

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

August 13, 2021

Shannon VanDusen, RA
SCOUT Design
4215 Avenida La Resolana NE
Albuquerque, NM 87121

Re: Solare Charter School Phase 2
8801 Gibson Blvd SW
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 11-20-20 (M09D031A)
Certification dated 8-13-21

Dear Ms. VanDusen,

Based upon the information provided in your submittal received 8-13-21, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Pending Site Visit for Phase 2.

Once corrections are complete resubmit

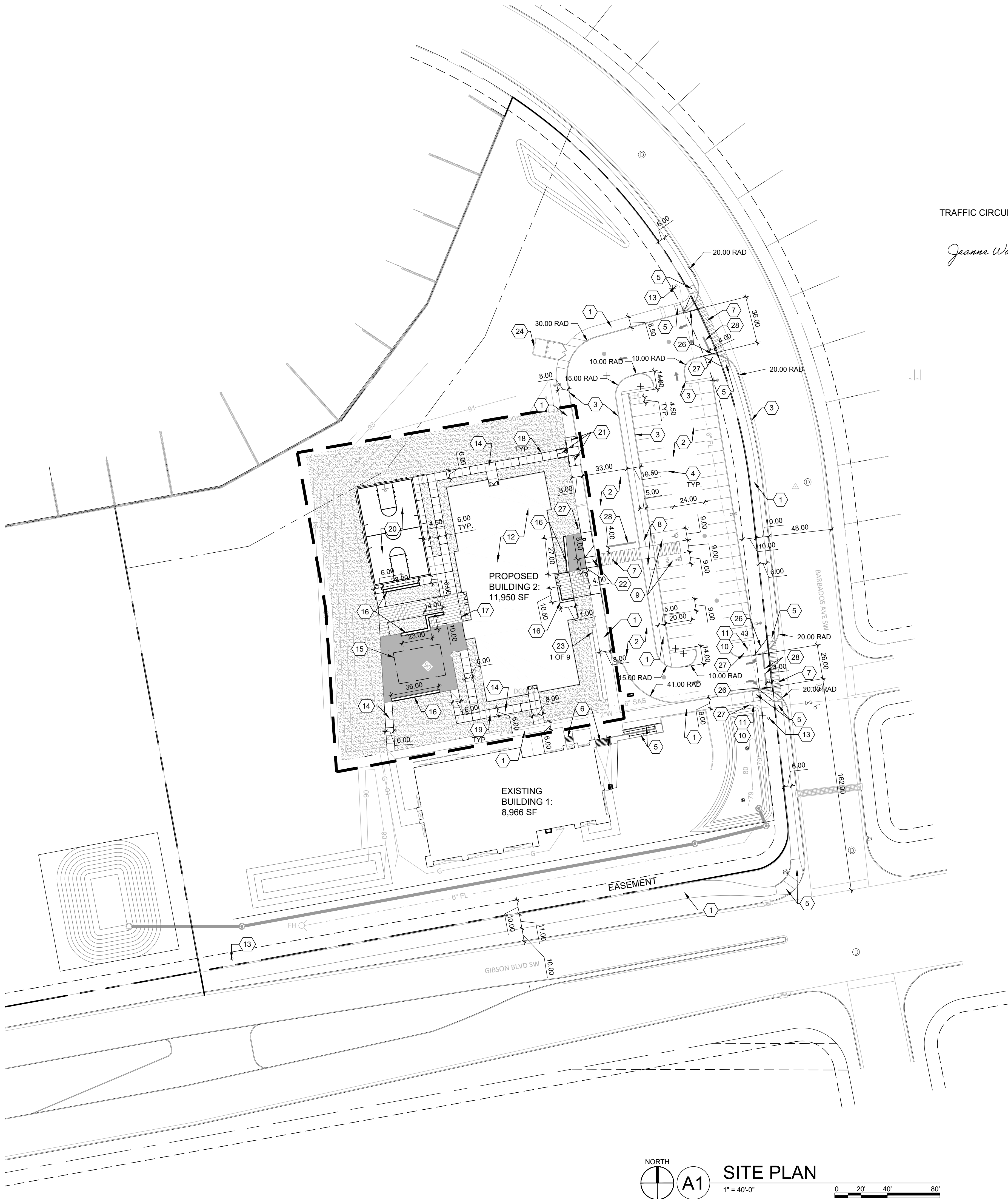
1. The approved and stamped TCL, with changes drawn in red.
2. Transportation Certification letter on either the plan or applicants letterhead.
3. A Drainage Transportation Information Sheet (DTIS)
4. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
5. The \$75 re-submittal fee for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File



