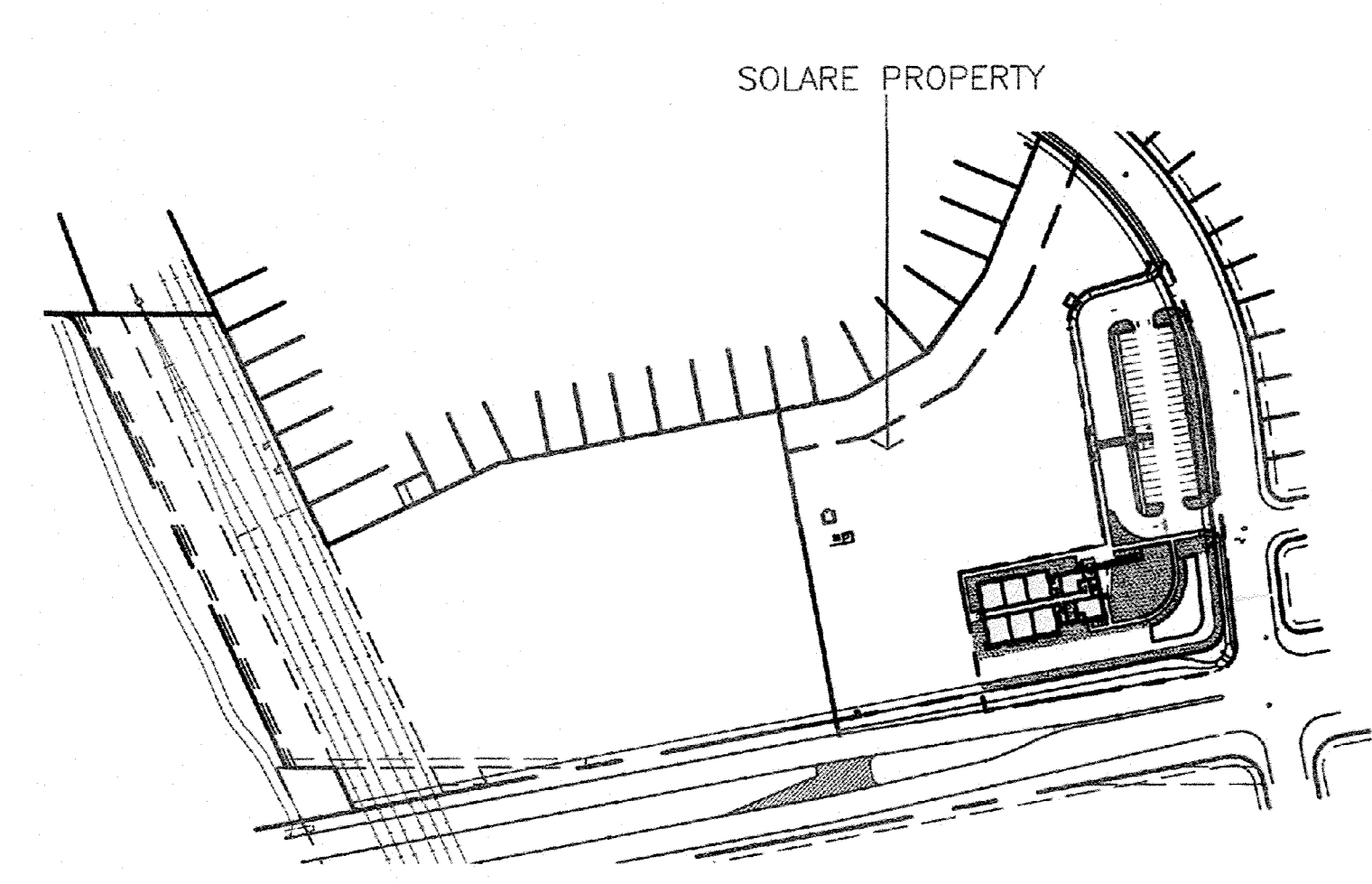


- GENERAL NOTES:
- [A] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
 - [B] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
 - [C] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
 - [D] ALL CURBS SURROUNDING LANDSCAPING, SHALL PROVIDE WATER RUNOFF OPENINGS TO ALLOW SURFACE DRAINAGE INTO THE LANDSCAPED AREAS (WATER HARVESTING).
 - [E] ALL SIGNAGE AND FENCES WILL BE DONE UNDER SEPARATE PERMIT.
 - [F] ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
 - [G] SIDEWALK AREAS TO BE SHADED ALONG THE PRIMARY FACADE OF BUILDING.

