

CITY OF ALBUQUERQUE



February 20, 2020

Michele M. Mullen, RA
Mullen Heller Architecture
1718 Central Ave SW, Suite D
Albuquerque, NM 87104

Re: Solare Charter School, Phase 1
8801 Gibson Blvd SW
60-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 6-17-19 (M09D031)
Certification dated 2-18-20

Dear Ms. Mullen,

Based upon the information provided in your submittal received 2-18-20, Transportation Development has no objection to a 60-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 60-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Please complete bike trail keynote #27.

Once corrections are complete resubmit

1. The approved and stamped TCL with changes drawn in red.
2. Transportation Certification letter on either the plan or applicants letterhead.
3. A Drainage Transportation Information Sheet (DTIS)
4. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
5. The \$75 re-submittal fee for log in and evaluation by Transportation.

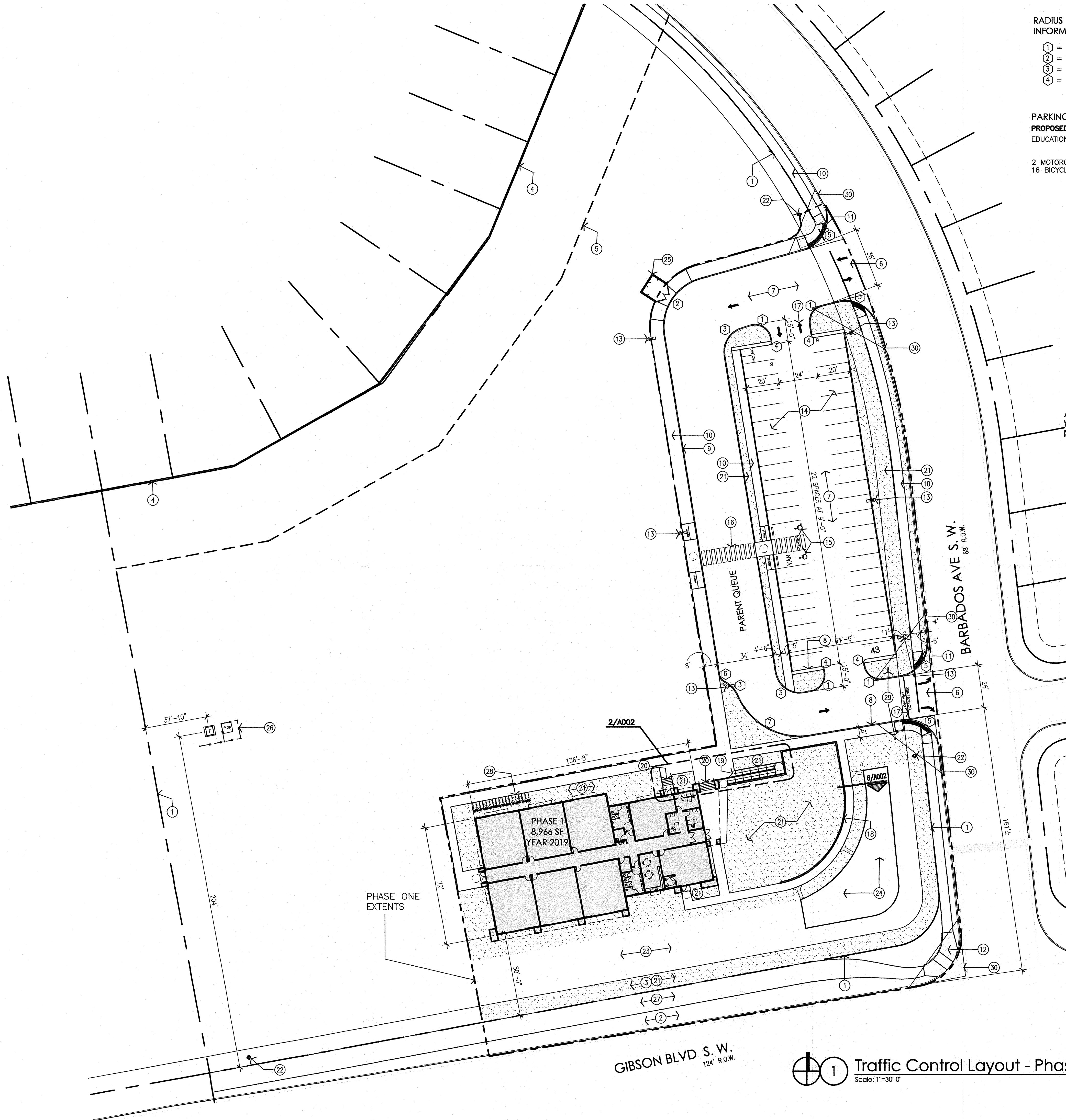
If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File