TRAFFIC CIRCULATION LAYOUT APPROVED 1/21/21

Jeanne Wolfenbarger

NORTH

A1

SITE PLAN

1" = 40'-0"

0 20' 40' 80'

GENERAL SHEET NOTES

- CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS TO REMAIN INCLUDING, BUT NOT LIMITED TO, BUILDINGS, PAVING, CURBS, SITE WALLS, FOUNDATIONS AND UTILITIES. EXISTING FOUNDATIONS SHALL MAINTAIN THEIR ORIGINAL STRUCTURAL INTEGRITY AS THEY WERE DESIGNED.
- GENERAL CONTRACTOR SHALL PATCH, REPAIR AND/OR REPLACE ITEMS TO REMAIN THAT HAVE BEEN DAMAGED DURING CONSTRUCTION, TO THE OWNER'S SATISFACTION AND AT NO COST TO THE OWNER.
- CONTRACTOR SHALL ENSURE THAT UTILITY SERVICE TO EXISTING BUILDINGS TO REMAIN SHALL BE OPERATIONAL DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFETY MEASURES TO PROTECT PEDESTRIANS AND VEHICLES DURING CONSTRUCTION.
- CONTRACTOR IS TO VERIFY ALL EXISTING UTILITY LOCATIONS BEFORE EXCAVATION.
- SEE CIVIL PLANS FOR GRADING, DRAINAGE, AND UTILITY INFORMATION.
- EXISTING UTILITIES AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY.
- ALL SITE PLAN DIMENSIONS ARE IN DECIMAL UNITS.
- SIDEWALK JOINTS SHALL FOLLOW PATTERN AS SHOWN ON SITE PLAN.
- CONSTRUCTION AREA INCLUDED TREES AND PLANTS TO REMAIN.
- SOLARE CHARTER SCHOOL SHALL HAVE A STAFF MEMBER PRESENT DURING DROP-OFF AND PICK UP TIMES TO HELP STUDENTS SAFELY CROSS THE DRIVE AISLE WHEN DOUBLE STAKING IS IMPLEMENTED WITHIN THE DRIVE AISLE.
- STAFF AT SOLARE CHARTER SCHOOL SHOULD GET FAMILIARIZED WITH THE EPA IDLE-FREE SCHOOLS TOOL-KIT TO MINIMIZE ANY IDLING OF VEHICLES.

LEGAL DESCRIPTION

TRACT NUMBERED TWELVE-B-ONE-B (12-B-1-B) OF THE PLAT OF TRACT 12-B-1-A AND 12-B-1-B, EL RANCHO GRANDE I, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 12, 2019 IN PLAT BOOK 2019 C, PAGE 127.

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SITE CALCULATIONS

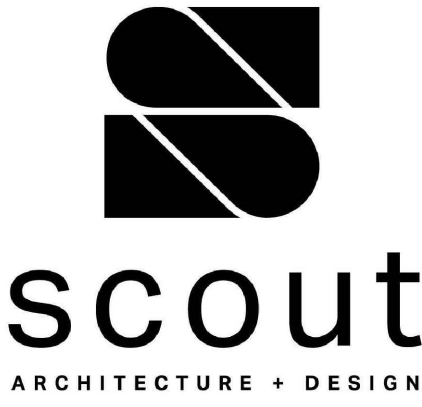
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NUMBER OF STUDENTS THAT WILL BE SERVED BY EACH PHASE:
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LEGEND

	PROPERTY LINE
	EASEMENT
	LIMITS OF WORK
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	BRICK PAVERS, SEE A4/AS501, COLOR TBD, PATTERN RUNNING BOND.
	INTEGRAL COLORED CONCRETE, COLOR TBD, SEE A1/AS501

VICINITY MAP



ARCHITECT/ ENGINEER



3801 GIBSON BLVD SW
ALBUQUERQUE, NM 87121

PERMIT
SET

REVISION DATE



DATE 11.20.20

PROJECT NO

TCL
SITE PLAN

SHEET NO.

AS101



August 13, 2021

RE: Traffic Circulation Certification Letter for Solare Collegiate Charter School – phase 2

I, Shannon VanDusen, NMPE OR NMRA NUMBER 005140, OF THE FIRM SCOUT design, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 1/21/21. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Shannon VanDusen OF THE FIRM SCOUT design. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 8/5/21 and 8/13/21 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Certificate of Occupancy.

