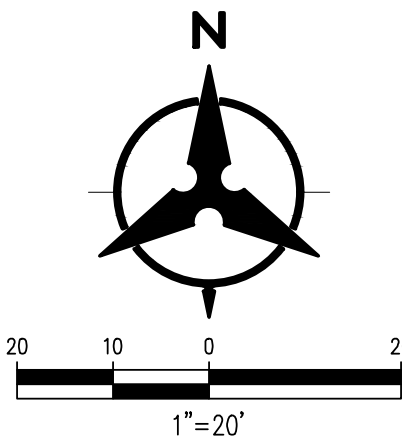




# GRADING KEYED NOTES\*

1. INSTALL CONCRETE RIBBON CHANNEL
2. INSTALL CONCRETE CURB OPENING
3. INSTALL RIP-RAP SWALE
4. INSTALL EMERGENCY OVERFLOW WEIR
5. INSTALL STORM DRAIN
6. INSTALL STORM DRAIN END SECTION
7. RETAINING WALL
8. INSTALL LANDSCAPED BERM
9. INSTALL RIP-RAP PAD
10. INSTALL SIDEWALK CULVERT
11. RETENTION POND

\*NOT ALL KEYED NOTES ARE USED ON THIS SHEET



## LEGEND

- PROPERTY LINE
- LIMITS OF GRADING
- - - 5025 EXISTING INDEX CONTOUR
- - - 5024 EXISTING INTERMEDIATE CONTOUR
- EX5025.25 EXISTING GROUND SPOT ELEVATION
- 5025 PROPOSED INDEX CONTOUR
- 5024 PROPOSED INTERMEDIATE CONTOUR
- 26.75 PROPOSED FINISHED GRADE SPOT ELEVATION
- TC=TOP OF CURB, FL=FLOW LINE, TS=TOP OF SIDEWALK, TG=TOP OF GRATE, FGH=FINISH GROUND HIGH, FGL=FINISH GROUND LOW
- ===== PROPOSED CURB & GUTTER
- S=2.0% DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK
- ===== PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLETS
- SWALE FLOWLINE
- TOP OF BERM
- ===== GRADE BREAK