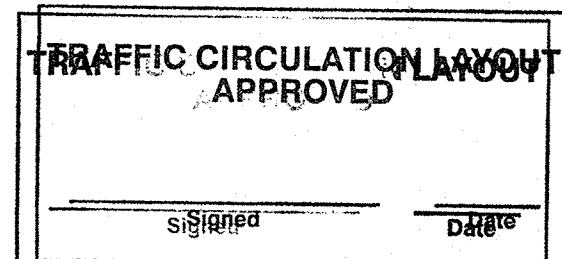


RADIUS INFORMATION:

- 1 = 10'-0"
- 2 = 30'-0"
- 3 = 15'-0"
- 4 = 3'-0"
- 5 = 20'-0"
- 6 = 5'-0"
- 7 = 40'-0"

PARKING CALCULATIONS:

PROPOSED 1-STORY SCHOOL:
EDUCATION AT 2 SPACES/CLASSROOM = 14 SPACES REQUIRED
40 STANDARD SPACES PROVIDED
2 ADA ACCESSIBLE SPACES PROVIDED
2 MOTORCYCLE SPACES REQUIRED, 2 MOTORCYCLE SPACES PROVIDED
16 BICYCLE SPACES REQUIRED, 18 BICYCLE SPACES PROVIDED



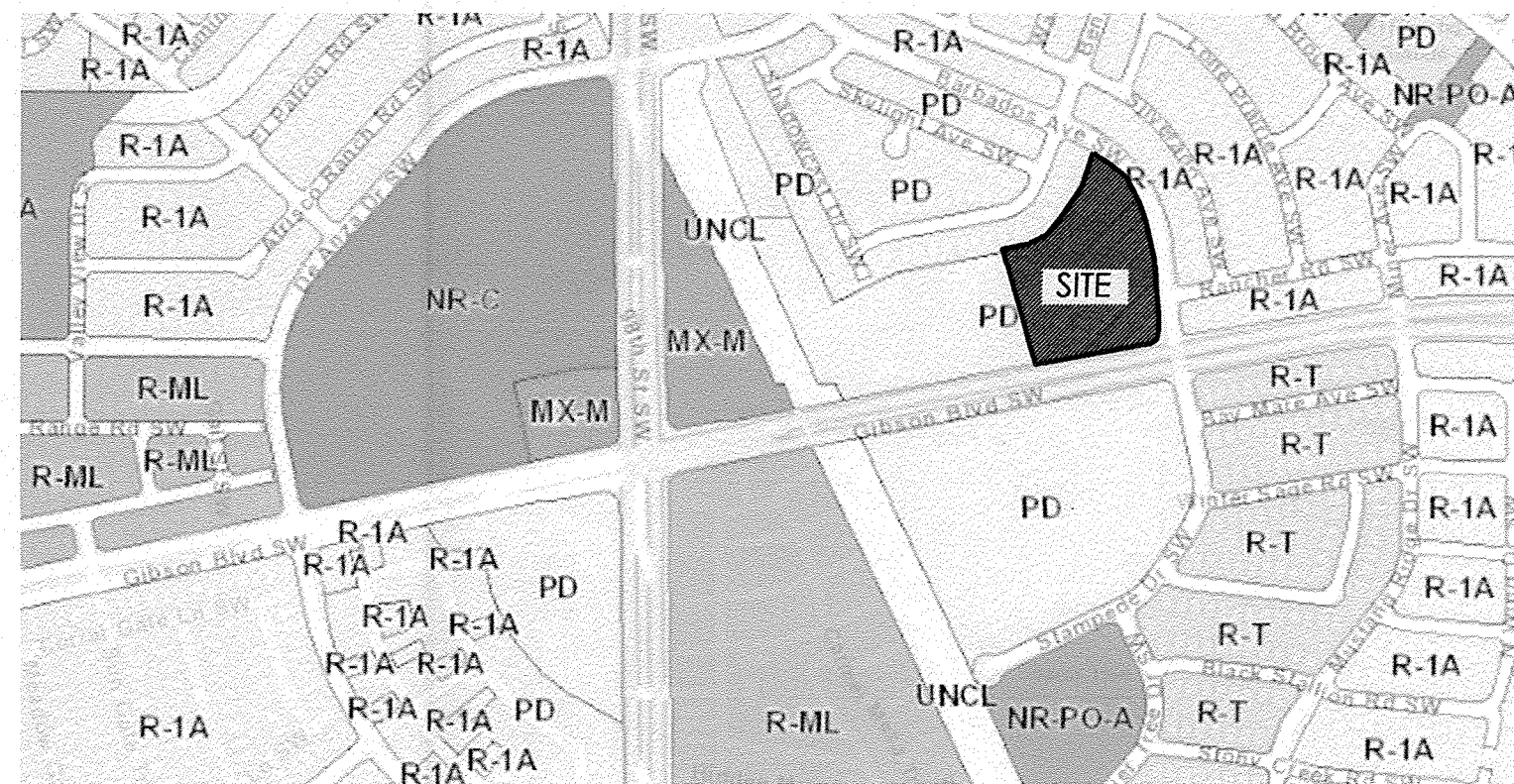
ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOWNS.

