

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 27, 2024

Chris Sveum, P.E.
ATWELL, LLC
143 Union Blvd./ Suite 700
Lakewood, CO 80228

Re: Allsup's Convenience Store
9501 Gibson Blvd. SW
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 06-19-23 (M09-D034)
Certification dated 09-19-24

Dear Mr. Sveum,

Based upon the information provided in your submittal received 09-25-24, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- An approved work order is a conditional release for the final CO. Please contact David Bishop or Kathy Verhage (copied) to complete the work order.

Once work order is complete, email malnajira@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

Ma via: email

C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

TYPE OF DEVELOPMENT: Plat (# of lots) _____ Single Family Home
All other Developments

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

Engineering / Architect Certification
Conceptual Grading & Drainage Plan
Grading & Drainage Plan, and/or Drainage Report
Drainage Report (Work Order)
Drainage Master Plan
Conditional Letter of Map Revision (CLOMR)
Letter of Map Revision (LOMR)
Floodplain Development Permit
Traffic Circulation Layout (TCL) – Administrative
Traffic Circulation Layout (TCL) – DFT Approval
Traffic Impact Study (TIS)
Street Light Layout
OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

Pad Certification
Building Permit
Grading Permit
Paving Permit
SO-19 Permit
Foundation Permit
Certificate of Occupancy - Temp Perm
Preliminary / Final Plat
Site Plan for Building Permit - DFT
Work Order (DRC)
Release of Financial Guarantee (ROFG)
CLOMR / LOMR
Conceptual TCL - DFT
OTHER (SPECIFY) _____

DATE SUBMITTED: _____



CONSULTING. ENGINEERING. CONSTRUCTION.

September 19, 2024

City of Albuquerque
Development Review Services
PO Box 1293
Albuquerque, NM 87103

RE: Traffic Certification for Allsup's at 9501 Gibson Blvd. Albuquerque, NM

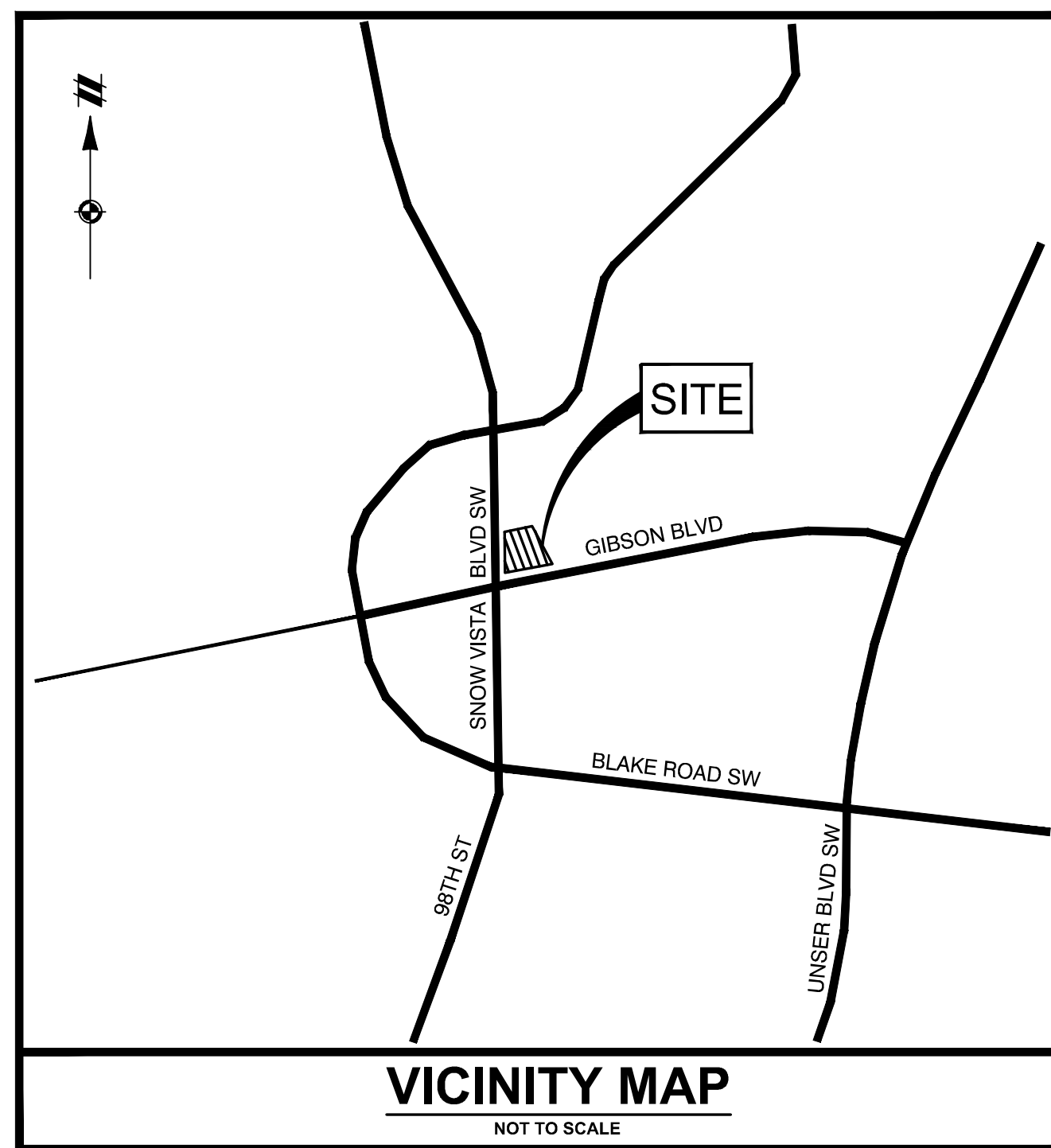
I, Christine Sveum, NMPE NUMBER 28227, OF THE FIRM Atwell, LLC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED June 22, 2023. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Brian Martinez, NMRPS 18374, OF THE FIRM CSI-Cartesian Surveys, Inc. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON September 5, 2024, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR a Temporary Certificate of Occupancy.

Incomplete Items as of today are:
Installation of Landscaping

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Signature of Engineer or Architect



LEGEND

-
- _____ BOUNDARY LINE
 - - - - - EXISTING ROW
 - - - - - BOUNDARY ADJACENT LINE
 - - - - - EXISTING EASEMENT LINE
 - - - - - EXISTING SETBACK LINE
 - - - - - XXXX EXISTING CONTOUR
 _____ EXISTING CURB AND GUTTER

SITE BOUNDARY, TOPOGRAPHY, UTILITY AND
ROAD INFORMATION TAKEN FROM A SURVEY
PREPARED BY COMMUNITY SCIENCE CORPORATION
DATED 08/15/2022

PROPERTY

THE SITE IS A 2.72 ACRE UNDEVELOPED PROPERTY BOUNDED TO THE WEST BY 98TH STREET, TO THE SOUTH BY GIBSON BLVD, AND TO THE EAST BY THE AMOLE ARROYO CHANNEL. THE SITE SLOPES TO THE EAST. AN EXISTING CONCRETE DRIVEWAY, SHARED BY PNM, IS LOCATED ON THE NORTHWEST CORNER OF THE SITE.

PROPOSED IMPROVEMENTS

THE PROPOSED SITE IS A GAS STATION AND CONVENIENCE STORE WITH CONCRETE ACCESS DRIVEWAY FROM GIBSON BLVD AND CONNECTION TO THE EXISTING CONCRETE DRIVEWAY TO THE NORTH. THE CONVENIENCE STORE IS LOCATED IN THE CENTER OF THE SITE, AND THE FUEL CANOPY IS WEST OF THE STOREFRONT. PARKING IS PROVIDED AROUND 3 SIDES OF THE BUILDING. A DUMPSTER AREA IS LOCATED BEHIND THE BUILDING.

TRAFFIC CIRCULATION

PASSENGER VEHICLES WILL ENTER FROM EITHER WESTBOUND GIBSON BLVD OR THE NORTH/SOUTH BOUND 98TH STREET. CARS MAY FREELY ACCESS THE FUEL CANOPY, STOREFRONT, AND PARKING AREAS.

DELIVERY TRUCKS WILL ACCESS THE SITE PRIMARILY FROM WESTBOUND GIBSON BLVD OR SOUTH BOUND 98TH STREET. TRUCKS WILL VISIT THE SITE TO DELIVER FUEL TO THE UNDERGROUND STORAGE TANKS SOUTH OF THE BUILDING OR MAKE DELIVERIES OF GOODS BEHIND THE BUILDING. TRUCKS WILL PRIMARILY DRIVE AROUND THE OUTER LOOP OF THE SITE AND WILL NOT ACCESS THE FUEL CANOPY OR STOREFRONT.

LEGAL DESCRIPTION

TRACT 6, BLOCK A-2, OF ALBUQUERQUE SOUTH, UNIT 3, WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 3, 2010, IN PLAT BOOK 2010C, PAGE 090, AS DOCUMENT NO 2010078227.

CONTAINING 2.7189 ACRES (118,435 SF), MORE OR LESS.

