

TRAFFIC CIRCULATION LAYOUT

1 Site Plan - Overall  
1" = 30'-0"

SCOPE OF WORK SUMMARY:

Building shell and interior fit-up for 35,267 gross square foot building for the use of sports recreation (volleyball courts) along with areas for administration and accompanying accessory and support functions.

CHAPTER 3 USE AND OCCUPANCY CLASSIFICATION

SECTION 302 CLASSIFICATION

Total Building Gross Square Footage (including mezzanine level) = 57,248 GSF  
Ground Level Gross Square Footage = 50,973 GSF  
Second Level Gross Square Footage = 6,275 GSF (not included in overall building square footage)  
Group B Gymnasium (Training and skill development)  
Group B Office  
Group B Breakroom (Accessory less than 50 occupants)  
Group S-2 Storage (Accessory less than 100 sf)  
Group M Sales Room (Accessory use group less than 10% of main occupancy)

SECTION 503 GENERAL BUILDING HEIGHT AND AREA LIMITATIONS

Table 504.3 Allowable building height in feet above grade plane

Group B: Equipped with Automatic Sprinkler, Type II-B  
Building height limitation in feet above grade plane = 55 feet;  
Actual height = 29'-6 1/2"

Table 504.4 Allowable number of stories above grade plane

Group B: S1-Equipped with Automatic Sprinkler, Type II-B  
Story limitation above grade = 4; Actual story above grade = 1

Table 505.2 Allowable area factor in square feet

Group B: S1-Equipped with Automatic Sprinkler, Type II-B  
Area limitation = 92,000 SF; Actual Square Footage = 50,973 GSF

Table 508.3 Nonseparated Occupancies

Building Area = 50,973 GSF (not including mezzanine)  
Fire Area = 50,973 GSF  
Most restrictive base allowable area (Occupancy Group B) for Type II-B, with allowable area factor S1 building equipped with automatic sprinkler one-story building above grade is 92,000 GSF. No separation is required between Group B and Accessory functions.

CHAPTER 6 TYPES OF CONSTRUCTION

Table 601 Fire-Resistance rating requirements for building elements (hours) for Construction Type II-B  
Primary structural frame 0-hours  
Bearing walls  
Exterior 0-hours  
Interior 0-hours (not applicable)  
Nonbearing  
Exterior See Table 602 below  
Nonbearing walls and partitions 0-hours  
Interior 0-hours  
Floor construction and associated secondary members (see Section 202) 0-hours  
Roof construction and associated secondary members (see Section 202) 0-hours

Table 602  
Fire Separation Distance greater than 10 ft and less than 30 ft for Occupancy Group B = 0 hours; greater than 30 ft for Occupancy Group B = 0 hours.

PARKING CALCULATIONS

USE	IDO PARKING REQUIREMENT	GFA	REQUIRED SPACES	PROVIDED
Health club or gym	2.5 spaces / 1,000 sq. ft. GFA	57,248	143.12	145
TOTAL REQUIRED OFF-STREET PARKING:				145
NIMC Table 1106.1 - Number of Accessible Parking Spaces				8
Number of Van Accessible Parking Spaces (IMC 1106.5)				2 of 8
IDO Table 5-5-4: Motorcycle Parking Requirements	101-150	4 spaces	4	
IDO Table 5-5-5: Bicycle Parking Requirements	NOTE 1	15	16	
NOTE 1: Non-residential uses not listed in this table: 3 spaces or 10% of required off-street parking				

CODES AND STANDARDS

This project shall be in accordance with the following Building Codes including all local amendments:

- 2015 New Mexico Mechanical Code; including Appendices A, B, C, and D
- 2015 New Mexico Plumbing Code; including Appendices A, B, D, E, F, I, and L
- 2018 International Energy Conservation Code
- 2015 New Mexico Commercial Building Code including Appendix Chapters H, J, K, M, R, and S, but not including Appendix Chapters A, B, C, D, E, F, G, I, L, N, O, P, and Q
- 2015 International Code Council Performance Code for Buildings and Facilities, including all Appendix Chapters as published by the International Code Council:
- 2015 International Building Code
- 2015 International Mechanical Code
- 2015 International Plumbing Code
- 2015 International Fire Code
- 2015 International Energy Conservation Code
- 2017 New Mexico Electrical Code
- 2012 New Mexico Electrical Safety Code
- Errata sheets to the adopted portions of Codes promulgated by the International Code Council, International Association of Plumbing and Mechanical Officials and National Electrical Code

ARE AS FOLLOWS:

Title 14, Chapter 5 of the New Mexico Building Code has been deleted and replaced with Chapter 1, on the following pages. Sections from various other parts of the Technical Codes have been amended, added, or deleted. These changes are noted on the pages following the Administrative Chapter No. 1.

