

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

December 4, 2020

Scott McGee, P.E.  
9700 Sand Verbena Trail NE  
Albuquerque, NM 87122

**RE: Solare Charter School  
8801 Gibson Blvd SW  
Grading and Drainage Plan  
Engineer's Stamp Date: 11/17/20  
Hydrology File: M09D031A**

Dear Mr. McGee:

Based upon the information provided in your submittal received 11/23/2020, the Grading and Drainage Plan is approved for Building Permit.

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

Also, please provide the Drainage Covenant for the proposed stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. There is a recording fee (\$25, payable to Bernalillo County). Please contact Charlotte LaBadie ([clabadie@cabq.gov](mailto:clabadie@cabq.gov), 924-3996). Due to COVID-19, please follow the instructions:

Either email a pdf copy of the executed drainage covenant and the exhibit to [clabadie@cabq.gov](mailto:clabadie@cabq.gov) or either mail or drop off the originals. Please mail the \$25.00 recording fee check made payable to Bernalillo County to:

Planning Dept./DRC  
Attn: Charlotte LaBadie  
600 2nd St. NW, Ste. 400  
ABQ, NM, 87102

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If you drop off the originals, there is a drop box outside the building labeled DRC. Once approved and recorded, Charlotte will email you a copy.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

*Renée C. Brissette*

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_\_# OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

**IS THIS A RESUBMITTAL?:** \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

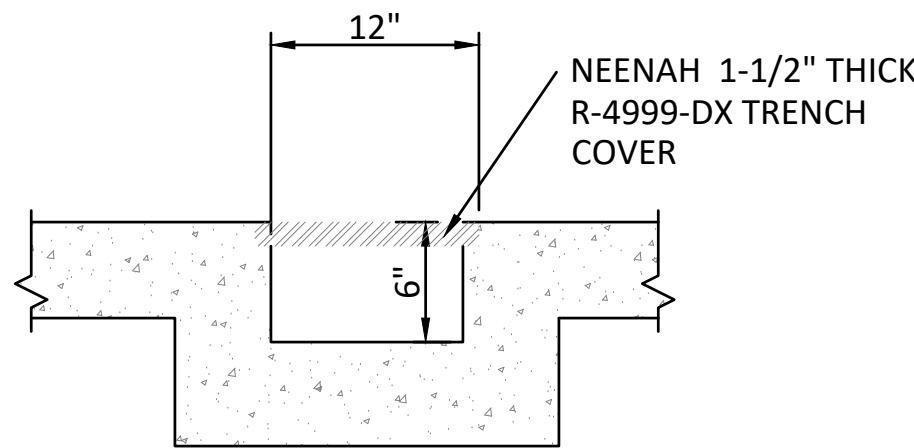
**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