BASIS OF BEARING

THE BASIS OF BEARINGS IS BETWEEN THE SE CORNER OF TRACT E-5-A-2 AND USC&GS BRASS CAP "TRANS 1969" AS MEASURED WITH THE "TRIMBLE VRS NOW" GNSS VIRTUAL REFERENCE SYSTEM. BEARINGS ARE NEW MEXICO STATE PLANE BEARINGS, CENTRAL ZONE, NAD 83. DISTANCE ARE GROUND DISTANCES. ELEVATION DATUM IS NAVD88

BENCHMARKS

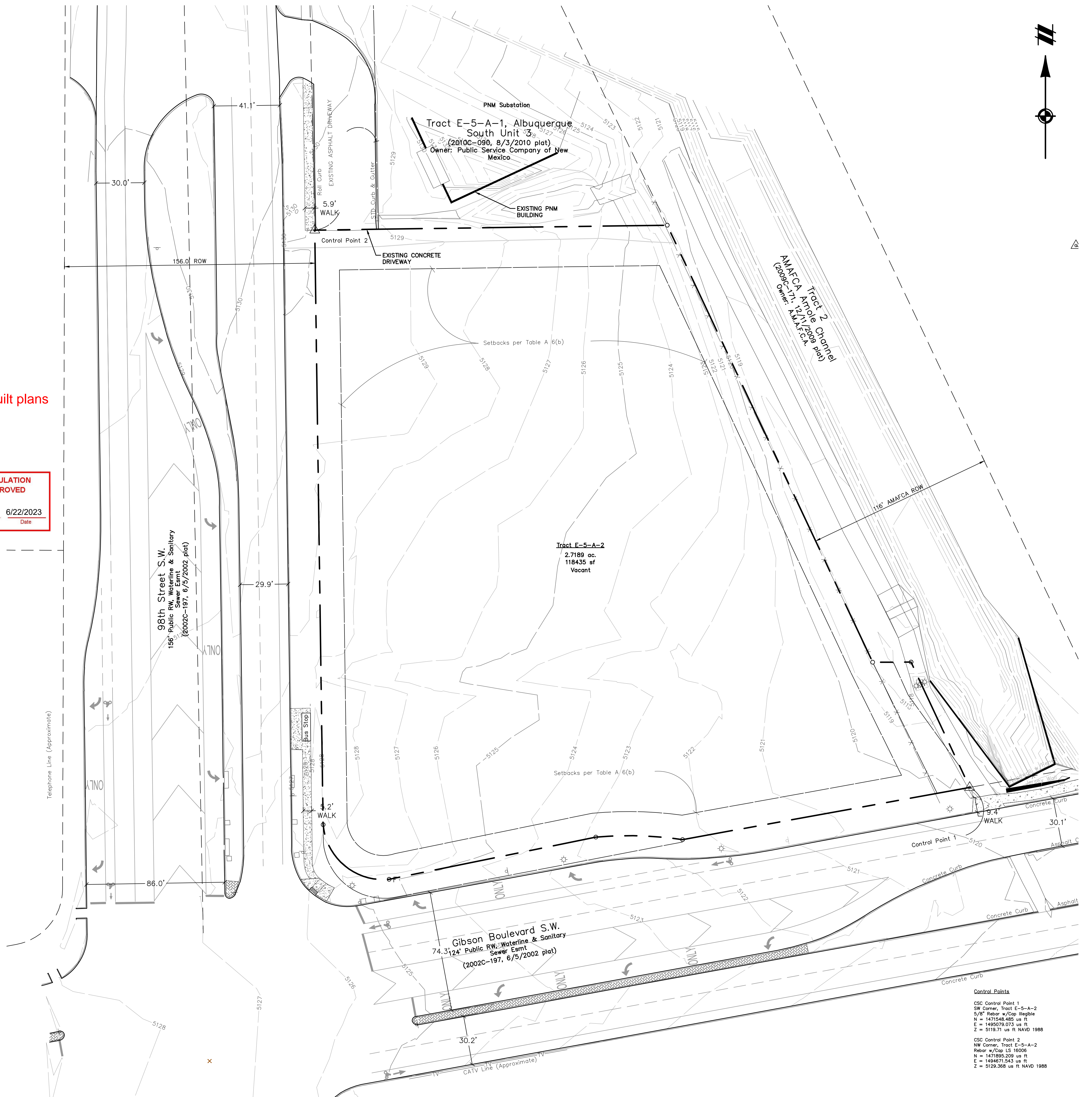
CSC CONTROL POINT 1	CSC CONTROL POINT 2
SW CORNER, TRACT E-5-A-2	NW CORNER, TRACT E-5-A-2
5/8" REBAR W/CAP ILLEGIBLE	REBAR W/CAP LS 16006
N = 1471548.485 US FT	N = 1471895.209 US FT
E = 1495049.073 US FT	E = 1494671.543 US FT
Z = 5119.71 US FT NAVD 1988	Z = 5129.368 US FT NAVD 1988

CSC CONTROL POINT 2
NW CORNER, TRACT E-5-A-2
REBAR W/CAP LS 16006
N = 1471895.209 US FT
E = 1494671.543 US FT
Z = 5129.368 US FT NAVD 1988

No changes for as-built plans

**TRAFFIC CIRCULATION
LAYOUT APPROVED**

Ernest Armijo 6/22/2023
Signed Date



Control Points

CSC Control Point 1
SW Corner, Tract E-5-A-2
5/8" Rebar w/Cap Illegible
N = 1471548.485 us ft
E = 1495079.073 us ft
Z = 5119.71 us ft NAVD 1988

CSC Control Point 2
NW Corner, Tract E-5-A-2
Rebar w/Cap LS 16006
N = 1471895.209 us ft
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Z = 5129.368 us ft NAVD 1988



Know what's **below.**

Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE
SOLE RESPONSIBILITY OF THE
CONTRACTOR; NEITHER THE OWNER
NOR THE ENGINEER SHALL BE
EXPECTED TO ASSUME ANY
RESPONSIBILITY FOR SAFETY OF
THE WORK, OF PERSONS ENGAGED
IN THE WORK, OF ANY NEARBY
STRUCTURES, OR OF ANY OTHER
PERSONS.

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366.850.4200 www.atwell-group.com
143 UNION BOULEVARD, SUITE 700
LAKEWOOD, CO 80228
303.462.1100

SECTION 28

SECTION 28

SHIP 10 NORTH, RANGE 3 EAST

BW GAS & CONVENIENCE RETAIL, LLC

DATE June 19, 2023

REVISIONS

SCALE 0 15 30
1" = 30 FEET

DR.	KJK	CH.	CBS
P.M. D. MADRUGA			

BOOK --

JOB 22003692

SHEET NO

T01.0

CAD FILE: 22003692-T01.0.DWG

LEGEND	
	BOUNDARY LINE
	EXISTING ROW
	PROPOSED ROAD CENTER LINE
	EXISTING CURB AND GUTTER
	PROPOSED CURB AND GUTTER
	PROPOSED DEPRESSED CURB AND GUTTER
	PROPOSED FENCE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	BUILDING SETBACK LINE
	PARKING SPACE COUNT
	ADA RAMP
	PROPOSED SIGN
	PROPOSED ACCESSIBLE PARKING SPACE SIGN
	PROP. STOP SIGN
	DIMENSION TO BACK OF CURB
	DIMENSION TO PROPERTY LINE
	DIMENSION TO EDGE OF PAVEMENT
	DIMENSION TO BUILDING
	PROPOSED LIGHT POLE/WALL PACK LIGHT
	EXISTING LIGHT POLE

SITE DATA

EXISTING SITE AREA 2.72 ACRES
PROPOSED SITE AREA 2.72 ACRES (118,435 SF)
BUILDING AREA 5,630 SF

CURRENT ZONING DISTRICT MIXED USE - MODERATE INTENSITY (MX-M)

*FUEL USE IS PERMITTED BY RIGHT IN CURRENT ZONING DISTRICT

BUILDING SETBACK	REQUIRED	PROVIDED
FRONT (WEST)	15'	144'
SIDE (NORTH)	15'	137'
SIDE (SOUTH)	15'	144'
REAR (EAST)	15'	72'

PARKING DATA

REQUIRED	24*
PROVIDED BUILDING SPACES	25**
PROVIDED PUMP SPACES	20
TOTAL	44

*4 SPACES PER 1,000 SQUARE FEET BUILDING AREA
**20 STANDARD SPACES, 4 COMPACT SPACES (MAX 25%),
1 MOTORCYCLE SPACE

BICYCLE PARKING REQUIRED	3
PROVIDED	3

PAVEMENT DATA

1. CONCRETE - 76,560 SF

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NOTES:

