

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

January 21, 2021

Shannon Parks
4215 Avenida de Resolana
Albuquerque, NM 87110

**Re: Solare Charter School Phase 2
Traffic Circulation Layout**
Engineer's/Architect's Stamp 11-20-2020 (M09-D031A)

Dear Ms. Parks:

The TCL submittal received 1-21-2021 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

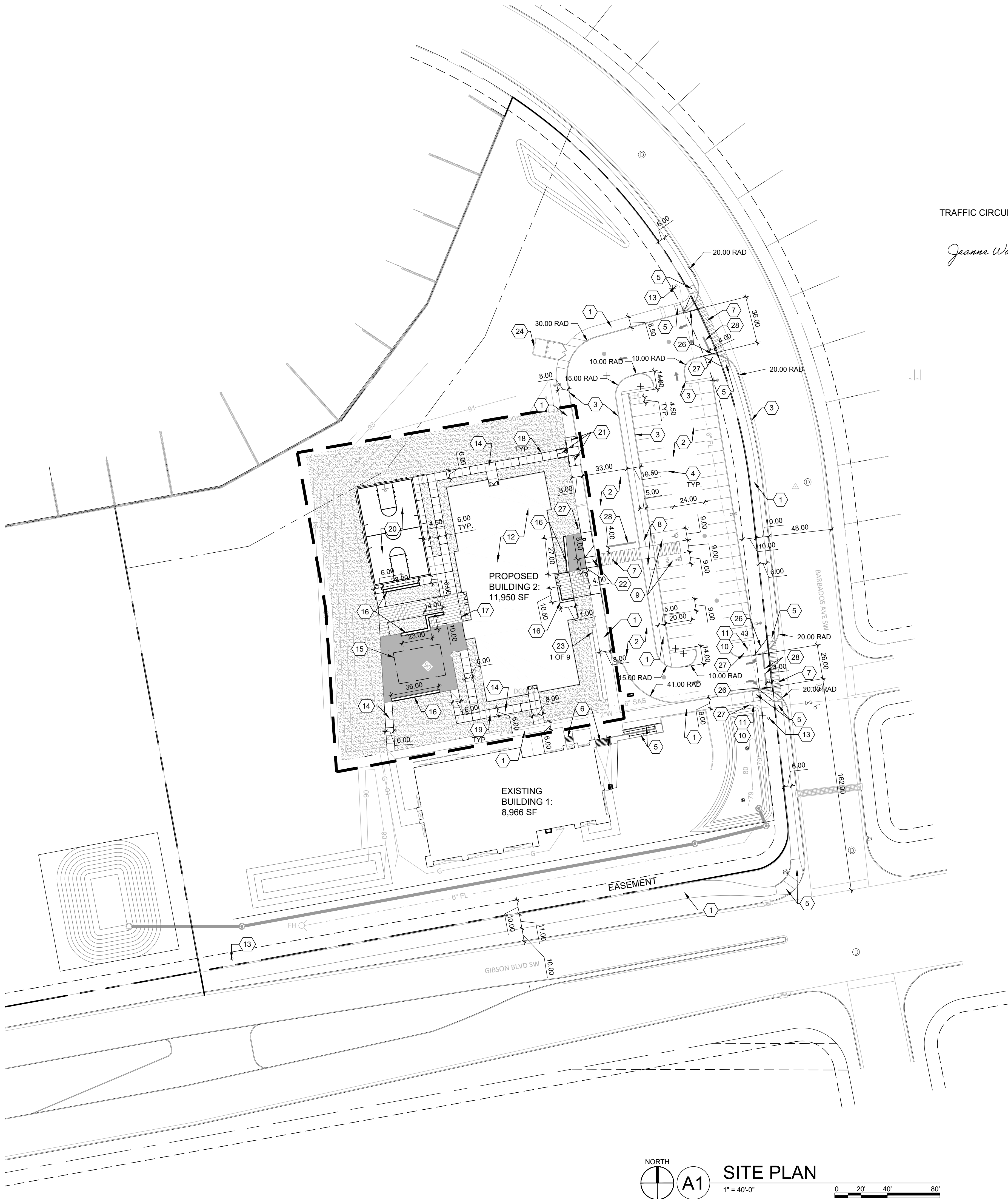
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Jeanne Wolfenbarger