GENERAL NOTES:

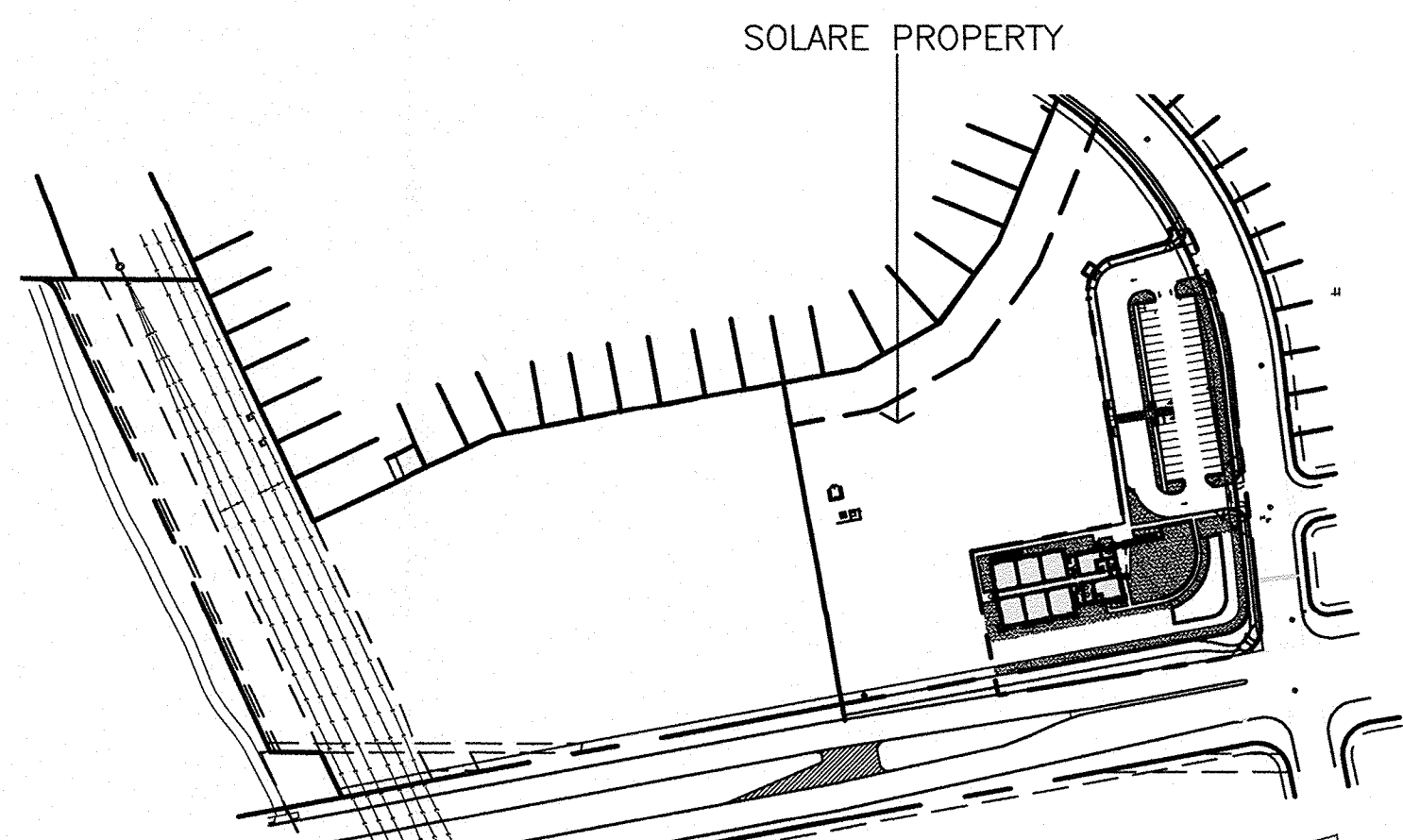
- THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
- ALL CURBS SURROUNDING LANDSCAPING, SHALL PROVIDE WATER RUNOFF OPENINGS TO ALLOW SURFACE DRAINAGE INTO THE LANDSCAPED AREAS (WATER HARVESTING).
- ALL SIGNAGE AND FENCES WILL BE DONE UNDER SEPARATE PERMIT.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
- SIDEWALK AREAS TO BE SHADED ALONG THE PRIMARY FACADE OF BUILDING.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER. THIS IS TO INCLUDE THE SIDEWALK ALONG BARBADOS, THE BIKE PATH ALONG GIBSON, AND THE TWO NEW DRIVES OFF OF BARBADOS.