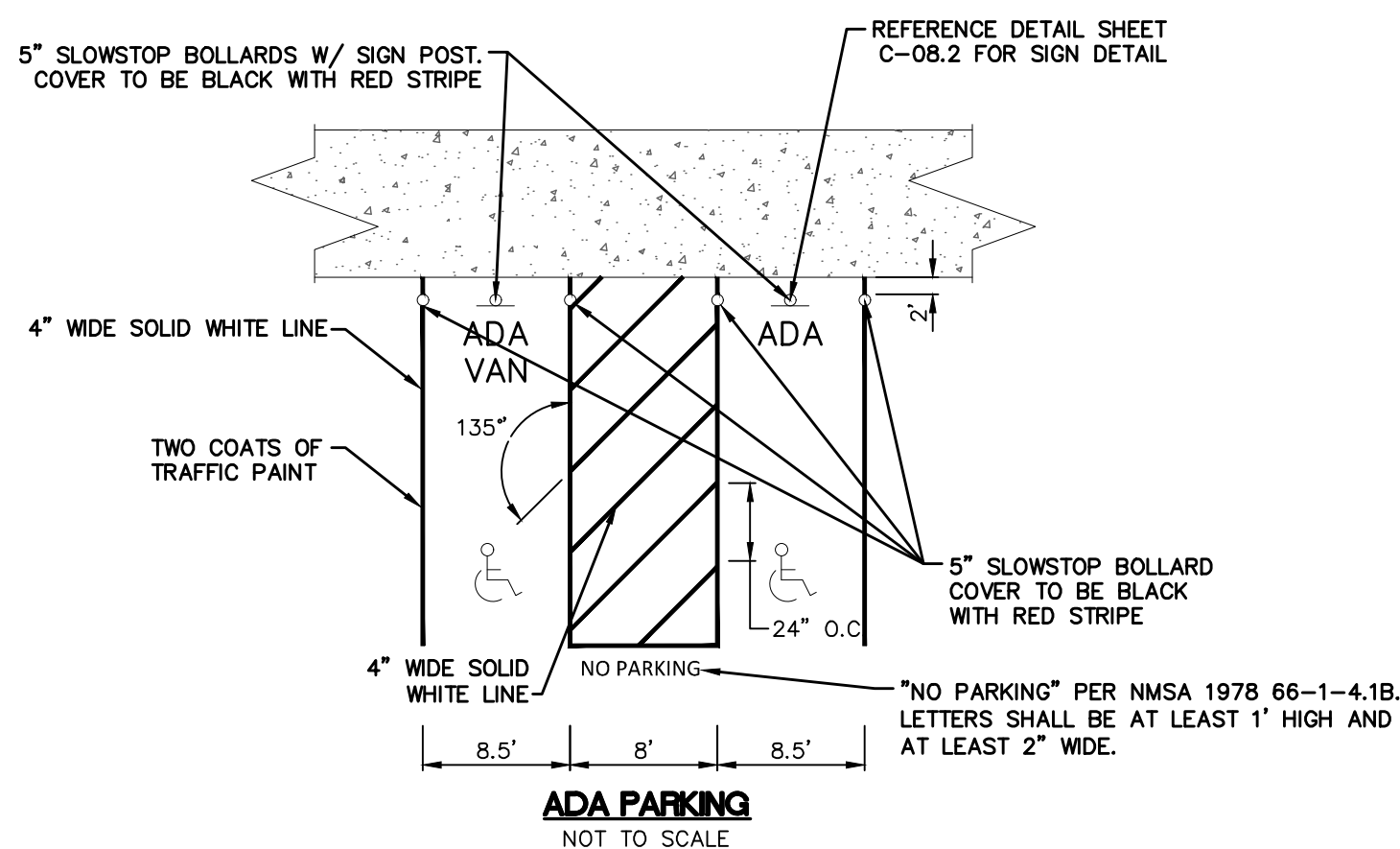
1. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.
2. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN THE WORK ORDER.
3. BICYCLE PARKING STALLS SHALL CONFORM TO IDO SECTION 14-16-5-5(E).
4. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
5. WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES DRC-APPROVED PLANS.

PUBLIC IMPROVEMENTS WORK ORDER ITEMS:

ALL CONSTRUCTION OUTSIDE OF THE PROPERTY LINE WILL BE INCLUDED IN THE PUBLIC IMPROVEMENTS WORK ORDER:

- CITY STANDARD CURB AND GUTTER
- CITY STANDARD CONCRETE SIDEWALK
- DRIVEWAY AND DECELERATION LANE PAVING
- NEW SIGNAGE AND RELOCATION OF EXISTING SIGNAGE

ALL WORK WITHIN THE PROPERTY LINE IS PRIVATE.



ADA PARKING
NOT TO SCALE

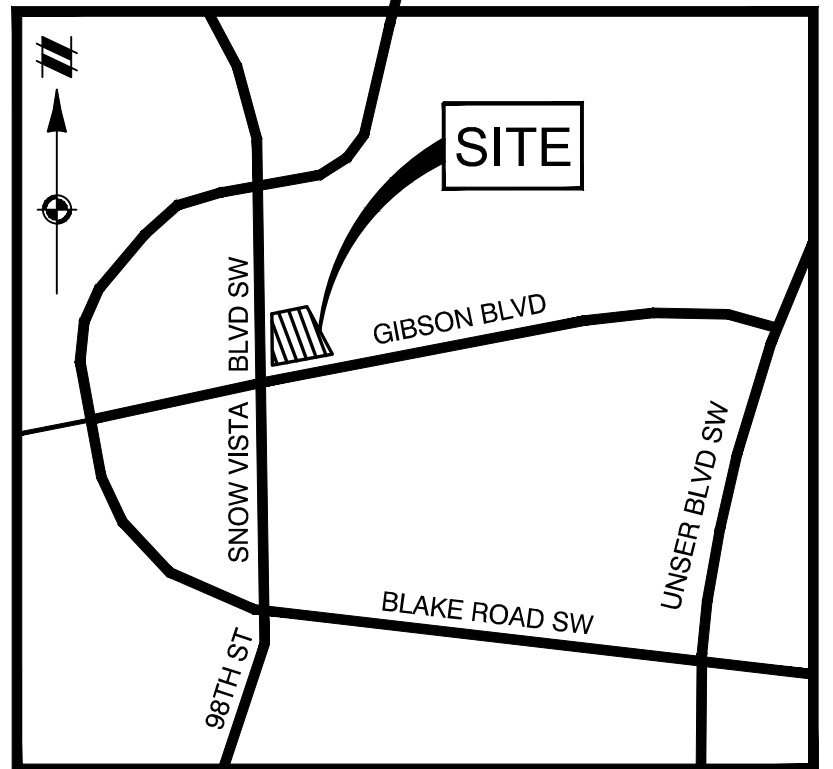
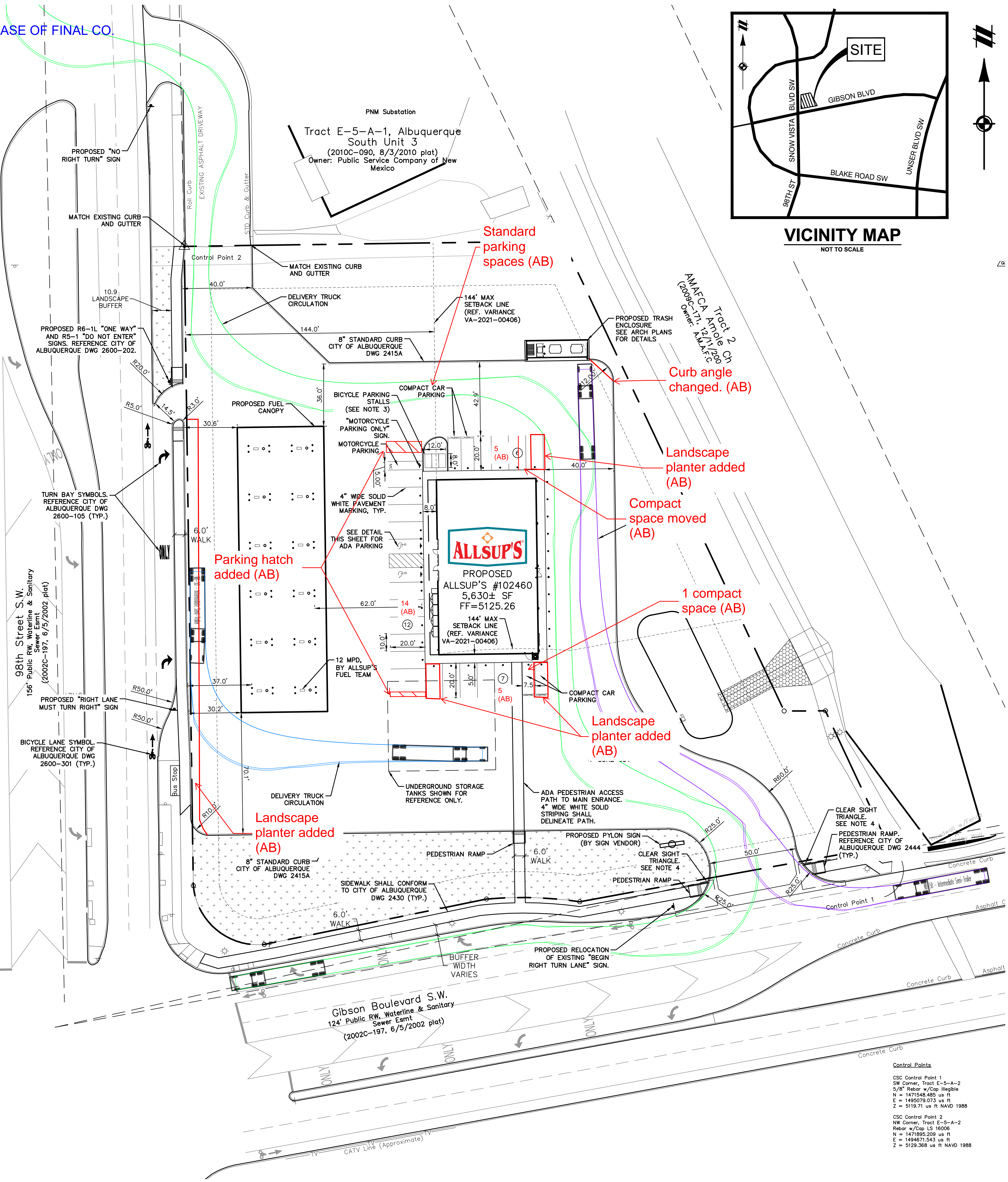
AN APPROVED WORK ORDER IS A CONDITIONAL RELEASE OF FINAL CO

As-Built Markup Changes

Punchlist Items include:
Landscaping
Pond Overflow Weir

TRAFFIC CIRCULATION
LAYOUT APPROVED

Ernest Amigo 6/22/2023
Signed Date



VICINITY MAP
NOT TO SCALE

Know what's below.
Call before you dig.