See attached redlined plan and approved CoA site plan revised during construction.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

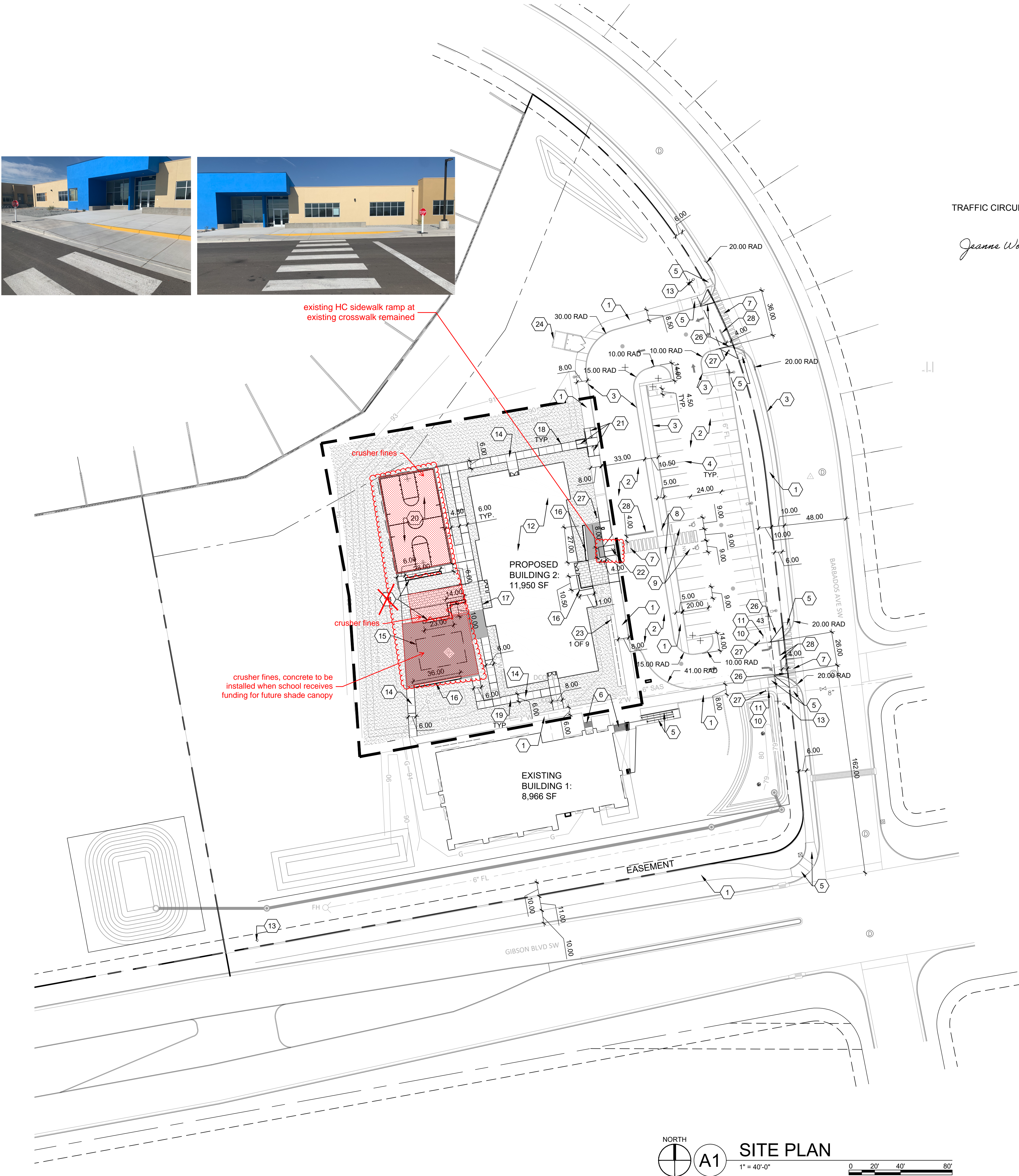
Sincerely,

A handwritten signature in blue ink that reads 'Shannon VanDusen'.