OTHER GUIDELINES, REGULATIONS & STANDARDS

Americans with Disabilities Act Accessibility Guidelines (ADAAG)

CHAPTER 10 MEANS OF EGRESS

SECTION 1004 OCCUPANT LOAD

Table 1004.1.2 Maximum Floor Area Allowances per Occupant  
Business Areas = 875 gsf / 100 gross = 8.75 or 9 occupants  
Gymnasium:  
Court + Safety Zone: 12 occupants per court or 60 occupants (players)  
Balance of Gymnasium: 21,295 GSF - (6) Courts + Safety Zones or 15,120 SF = 6,175 GSF  
6,175 GSF / 50 gross = 124 occupants (spectators)  
Unoccupied Cold Shell Flex: 13,097 GSF / 150 gross = 88 occupants  
Total Occupant Load = 281 occupants

SECTION 1005 MEANS OF EGRESS SIZING

1005.3.2 Other egress components. At ground floor level shall serve a maximum of 281 occupants. Required exit width = 0.2 x 281 occupants = 57 inches  
57 inches / 35 inches per exit = 2 exits required; 6 exits provided.

1007.9 Signage: Lighted Exit signs at each door

Table 1021.2(2): 41 occupants < 49 occupants = 1 exit required  
Maximum exit access travel distance = 75 feet

CHAPTER 11 ACCESSIBILITY

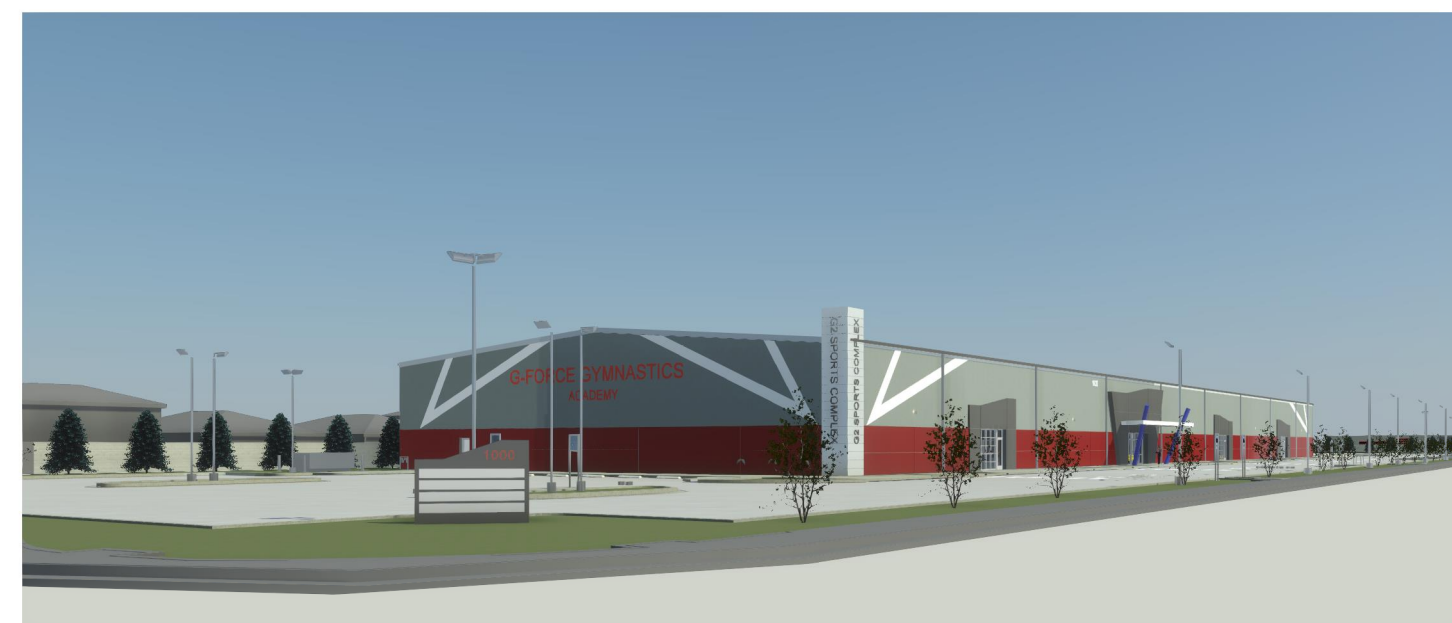
SECTION 1106 PARKING AND PASSENGER LOADING FACILITIES  
Table 1106.1 Accessible Parking Spaces (SEE PARKING CALCULATION)

1106.5 Van spaces. Provide at least one van-accessible parking space



ZONE ATLAS MAP - M-09-Z

NOT TO SCALE:



PERSPECTIVE

NOT TO SCALE:

PROJECT ADDRESS:

Vacant land on 86th St. and Sage Rd SW  
Albuquerque, NM  
Bernalillo County

LEGAL DESCRIPTION

Tract No. 492 in Unit No. 7 of Tracts allotted from the Town of Atisaco Grant, as the same is shown and designated on the plat of said subdivision filed in the office of the County Clerk of Bernalillo County, New Mexico on December 5, 1944.