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NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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303.462.1100

SECTION 28

TOWNSHIP 10 NORTH, RANGE 3 EAST

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

CLIENT
BW GAS & CONVENIENCE RETAIL, LLC

DATE
June 20, 2023

ALLSUP'S CONVENIENCE STORE #102460
9501 GIBSON BLVD SW
ALBUQUERQUE, NEW MEXICO 87121

FINAL ENGINEERING PLANS
PROPOSED TRAFFIC CIRCULATION PLAN

REVISIONS

CHRISTINE SIEGM
Professional Engineer
06/19/23

SCALE 0 15 30
1" = 30 FEET

DR. KJK GH. CBS

P.M. D. MADRUGA

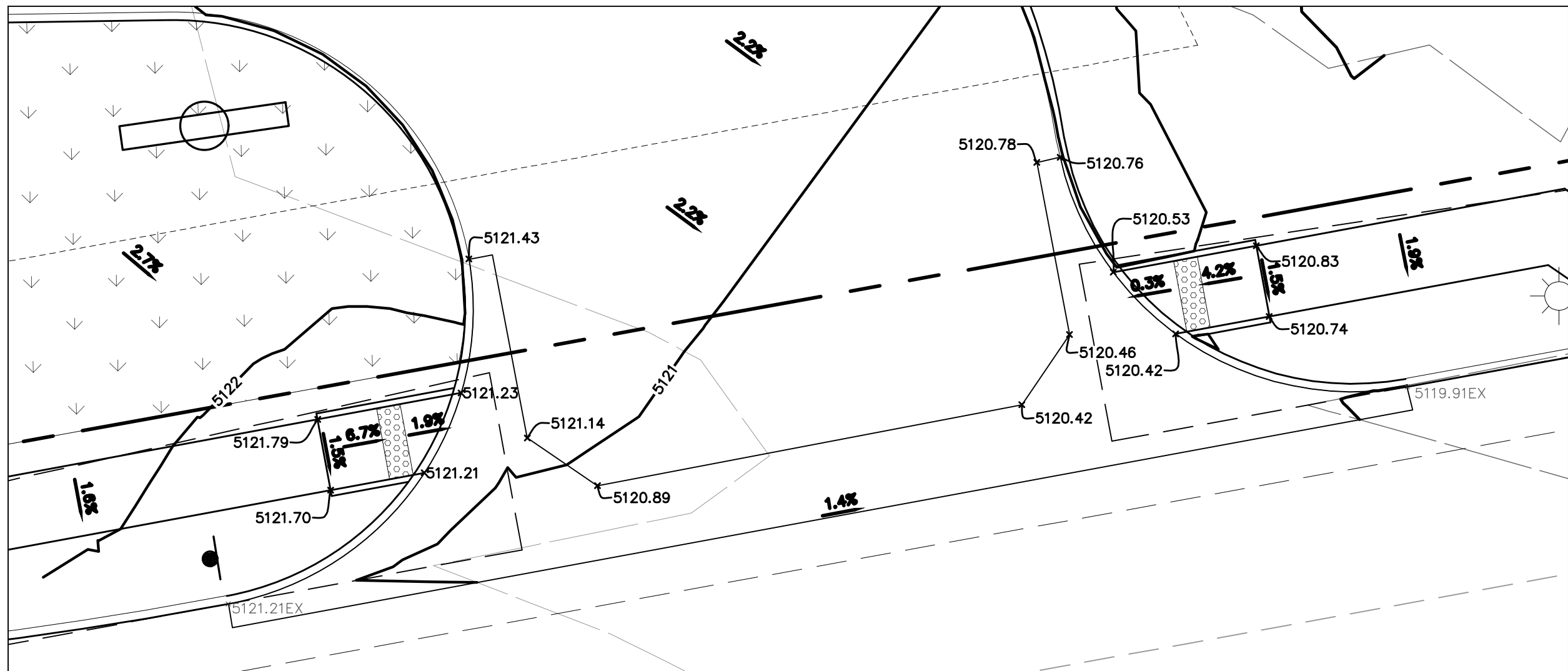
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JOB 22003692

SHEET NO.
T02.0

CAD FILE: 22003692-T02.0.DWG

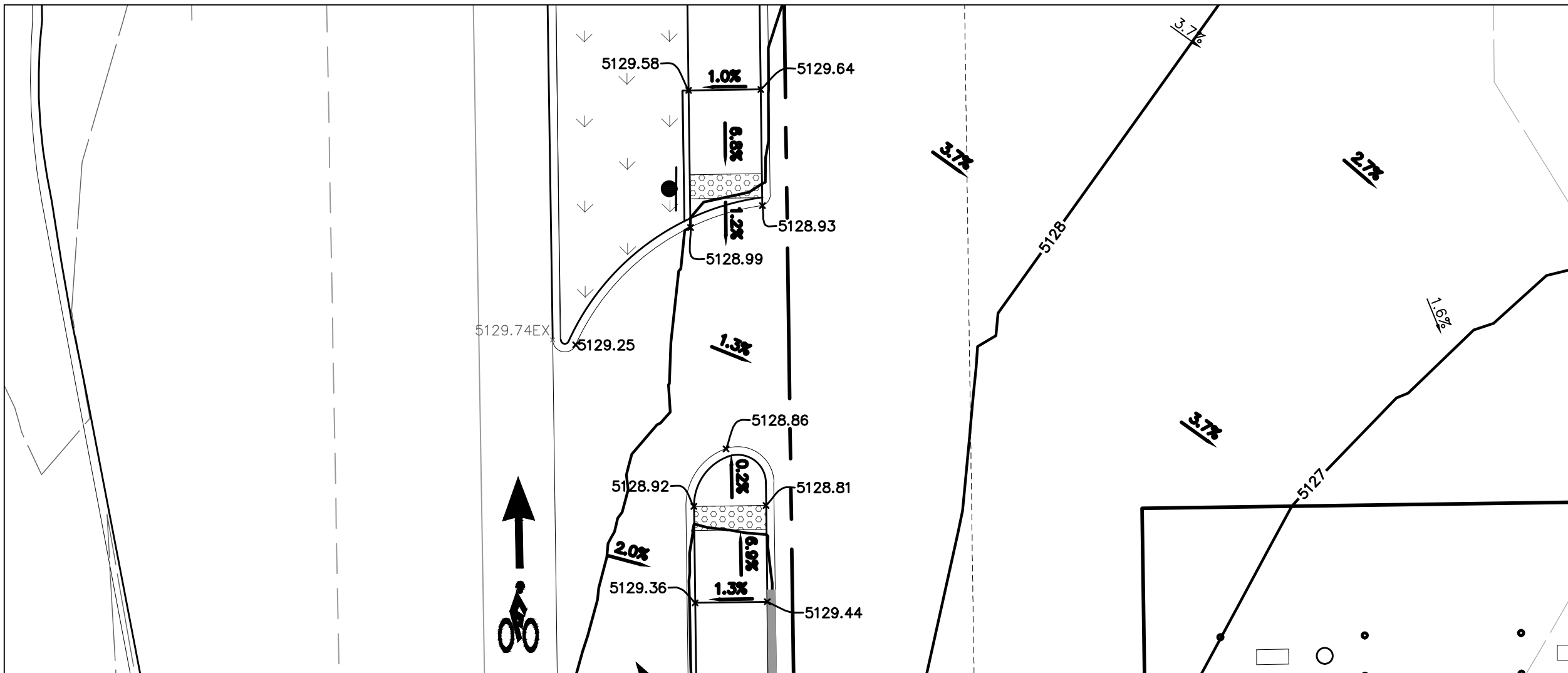
- LEGEND
- BOUNDARY LINE
 - EXISTING ROW
 - PROPOSED ROAD CENTER LINE
 - EXISTING CURB AND GUTTER
 - PROPOSED CURB AND GUTTER
 - PROPOSED DEPRESSED CURB AND GUTTER
 - PROPOSED FENCE
 - EXISTING EASEMENT LINE
 - PROPOSED EASEMENT LINE
 - BUILDING SETBACK LINE