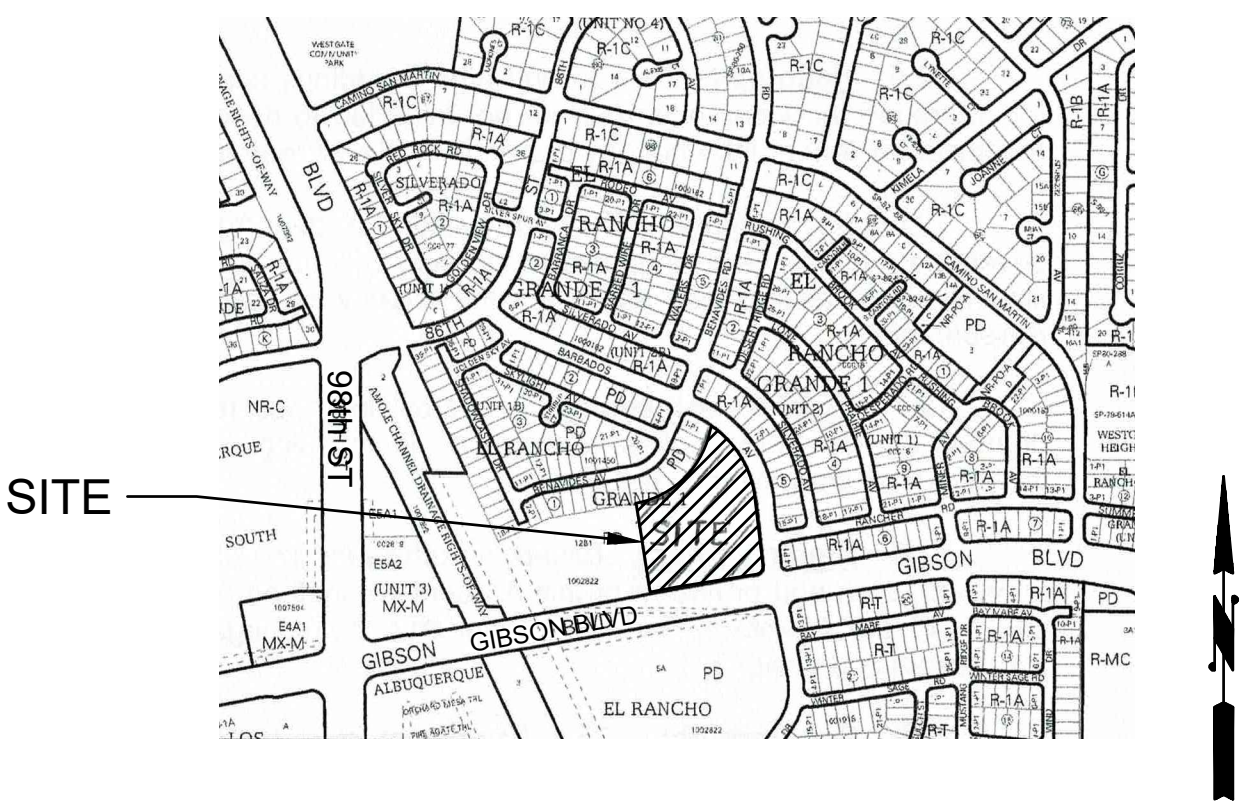


## SIDEWALK CULVERT DETAIL

NTS

City of Albuquerque  
Planning Department  
Development Review Services  
HYDROLOGY SECTION  
**APPROVED**  
DATE: 12/04/20  
BY: *Rene C. Brissett*  
HydroTrans # M09D031A

THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE  
CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY  
ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT  
THE CITY OF ALBUQUERQUE FROM REQUIRING  
CORRECTION, OR ERROR OR DIMENSIONS IN PLANS,  
SPECIFICATIONS, OR CONSTRUCTIONS. SUCH APPROVED PLANS  
SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT  
AUTHORIZATION.



## VICINITY MAP

M-9

## LEGEND

- EXISTING CONTOURS
- NEW CONTOUR
- FF=4973.00 PROPOSED BUILDING FINISH FLOOR ELEV
- NEW SPOT ELEVATION
- NEW CONSTRUCTION
- DS DOWNSPOUT
- TC TOP OF CURB

## KEYED NOTES

- A. INSTALL NEW 12" SIDEWALK CULVERT.

## DRAINAGE ANALYSIS

LEGAL: Tract 12-B-1-B, El Rancho Grande I, Albuquerque, NM  
ADDRESS: 8801 GIBSON BLVD SW  
SITE AREA: 4.88 acres  
PROJECT AREA = 180'x215' = 38,700 SF (0.89 AC)  
BENCHMARK: City of Albuquerque Station '10\_M9' being an aluminum disc  
ELEV= 5082.551 (NAVD 1988)

SURVEYOR: CSI-Cartesian Surveys Inc. dated September 2020

PRECIPITATION ZONE: 1

FLOOD HAZARD: From FEMA Map 35001C0336H (dated 8/16/2012), this site is identified as being within Zone 'X' which is determined to be outside the 0.2% chance annual floodplain.

EXISTING CONDITIONS: The existing site is developed with a single classroom building, paved parking lot and drop-off drive aisle, and xeric landscaping. It slopes from the west down to the east at approximately 3%. There are 2 onsite detention ponding areas located east and west of the existing building.

PROPOSED IMPROVEMENTS: The proposed improvements include an 11,980 SF classroom building with several sports courts west of the building. The existing parking will be sufficient to support the new building.

DRAINAGE APPROACH: The drainage plan will equally split the roof flows to both the east and west sides of the building. A landscaped retention pond is proposed north of the building to store the east half of the roof. Developed roof and sports court runoff will discharge via surface flow to the southwest of the building where an existing pond will be enlarged to retain the needed SWQ volume.

Existing land treatment: 100% C (previously disturbed)  
 $Q = (2.87)(0.89) = 2.55$  CFS

Proposed land treatment: 45% C and 55% D  
 $Q = [(0.45)(2.87) + (0.55)(4.37)](0.89) = 3.3$  CFS

Storm water quality volume (SWQV) is based on 0.42" rain over the impervious area giving --  $V = (21,260)(0.42/12) = 744$  CF  
The depressed landscape ponds provide a total of 1,190 CF onsite retention storage volume at 0.5'-0.8' depth.

scout  
ARCHITECTURE + DESIGN

ARCHITECT/ENGINEER

SOLARE COLLEGIATE  
CHARTER SCHOOL  
8801 GIBSON BLVD SW  
ALBUQUERQUE, NM 87121

## ISSUE FOR PERMIT

REVISION DATE

DATE 11/20/20

PROJECT NO 2005

## GRADING & DRAINAGE PLAN

SHEET NO.

C101