KEYED NOTES:

- PROPERTY LINE
- EXISTING DIRT SHOULDER ALONG GIBSON
- EXISTING PNM EASEMENT
- EXISTING 6' CMU WALL SEPARATING SOLARE COLLEGIATE SCHOOL FROM RESIDENTIAL PROPERTIES.
- 50' "NO BUILDING" SETBACK BETWEEN RESIDENTIAL AND COMMERCIAL PROPERTY PER INTEGRATED DEVELOPMENT ORDINANCE REQUIREMENTS.
- NEW DRIVE PAD TO TIE INTO EXISTING CURB AND GUTTER SYSTEM. REFER TO CIVIL AND COA STANDARD DETAIL 2426.
- ASPHALT PAVING, REFER TO GEOTECHNICAL INVESTIGATION FOR ASPHALT SECTION.
- CONCRETE CURB AND GUTTER WHERE STORM WATER FLOWS AGAINST THE CURB.
- CONCRETE CURB
- CONCRETE SIDEWALK. REFER TO COA STANDARD DETAIL 2430.
- ADA COMPLIANT SIDEWALK RAMP WITH TRUNCATED DOWNS TO MEET COA STANDARD DETAILS AT BOTH SIDES OF NEW DRIVEPAD.
- EXISTING ADA COMPLIANT SIDEWALK INTERSECTION RAMP.
- LIGHT POLE ON CONCRETE BASE, REFER TO DETAIL.
- PARKING SPACE PAVEMENT STRIPING
- HANDICAPPED ACCESSIBLE PARKING SPACES, REFER TO DETAILS.
- CROSSWALK PAVEMENT STRIPING.
- TRAFFIC CONTROL PAVEMENT MARKINGS
- CONCRETE RETAINING WALL, REFER TO DETAIL.
- CONCRETE HANDICAPPED ACCESSIBLE RAMP, REFER TO DETAILS.
- CONCRETE STAIR, REFER TO DETAILS.
- LANDSCAPE AREA, REFER TO LANDSCAPE PLAN.
- FIRE HYDRANT, REFER TO CIVIL UTILITY PLAN.
- STORM WATER SHALE, REFER TO GRADING AND DRAINAGE PLAN.
- POND, REFER TO GRADING AND DRAINAGE PLAN.
- TEMPORARY FENCE AND GATES AROUND DUMPSTER.
- TRANSFORMER AND MDP PANEL WITH FENCE.
- BIKE TRAIL. REFER TO CIVIL.
- BIKE RACK.
- PROPOSED STANDARD SIGNAGE TO READ: "DO NOT ENTER". SEE DETAIL 6/A003.
- CLEAR SIGHT TRIANGLE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



2 Vicinity Map
Scale: Not To Scale



3 Overall Site Plan
Scale: 1"=200'-0"



DESCRIPTION

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JOB NUMBER 19-01

DRAWN BY MW/SS/AG/AV

PROJECT MGR MMM

DATE 06-27-2019

PHASE CDS

PROJECT SOLARE CHARTER SCHOOL
8801 Gibson Blvd. SW
Albuquerque, NM 87121
TITLE Traffic Control Layout

SHEET

TCL