- KEYED NOTES:
- [1] PROPERTY LINE
 - [2] EXISTING DIRT SHOULDER ALONG GIBSON
 - [3] EXISTING PNM EASEMENT
 - [4] EXISTING 6" CMU WALL SEPARATING SOLARE COLLEGIATE SCHOOL FROM RESIDENTIAL PROPERTIES.
 - [5] 50' "NO BUILDING" SETBACK BETWEEN RESIDENTIAL AND COMMERCIAL PROPERTY PER INTEGRATED DEVELOPMENT ORDINANCE REQUIREMENTS.
 - [6] NEW DRIVE PAD TO TIE INTO EXISTING CURB AND GUTTER SYSTEM. REFER TO CIVIL AND COA STANDARD DETAILS.
 - [7] ASPHALT PAVING, REFER TO GEOTECHNICAL INVESTIGATION FOR ASPHALT SECTION.
 - [8] CONCRETE CURB AND GUTTER WHERE STORM WATER FLOWS AGAINST THE CURB.
 - [9] CONCRETE CURB
 - [10] CONCRETE SIDEWALK
 - [11] ADA COMPLIANT SIDEWALK RAMP WITH TRUNCATED DOMES TO MEET COA STANDARD DETAILS AT BOTH SIDES OF NEW DRIVEPAD.
 - [12] EXISTING ADA COMPLIANT SIDEWALK INTERSECTION RAMP.
 - [13] LIGHT POLE ON CONCRETE BASE. REFER TO DETAIL.
 - [14] PARKING SPACE PAVEMENT STRIPING
 - [15] HANDICAPPED ACCESSIBLE PARKING SPACES, REFER TO DETAILS.
 - [16] CROSSWALK PAVEMENT STRIPING
 - [17] TRAFFIC CONTROL PAVEMENT MARKINGS
 - [18] CONCRETE RETAINING WALL, REFER TO DETAIL.
 - [19] CONCRETE HANDICAPPED ACCESSIBLE RAMP, REFER TO DETAILS.
 - [20] CONCRETE STAIR, REFER TO DETAILS.
 - [21] LANDSCAPE AREA, REFER TO LANDSCAPE PLAN.
 - [22] FIRE HYDRANT, REFER TO CIVIL UTILITY PLAN
 - [23] STORM WATER SWALE, REFER TO GRADING AND DRAINAGE PLAN.
 - [24] POND, REFER TO GRADING AND DRAINAGE PLAN.
 - [25] TEMPORARY FENCE AND GATES AROUND DUMPSTER.
 - [26] TRANSFORMER AND MDP PANEL WITH FENCE.
 - [27] BIKE TRAIL. REFER TO CIVIL.

PARKING CALCULATIONS:
PROPOSED 1-STORY SCHOOL:
 EDUCATION AT 2 SPACES/CLASSROOM = 14 SPACES REQUIRED
 41 STANDARD SPACES PROVIDED
 2 ADA ACCESSIBLE SPACES PROVIDED

- RADIUS INFORMATION:
- [1] = 10'-0"
 - [2] = 30'-0"
 - [3] = 15'-0"
 - [4] = 3'-0"
 - [5] = 20'-0"
 - [6] = 5'-0"
 - [7] = 40'-0"



1 Architectural Site Plan - Phase 1
 Scale: 1"=30'-0"

2 Overall Site Plan
 Scale: 1"=200'-0"

DESCRIPTION

BY

DATE

REV

1

2

3

4

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JOB NUMBER 19-01

DRAWN BY MW/SS/AG/AV

PROJECT MGR MMM

DATE 06-27-2019

PHASE CDs

PROJECT **SOLARE CHARTER SCHOOL**
 8801 Gibson Blvd. SW
 Albuquerque, NM 87121

TITLE **Architectural Site Plan - PHASE 1**

SHEET

A001