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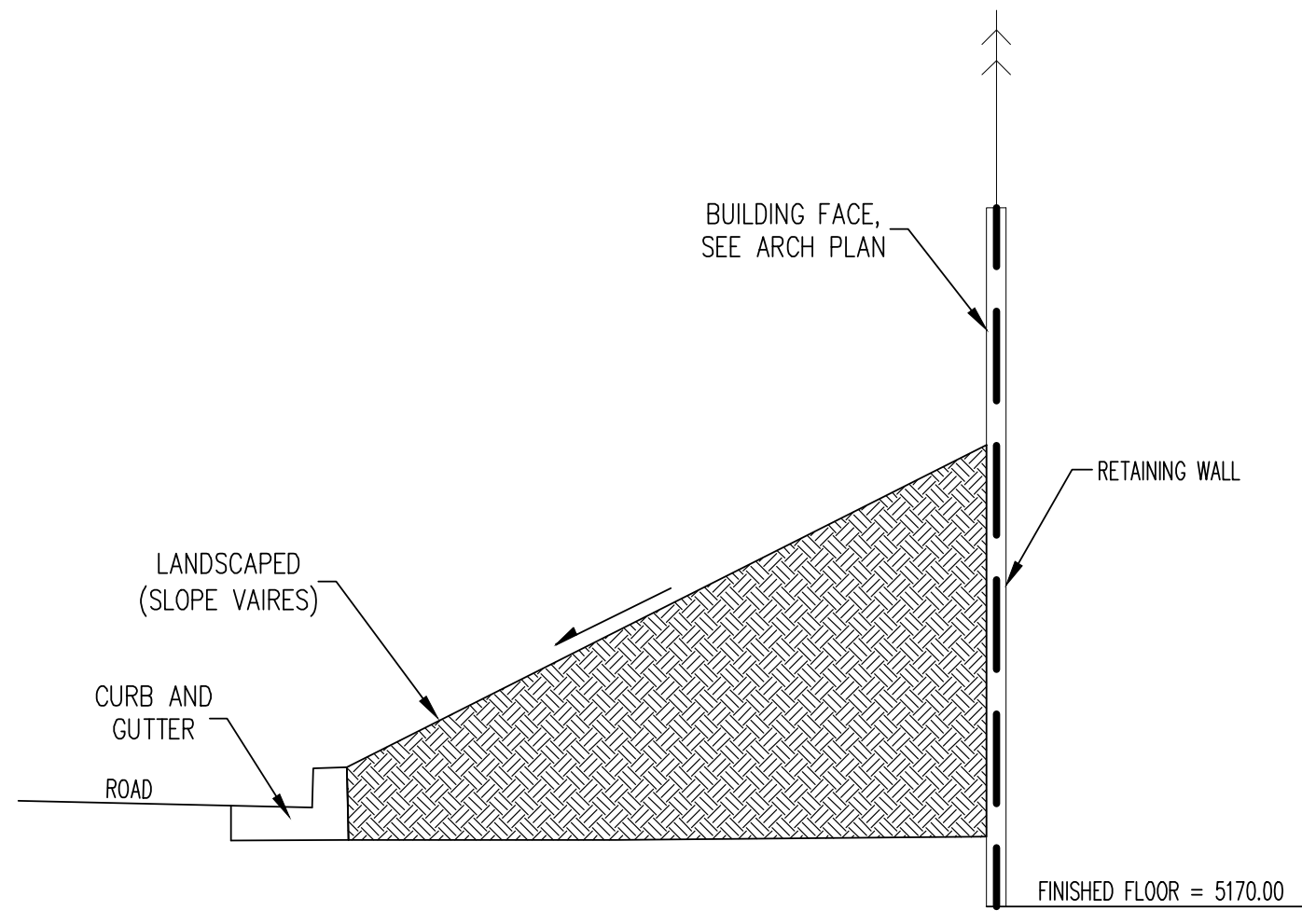
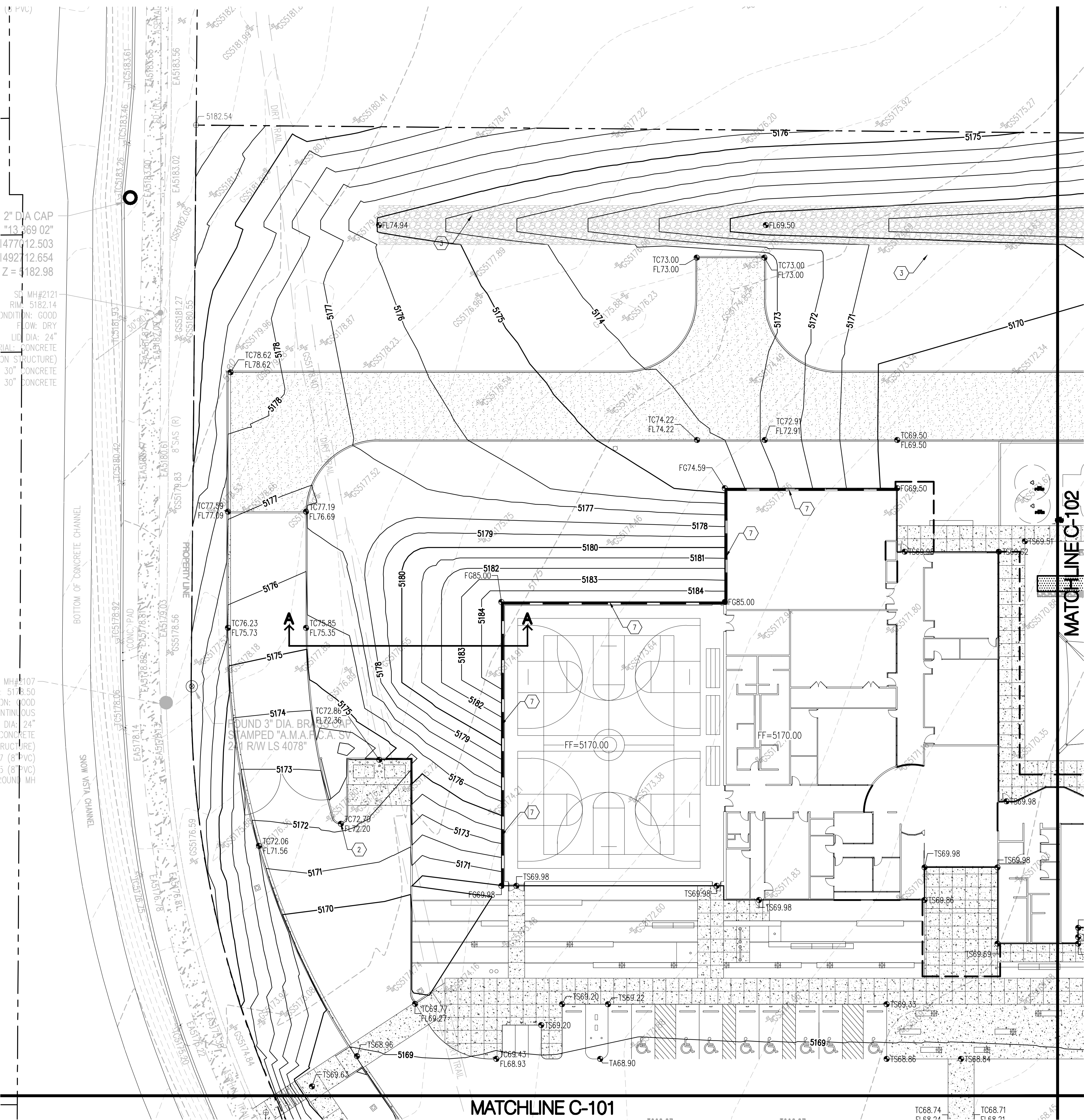
**WESTGATE COMMUNITY CENTER**  
10001 De Vargas Road SW, Albuquerque, New Mexico 87121  
PROJECT ARCHITECT:  
LEE GAMESKY, AIA  
Project #:  
Date: 29 OCTOBER 2018  
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
DRB PROJECT NO.:  
**GRADING AND DRAINAGE - EAST**