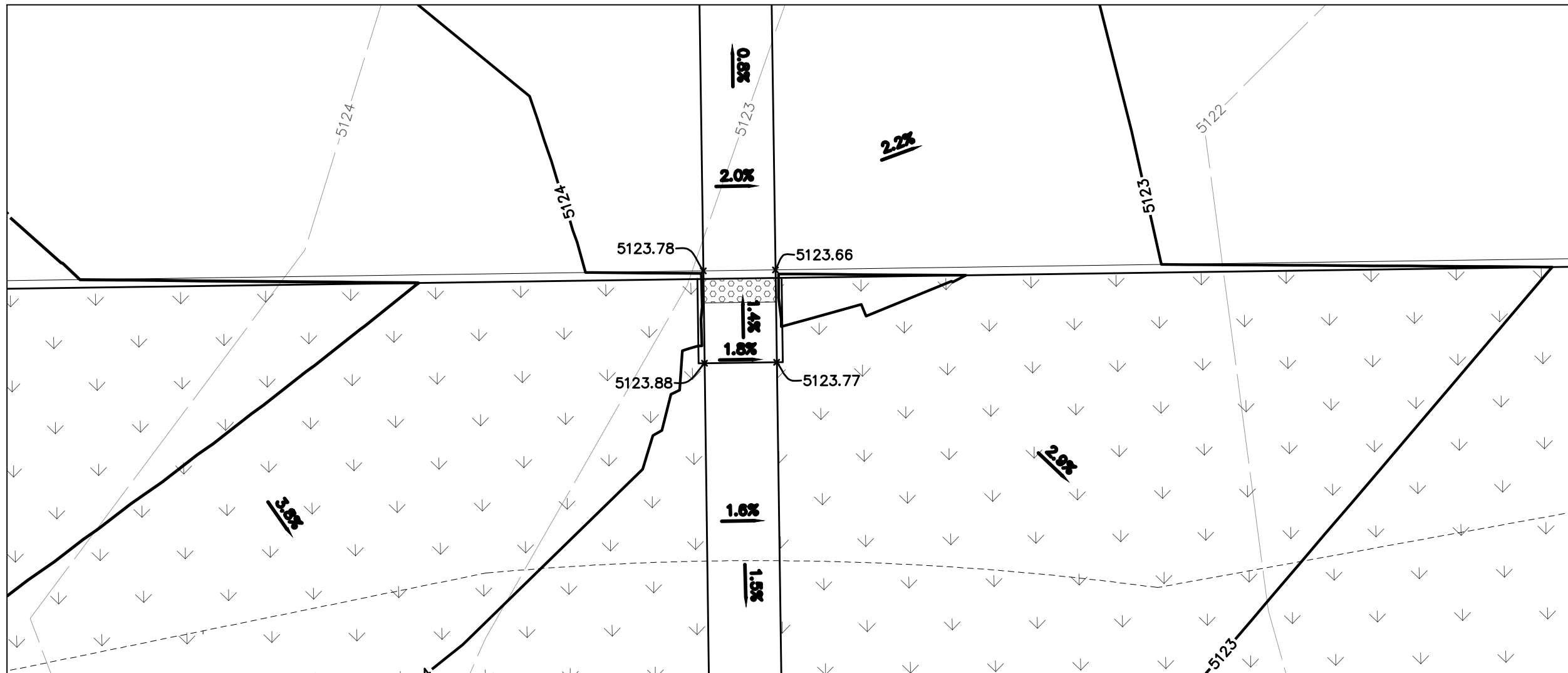
GIBSON BOULEVARD DRIVEWAY
SCALE: 1" = 10'

TRAFFIC CIRCULATION
LAYOUT APPROVED

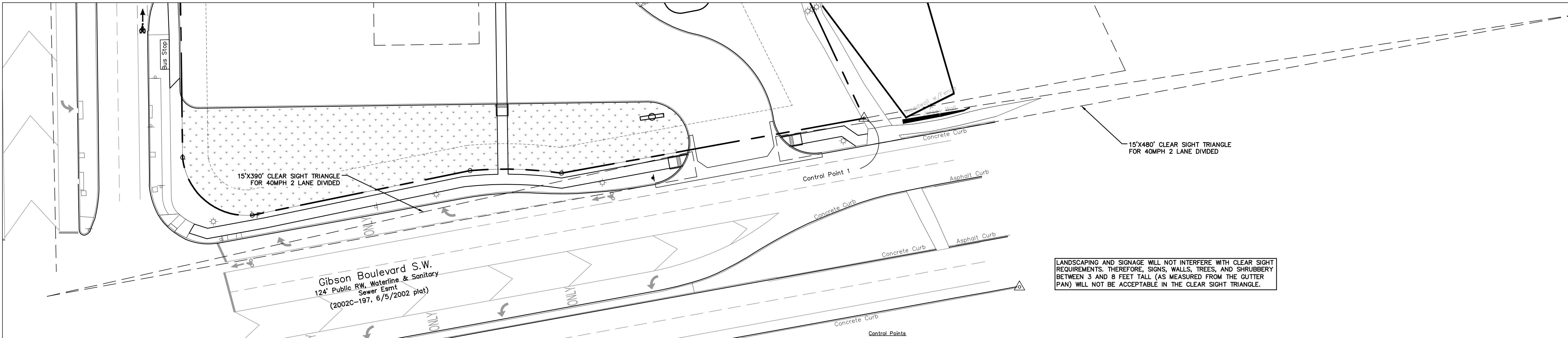
Ernest Armijo 6/22/2023
Signed Date



RIGHT TURN DECELERATION LANE
SCALE: 1" = 10'



PEDESTRIAN ACCESS TO WALKWAY
SCALE: 1" = 10'



GIBSON BOULEVARD DRIVEWAY SIGHT DISTANCE
SCALE: 1" = 30'

Know what's below.
Call before you dig.

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LAKEWOOD, CO 80228
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SECTION 28

TOWNSHIP 10 NORTH, RANGE 3 EAST

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

CLIENT
BW GAS & CONVENIENCE RETAIL, LLC
ALLSUP'S CONVENIENCE STORE #102460
9501 GIBSON BLVD. SW
ALBUQUERQUE, NEW MEXICO 87121
FINAL ENGINEERING PLANS
SITE GRADING DETAILS
AND SIGHT DISTANCE