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



TRAFFIC CIRCULATION LAYOUT APPROVED 1/21/21

Jeanne Wolfenbarger



GENERAL SHEET NOTES

1. CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS TO REMAIN INCLUDING, BUT NOT LIMITED TO, BUILDINGS, PAVING, CURBS, SITE WALLS, FOUNDATIONS AND UTILITIES. EXISTING FOUNDATIONS SHALL MAINTAIN THEIR ORIGINAL STRUCTURAL INTEGRITY AS THEY WERE DESIGNED.
2. GENERAL CONTRACTOR SHALL PATCH, REPAIR AND/OR REPLACE ITEMS TO REMAIN THAT HAVE BEEN DAMAGED DURING CONSTRUCTION, TO THE OWNER'S SATISFACTION AND AT NO COST TO THE OWNER.
3. CONTRACTOR SHALL ENSURE THAT UTILITY SERVICE TO EXISTING BUILDINGS TO REMAIN SHALL BE OPERATIONAL DURING CONSTRUCTION.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFETY MEASURES TO PROTECT PEDESTRIANS AND VEHICLES DURING CONSTRUCTION.
5. CONTRACTOR IS TO VERIFY ALL EXISTING UTILITY LOCATIONS BEFORE EXCAVATION.
6. SEE CIVIL PLANS FOR GRADING, DRAINAGE, AND UTILITY INFORMATION.
7. EXISTING UTILITIES AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY.
8. ALL SITE PLAN DIMENSIONS ARE IN DECIMAL UNITS.
9. SIDEWALK JOINTS SHALL FOLLOW PATTERN AS SHOWN ON SITE PLAN.
10. CONSTRUCTION AREA INCLUDED TREES AND PLANTS TO REMAIN.
11. SOLARE CHARTER SCHOOL SHALL HAVE A STAFF MEMBER PRESENT DURING DROP-OFF AND PICK UP TIMES TO HELP STUDENTS SAFELY CROSS THE DRIVE AISLE WHEN DOUBLE STAKING IS IMPLEMENTED WITHIN THE DRIVE AISLE.
12. STAFF AT SOLARE CHARTER SCHOOL SHOULD GET FAMILIARIZED WITH THE EPA IDLE-FREE SCHOOLS TOOL-KIT TO MINIMIZE ANY IDLING OF VEHICLES.

LEGAL DESCRIPTION

TRACT NUMBERED TWELVE-B-ONE-B (12-B-1-B) OF THE PLAT OF TRACT 12-B-1-A AND 12-B-1-B, EL RANCHO GRANDE I, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 12, 2019 IN PLAT BOOK 2019 C, PAGE 127.

SHEET KEYED NOTES

CODE	DESCRIPTION
1	EXISTING CONCRETE SIDEWALK TO REMAIN
2	EXISTING ASPHALT PAVING TO REMAIN
3	EXISTING CURB TO REMAIN
4	EXISTING PARKING STRIPING TO REMAIN
5	EXISTING RAMP TO REMAIN
6	EXISTING STAIRS TO REMAIN
7	EXISTING CROSSWALK TO REMAIN
8	EXISTING ACCESSIBLE PARKING SIGN TO REMAIN
9	EXISTING ACCESSIBLE PARKING STALL
10	ONE WAY SIGN, SEE B4/AS501
11	EXISTING DO NOT ENTER SIGN
12	NEW BUILDING, SEE ARCHITECTURAL SHEETS
13	EXISTING FIRE HYDRANT
14	CONCRETE SIDEWALK, SEE A1/AS501
15	SUNBOW TENSILE SHADE STRUCTURE, SOURCE TENSILESHADEPRODUCTS.COM, FNISH:TBD, ADDITIVE ALTERNATE #2
16	CONCRETE SEATWALL, SEE D1/AS501
17	BUILDING OVERHANG, SEE ARCHITECTURAL SHEETS
18	CONCRETE EXPANSION JOINT, SEE A5/AS501
19	CONCRETE CONTROL JOINT, SEE A5/AS501
20	BASKETBALL COURT, SEE B1/AS501
21	ACCESSIBLE RAMP, SEE A3/AS501
22	CONCRETE RAMP TYPE B, SEE B2/AS501
23	EXISTING BIKE RACKS
24	EXISTING TRASH ENCLOSURE TO REMAIN
25	FUTURE TRASH ENCLOSURE TO BE BUILT AT A LATER DATE UNDER A DIFFERENT BUILDING PERMIT
26	CLEAR SIGHT TRIANGLE, LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT TRIANGLE REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE. STOP SIGN, SEE B4/AS501
27	
28	STOP LINE PAVEMENT STRIPING, SEE B3/AS501

SITE CALCULATIONS

EXISTING BUILDING 1/ 1-STORY SCHOOL :
EDUCATION AT 2 SPACES/CLASSROOM= 14 SPACES REQUIRED
PROPOSED BUILDING 2/ 1-STORY SCHOOL:
EDUCATION AT 2 SPACES/CLASSROOM=20 SPACES REQUIRED
40 STANDARD SPACES PROVIDED
2 ADA ACCESSIBLE SPACES PROVIDED
2 MOTORCYCLE SPACES REQUIRED, 2 MOTORCYCLE SPACES PROVIDED
16 BICYCLE SPACES REQUIRED, 18 BICYCLE SPACES PROVIDED

NUMBER OF STUDENTS THAT WILL BE SERVED BY EACH PHASE:
PHASE 1: 6 CLASSROOMS X 26 STUDENTS PER CLASS = 156 STUDENTS
PHASE 2: 10 CLASSROOMS X 26 STUDENTS PER CLASS= 260 STUDENTS
TOTAL =416 STUDENTS

LEGEND

---	PROPERTY LINE
---	EASEMENT
---	LIMITS OF WORK
[Pattern]	LANDSCAPE AREA
[Pattern]	BRICK PAVERS, SEE A4/AS501, COLOR TBD, PATTERN RUNNING BOND.
[Pattern]	INTEGRAL COLORED CONCRETE, COLOR TBD, SEE A1/AS501

VICINITY MAP



AS501