By: JPW	Sheet: Of:
SITE DEVELOPMENT PLAN	C-102



NOT FOR CONSTRUCTION



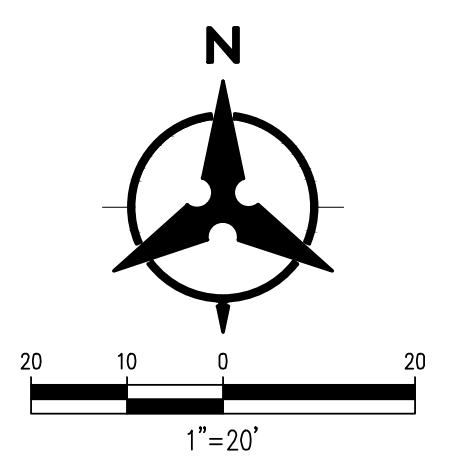


**A-A RETAINING WALL DETAIL**  
NOT TO SCALE

**GRADING KEYED NOTES\***

1. INSTALL CONCRETE RIBBON CHANNEL
2. INSTALL CONCRETE CURB OPENING
3. INSTALL RIP-RAP SWALE
4. INSTALL EMERGENCY OVERFLOW WEIR
5. INSTALL STORM DRAIN
6. INSTALL STORM DRAIN END SECTION
7. RETAINING WALL
8. INSTALL LANDSCAPED BERM
9. INSTALL RIP-RAP PAD
10. INSTALL SIDEWALK CULVERT
11. RETENTION POND

\*NOT ALL KEYED NOTES ARE USED ON THIS SHEET



**LEGEND**

- PROPERTY LINE
- LIMITS OF GRADING
- - - 5025 EXISTING INDEX CONTOUR
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- TC=TOP OF CURB, FL=FLOW LINE, TS=TOP OF SIDEWALK, TG=TOP OF GRATE, FGH=FINISH GROUND HIGH, FGL=FINISH GROUND LOW
- == PROPOSED CURB & GUTTER
- S=2.0% DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLETS
- SWALE FLOWLINE
- TOP OF BERM
- ~~~~ GRADE BREAK

LEE GAMESKY ARCHITECTS P.C.

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**WESTGATE COMMUNITY CENTER**

10001 De Vargas Road SW, Albuquerque, New Mexico 87121

PROJECT ARCHITECT: LEE GAMESKY, AIA  
Project #: 24512  
Date: 29 OCTOBER 2018

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
DRB PROJECT NO.:

**GRADING AND DRAINAGE - WEST**

By: JPW  
SITE DEVELOPMENT PLAN  
Sheet: Of:  
**C-103**



NOT FOR CONSTRUCTION

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