DATE
June 19, 2023

REVISIONS

CHRISTINE SIEW
NEW MEXICO
28227
06/19/23
PROFESSIONAL ENGINEER

SCALE
AS SHOWN

DR. KJK GH. CBS

P.M. D. MADRUGA

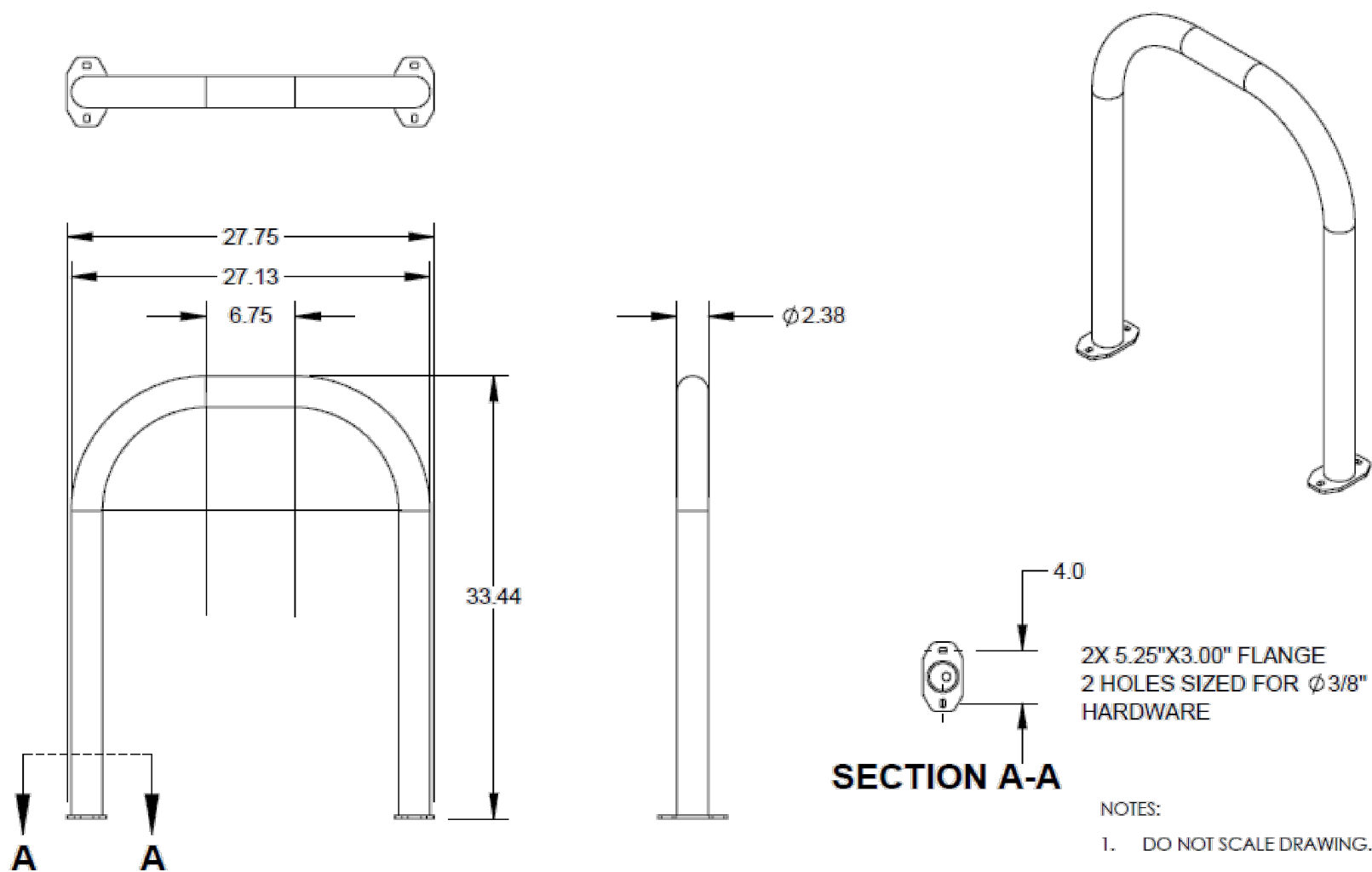
BOOK --

JOB 22003692

SHEET NO.
T030

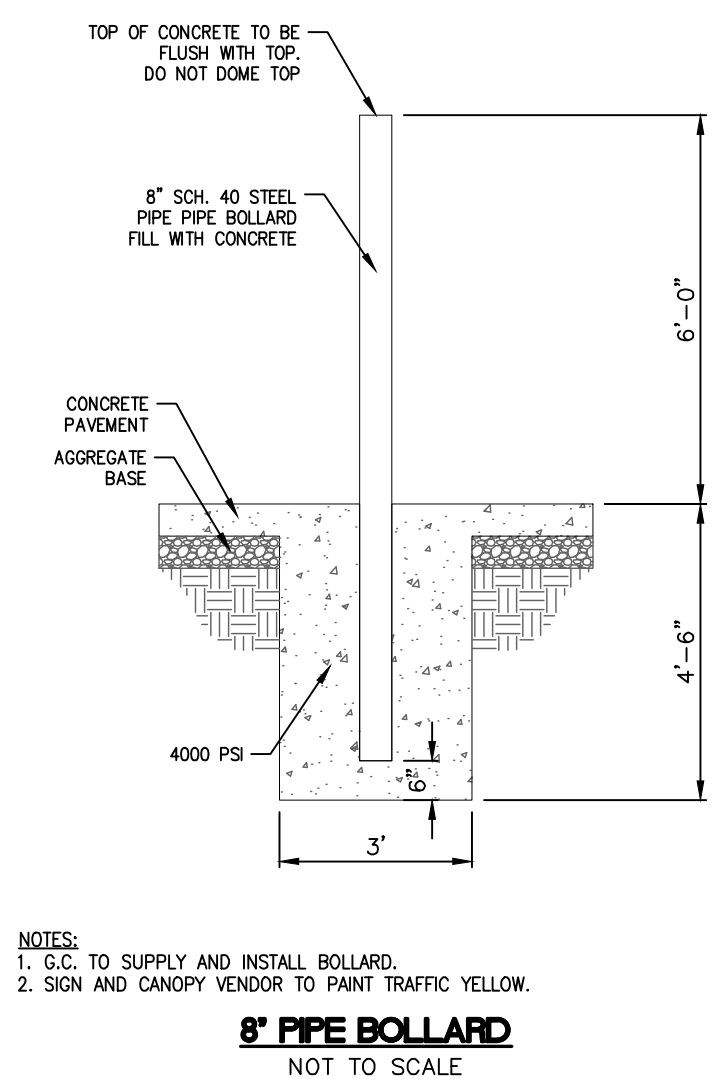
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2-Bike Inverted-U Heavy-Duty Bike Rack
Model: 116-1009 (Surface Mount)



SECTION A-A

- NOTES:
- DO NOT SCALE DRAWING.
 - INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - TOTAL WEIGHT: 26.4 LBS



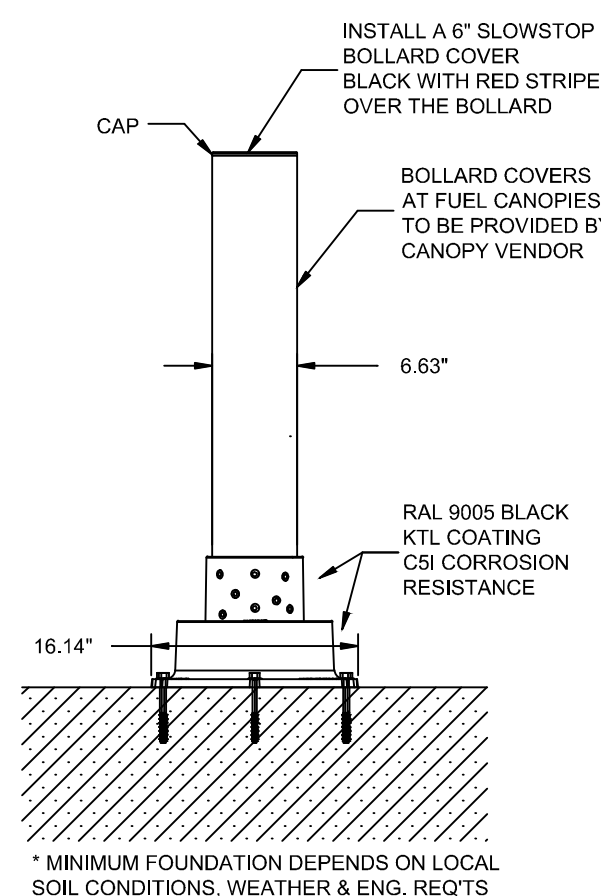
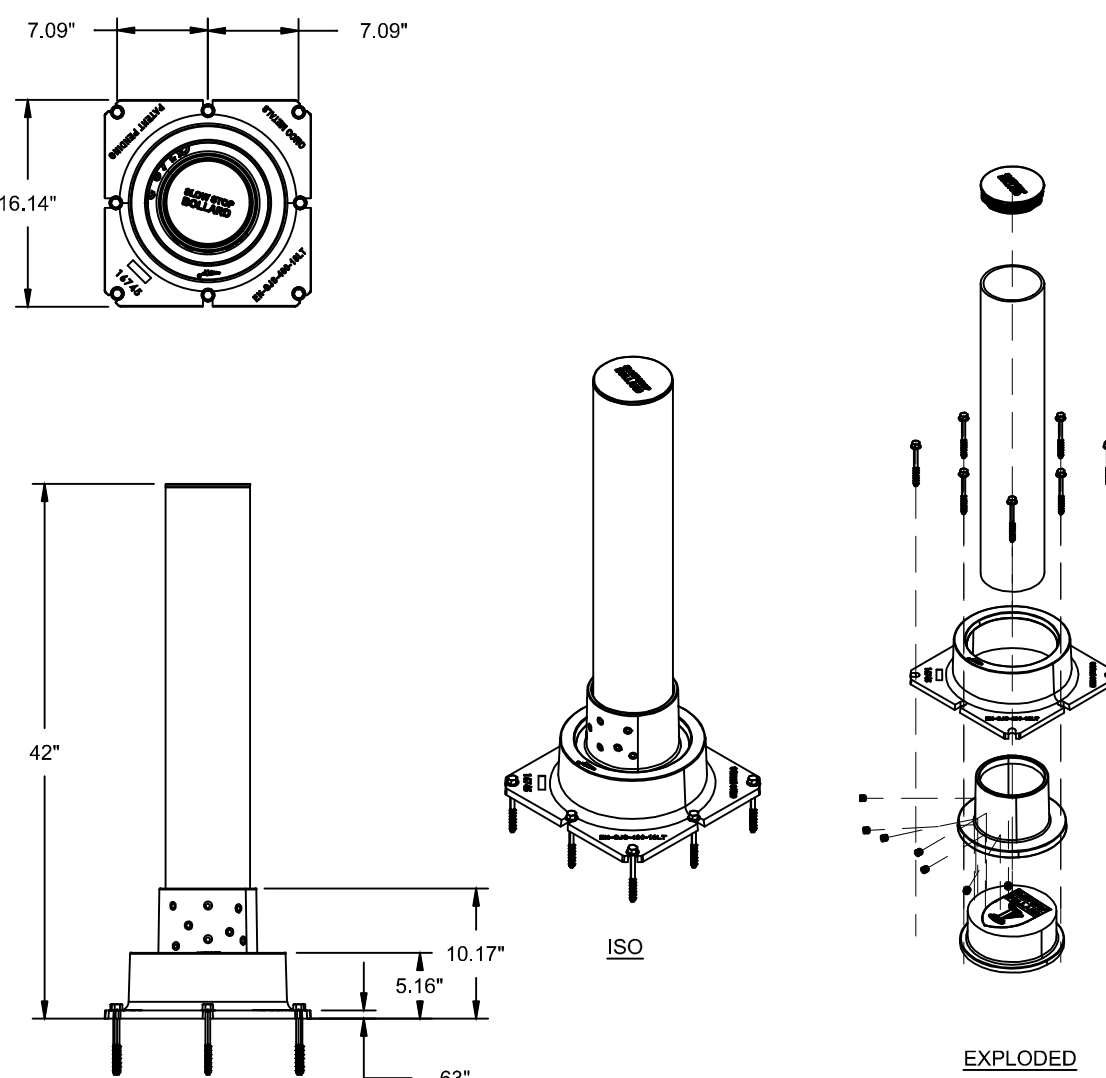
- NOTES:
- G.C. TO SUPPLY AND INSTALL BOLLARD.
 - SIGN AND CANOPY VENDOR TO PAINT TRAFFIC YELLOW.