Shannon VanDusen



AS501



TRAFFIC CIRCULATION LAYOUT APPROVED 1/21/21

Jeanne Wolfenbarger

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SITE CALCULATIONS

EXISTING BUILDING 1/ 1-STORY SCHOOL:
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VICINITY MAP



PERMIT SET

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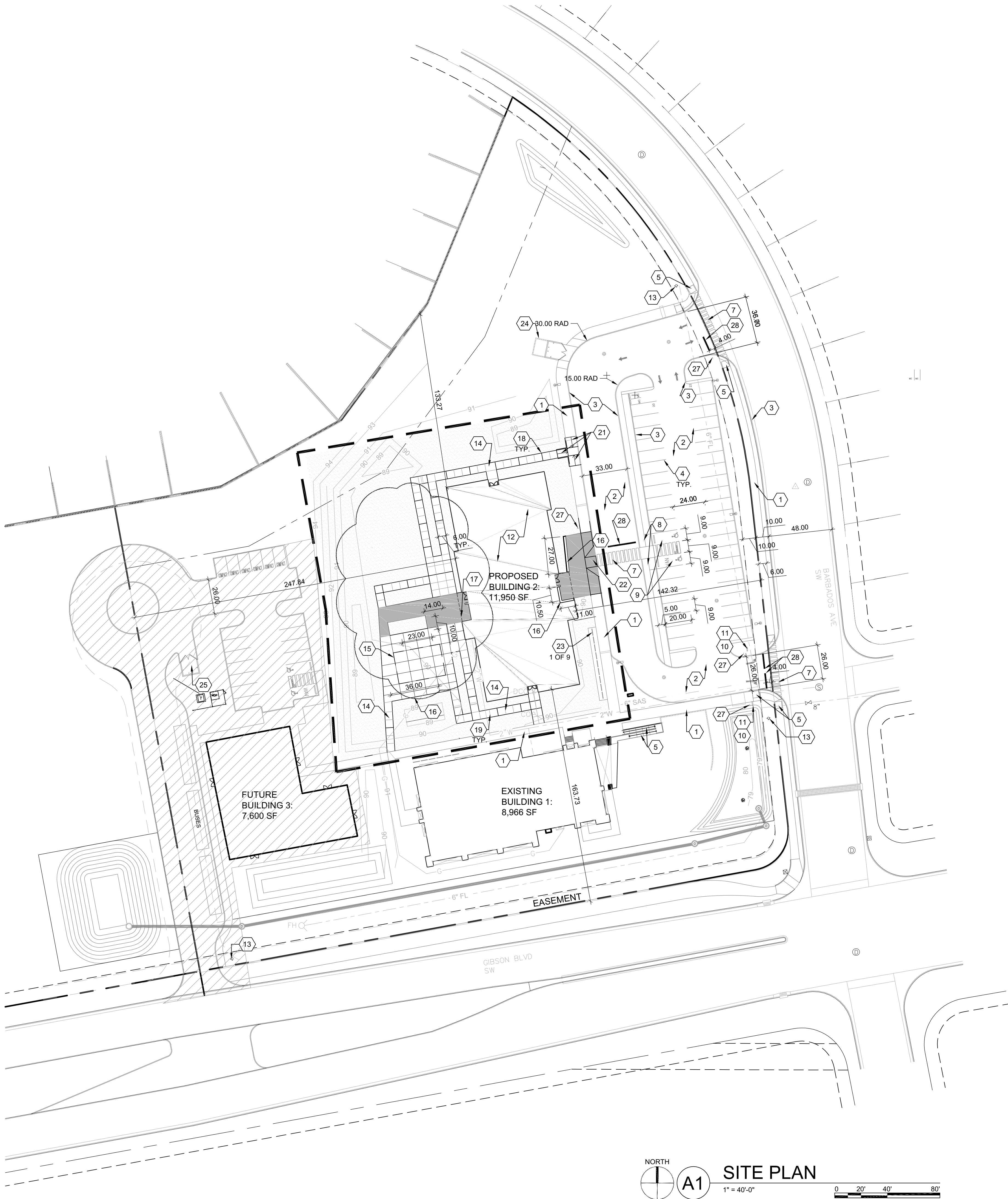
PROJECT NO

TCL
SITE PLAN

SHEET NO.

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CITY OF ALBUQUERQUE
PLANNING
DEPARTMENT
1000 CENTRAL AVENUE, N.W.
ALBUQUERQUE, NM 87102-4241
PHONE: 505-243-3100
WWW.ALBURGOV.GOV

GENERAL SHEET NOTES

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2. GENERAL CONTRACTOR SHALL EXCAVATE, REPAIR AND/OR REPLACE ITEMS TO REMAIN THAT HAVE BEEN DAMAGED DURING CONSTRUCTION, TO THE OWNER'S SATISFACTION AND AT NO COST TO PERMIT # **HP-2020-52316**.

3. CONTRACTOR SHALL ENSURE UTILITY SERVICE TO EXISTING BUILDINGS TO REMAIN SHALL BE OBTAINED PRIOR TO CONSTRUCTION.

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FUTURE PHASE EXTENTS

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VICINITY MAP

SITE PLAN

SHEET NO.

AS101

scout

ARCHITECTURE + DESIGN

ARCHITECT/ ENGINEER

STATE OF NEW MEXICO
SHANNON
PARKS
No. 005140
1/20/20
REGISTERED ARCHITECT

3801 GIBSON BLVD SW
ALBUQUERQUE, NM 87121