DRB Project Number:

PR-2022-007362  
PS-2022-00145-Sketch Plat  
IDO - 2021

UPC: 1-009-055-461-451-102-01

OWNER: G2 Enterprises LLC  
Lisa Gravelle | Keith Griego  
xxx  
xxx

ZONING

Zoning Map: M-09-Z  
IDO Zone District: MX-L  
IDO District Definition: xxxxx  
IDO Category: Non-Residential  
Proposed Permissive Uses: Gymnasium (Training and Skill Development)  
Total Site Area: 4.9120 acres / 213,967 SF

BUILDING ON LOT:

Minimum required front yard setback = 5 feet  
Actual Front "West" Setback depth is 68-ft  
Minimum required side yard depth = 5 feet  
Actual Side yard "North" Setback depth is 153-ft  
Actual Side yard "South" Setback depth is 480-ft  
Minimum required rear yard depth = 15 feet  
Actual Rear yard "East" is 15-ft

Building Coverage Maximum = 50%  
Building: 50,973 GSF = 1,760 acres  
Site: 213,967 GSF = 4.912 acres  
35.8% Actual Building Coverage

LANDSCAPING:  
Buffer landscaping = 18,715 sf  
Landscaping = 18,167 sf  
Asphalt parking lot = 54,294 sf  
Concrete sidewalks = 9,725  
Total non-porous paving = 64,019 sf  
Percentage landscaping = 18,167 / 64,019 = 28%

TRAFFIC CIRCULATION:

Two-way traffic ingress/egress from northeast corner of site on Sage Rd. NW; (2) two-way traffic ingress/egress locations from 86th St. SW.

ALEXANDRA ST.

ALEXANDRA ST.

SCOTT POINTE AVE.

SAGE ROAD  
86-FT ROW

86TH STREET SW, 60-FT ROW

CURVE	LENGTH	CURVE TABLE	CHORD BEARING	CHORD
C1	47.14	RADIUS DELTA 30.07	90°01'50"	S39°03'06"W 42.44

0 15 30 60  
SCALE: 1" = 30'-0"

TRUE NORTH PLAN NORTH



Keyed Notes: #

- Align building parallel with east property line (15-ft rear setback).
- High traffic volume private ingress / egress location, 26' wide drive aisle.
- Buffer landscaping.
- Landscaping.
- New 4" thick concrete sidewalk, see detail 7 and Civil grading and drainage.
- Existing sidewalk, see Civil grading and drainage.
- Asphalt paving.
- Monument sign and ground-mounted lighting.
- Refuse container concrete pad, apron and bollards.
- ADA van accessible parking space.
- ADA accessible parking space.
- Motorcycle parking spaces (total of 4).
- Bicycle parking rack (typ. of 8), see detail 10/EPC-0.
- Pavement markings.
- 6' long pre-cast concrete parking stop, centered in parking space, set 24" from sidewalk edge.
- 86th St. clear sight triangle: Width = 60 ft; Typical Description = 4LD; Speed Limit = 30 MPH; D<sub>s</sub> = 90 ft; D<sub>t</sub> = 260 ft.
- Sage Rd SW clear sight triangle: Width = 86 ft; Typical Description = 6LD; Speed Limit = 35 MPH; D<sub>s</sub> = 90 ft; D<sub>t</sub> = 350 ft.
- Pole light (site lighting), 25' tall pole - see detail 17/TCL2.
- Fiber optics riser.
- Traffic signal.
- Existing utility pole.
- Metal roof.
- Street light pole.
- Traffic islands.
- PM transformer on concrete pad.
- New public fire hydrant.
- New 6" fire line with pressure indicator valve (PIV).
- New fire department connection (FDC).
- Knox box.

G2 ENTERPRISES

SPORTS COMPLEX

TRAFFIC CIRCULATION  
GENERAL  
INFORMATION

EPC Number	Project Number
Date	12-12-2022
Drawn By	J. SANCHEZ
Approved By	K. GRIEGO

TCL0

Scale As indicated