8\"/>

TRAFFIC CIRCULATION
LAYOUT APPROVED

Ernest Amijo 6/22/2023
Signed Date

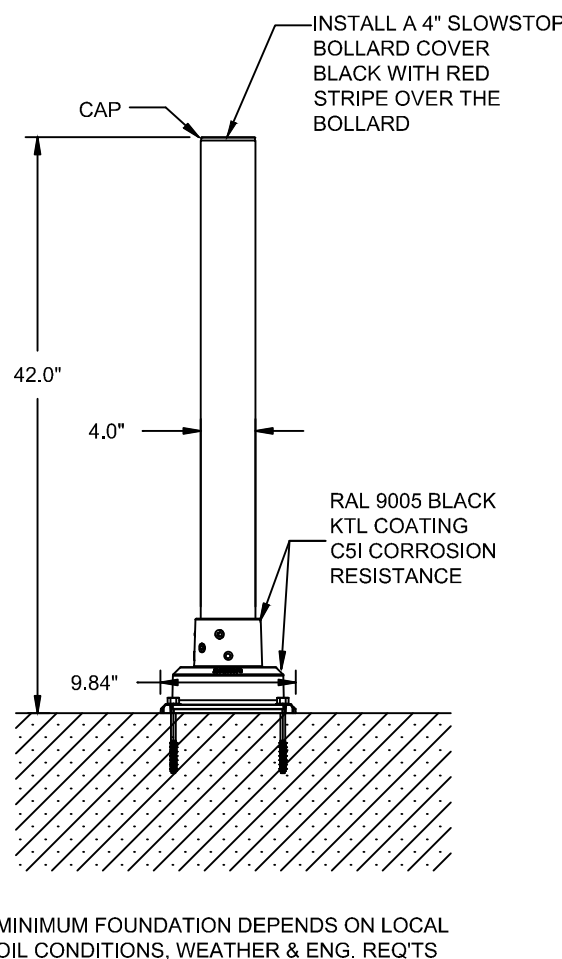
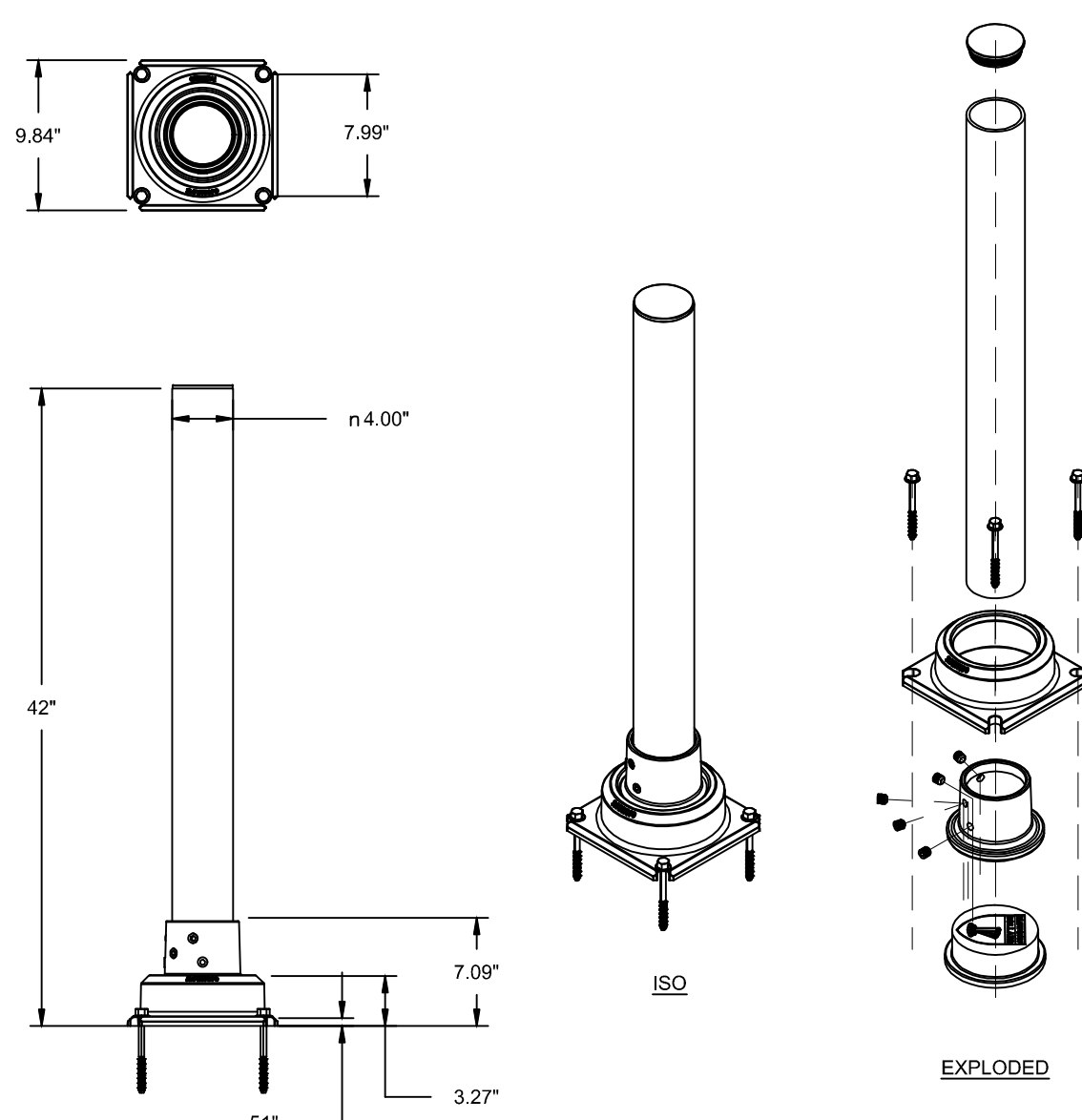
Spec Sheet



DETAIL

CONFIDENTIAL & PROPRIETARY The drawing on this print and the information hereon are property of SlowStop Guarding Systems, LLC, and shall not be used or discussed in whole or in part without the consent of SlowStop Guarding Systems, LLC. 4955 STOUT DR. - SAN ANTONIO, TX 78219 - (800) 736-5256		SIZE A	PART NO. SSBY-42	DWG. SLOWSTOP BOLLARD - n 6.63\"/>
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5\"/>

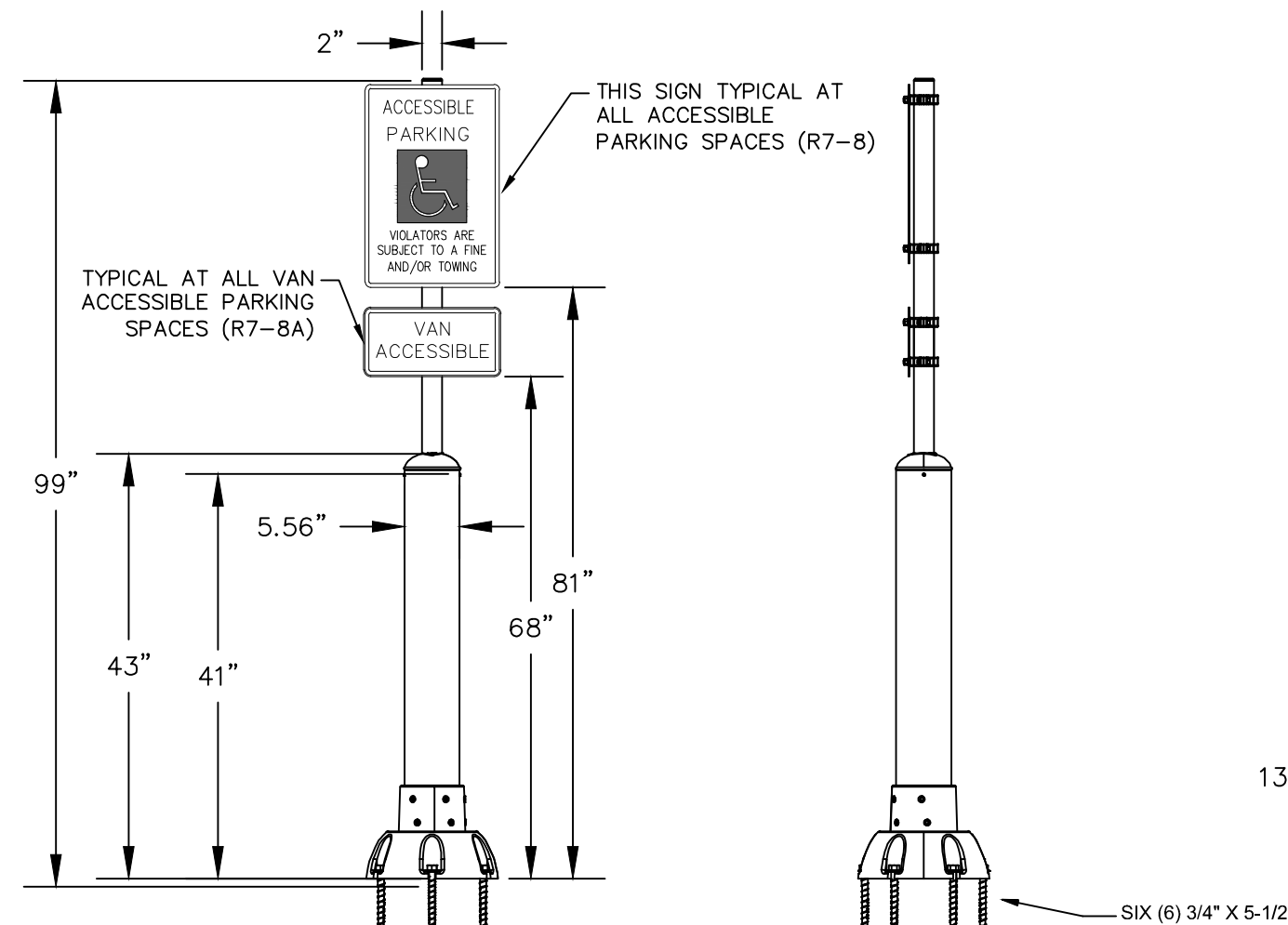


ISO

EXPLODED

CONFIDENTIAL & PROPRIETARY The drawing on this print and the information hereon are property of SlowStop Guarding Systems, LLC, and shall not be used or discussed in whole or in part without the consent of SlowStop Guarding Systems, LLC. 4955 STOUT DR. - SAN ANTONIO, TX 78219 - (800) 736-5256		SIZE A	PART NO. SS4Y-42	DWG. SLOWSTOP BOLLARD - n 4\"/>
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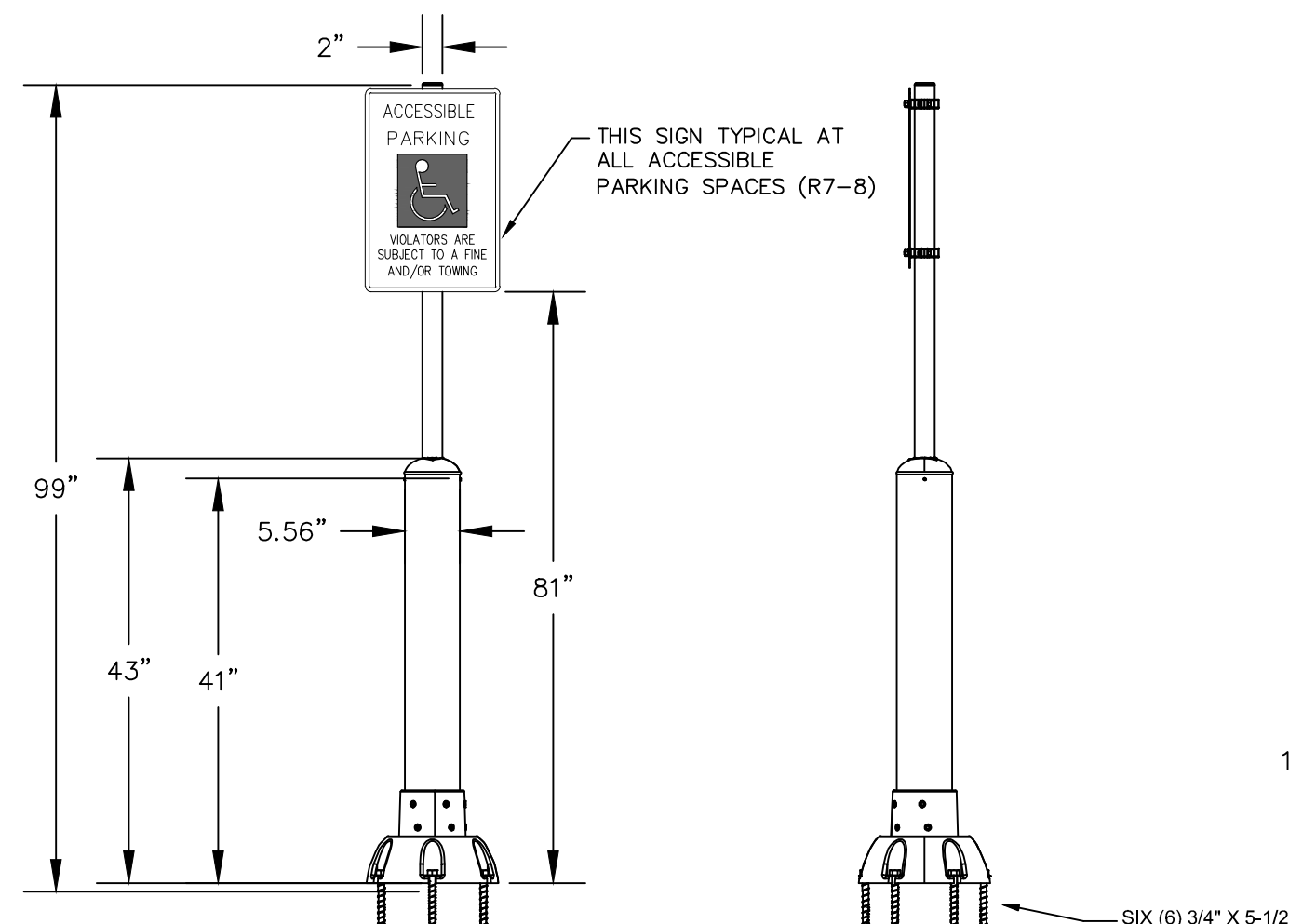
4\"/>



SIX (6) 3/4\"/>

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5\"/>



SIX (6) 3/4\"/>

CONFIDENTIAL & PROPRIETARY The drawing on this print and the information hereon are property of SlowStop Guarding Systems, LLC, and shall not be used or discussed in whole or in part without the consent of SlowStop Guarding Systems, LLC. 4955 STOUT DR. - SAN ANTONIO, TX 78219 - (800) 736-5256		SIZE A	PART NO. SSBY-42-SF-HC	DWG. SLOWSTOP 5\"/>
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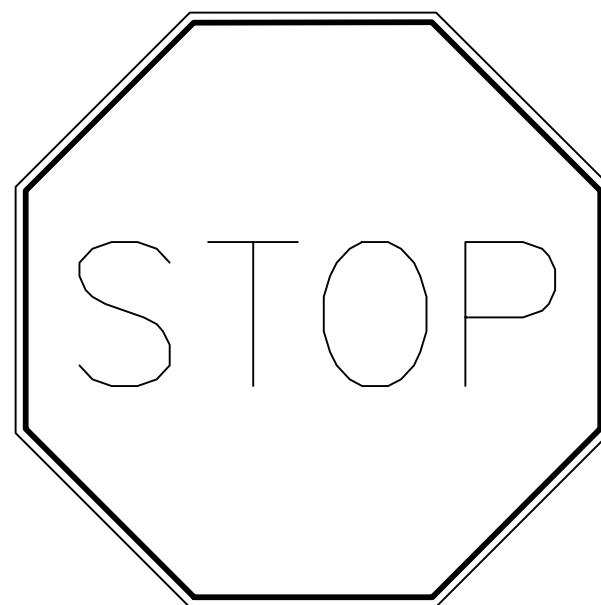
5\"/>

NOTE: ALL SIGN PANELS SHALL BE PROVIDED BY CLOVIS SIGN SERVICE. CONTRACTOR SHALL CONTACT BRENNON NEW AT 575-763-5623 TO OBTAIN SIGN PANELS.

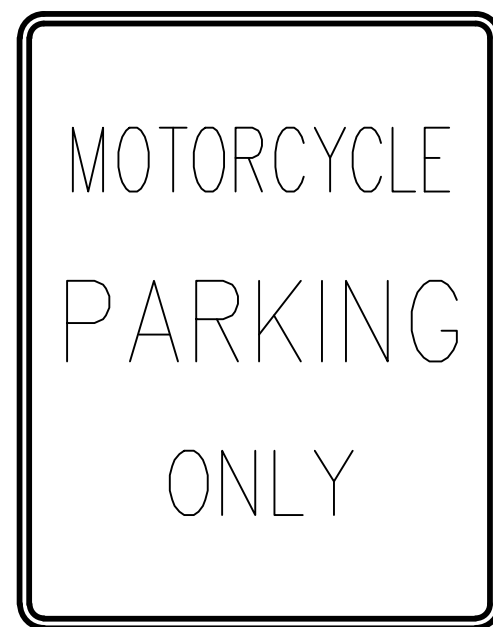
NOTE: ALL SIGN PANELS SHALL BE PROVIDED BY CLOVIS SIGN SERVICE. CONTRACTOR SHALL CONTACT BRENNON NEW AT 575-763-5623 TO OBTAIN SIGN PANELS.



R6-1L
NTS



R1-1
30\"/>



MOTORCYCLE PARKING ONLY-SIGN
12\"/>



Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OR OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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SECTION 28

TOWNSHIP 10 NORTH, RANGE 3 EAST

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

CLIENT
BW GAS & CONVENIENCE RETAIL, LLC

ALLSUP'S CONVENIENCE STORE #102460

9501 GIBSON BLVD. SW

ALBUQUERQUE, NEW MEXICO 87121

FINAL ENGINEERING PLANS

CONSTRUCTION DETAILS

DATE

June 20, 2023

REVISIONS

DR. KJK GH. CBS

P.M. D. MADRUGA

BOOK ---

JOB 22003692

SHEET NO.

C08.2