

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

March 22, 2023

Daniel J. Madruga, P.E.  
Atwell, LLC  
6200 S. Syracuse Way, Suite 470  
Greenwood Village, CO 80111

**RE: Allsup – Gibson & 98th  
Revised Grading & Drainage Plans  
Engineer's Stamp Date: 03/10/23  
Hydrology File: M09D034**

Dear Mr. Madruga:

Based upon the information provided in your submittal received 03/16/2023, the Revised Grading & Drainage Plans are approved for Building Permit and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

NM 87103

[www.cabq.gov](http://www.cabq.gov)

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

**Project Title:** ALLSUP's **Building Permit #** \_\_\_\_\_ **Hydrology File #** M09D034  
**DRB#** \_\_\_\_\_ **EPC#** \_\_\_\_\_

**Legal Description:** TR E-5-A-2 PLAT OF TRS E-5-A-1 & E-5-A-2 **City Address OR Parcel** 99999 GIBSON BLVD SW (NEC GIBSON  
ALBUQUERQUE SOUTH UNIT 3 CONT 2.7263 AC BLVD SW & 98th STREET SW)  
ALBUQUERQUE, NEW MEXICO 87121

**Applicant/Agent:** Modulus Architects **Contact:** Regina Okoye  
**Address:** 100 Sun Ave. NE, suite 600, Albuquerque, NM 87109 **Phone:** 505-267-7686  
**Email:** rokoye@modulusarchitects.com

**Applicant/Owner:** ATWELL, LLC **Contact:** Chris Sveum  
**Address:** 143 Union Boulevard **Phone:** 303-868-5658  
**Email:** csveum@atwell-group.com

**TYPE OF DEVELOPMENT:**     PLAT (#of lots)     RESIDENCE     DRB SITE     ADMIN SITE:      
**RE-SUBMITTAL:** X YES     NO

**DEPARTMENT:**     TRANSPORTATION X HYDROLOGY/DRAINAGE  
Check all that apply:

### TYPE OF SUBMITTAL:

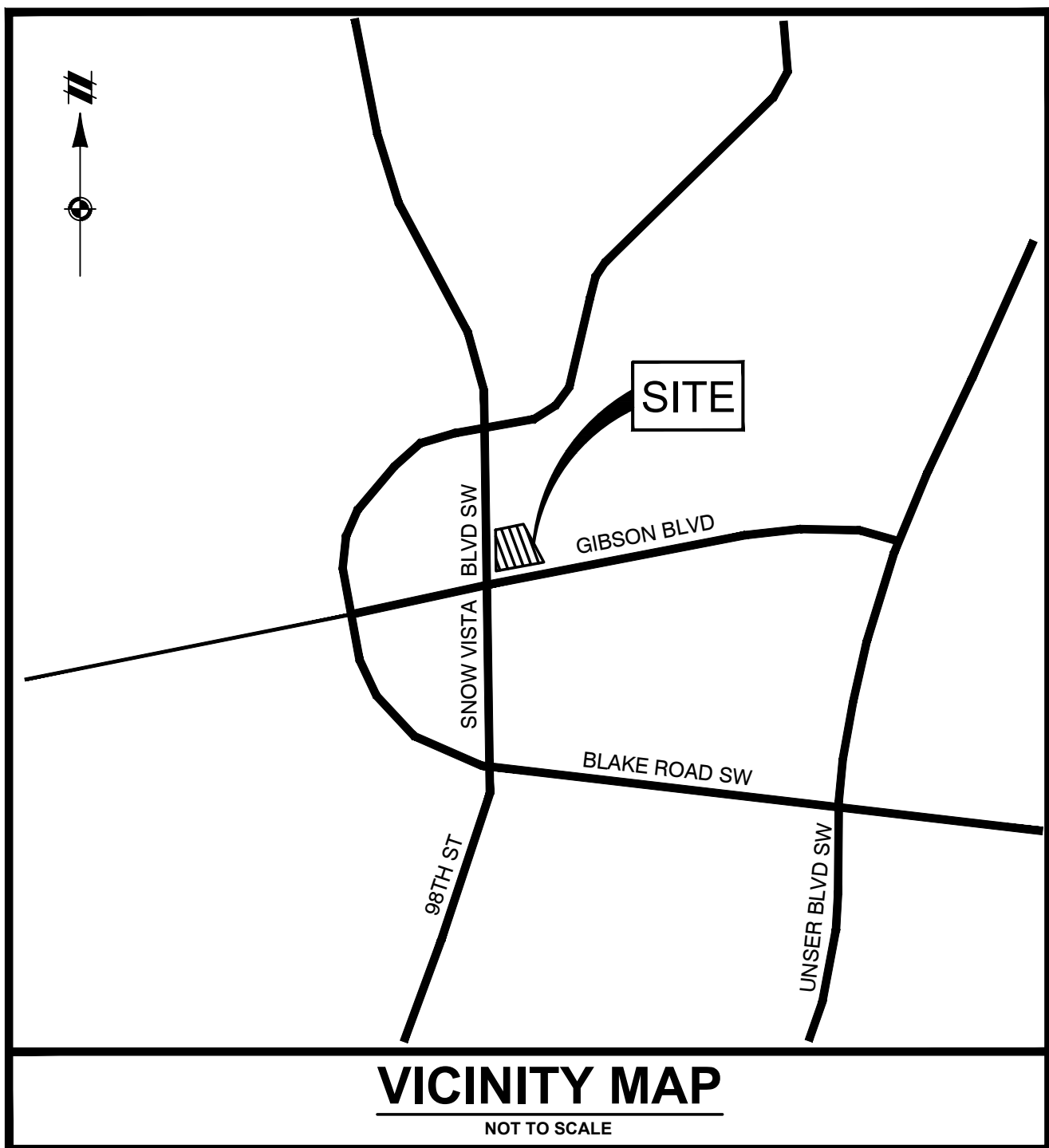
    ENGINEER/ARCHITECT CERTIFICATION  
    PAD CERTIFICATION  
    CONCEPTUAL G&D PLAN  
X GRADING PLAN  
X DRAINAGE REPORT  
    DRAINAGE MASTER PLAN  
    FLOOD PLAN DEVELOPMENT PERMIT APP.  
    ELEVATION CERTIFICATE  
    CLOMR/LOMR  
    TRAFFIC CIRCULATION LAYOUT (TCL)  
    ADMINISTRATIVE  
    TRAFFIC CIRCULATION LAYOUT FOR DRB  
    APPROVAL  
    TRAFFIC IMPACT STUDY (TIS)  
    STREET LIGHT LAYOUT  
    OTHER (SPECIFY)  
    PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

X BUILDING PERMIT APPROVAL  
    CERTIFICATE OF OCCUPANCY  
    CONCEPTUAL TCL DRB APPROVAL  
    PRELIMINARY PLAT APPROVAL  
    SITE PLAN FOR SUB'D APPROVAL  
    SITE PLAN FOR BLDG PERMIT APPROVAL  
    FINAL PLAT APPROVAL  
    SIA/RELEASE OF FINANCIAL GUARANTEE  
    FOUNDATION PERMIT APPROVAL  
X GRADING PERMIT APPROVAL  
X SO-19 APPROVAL  
    PAVING PERMIT APPROVAL  
    GRADING PAD CERTIFICATION  
X WORK ORDER APPROVAL  
    CLOMR/LOMR  
    FLOOD PLAN DEVELOPMENT PERMIT  
    OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 03/16/23





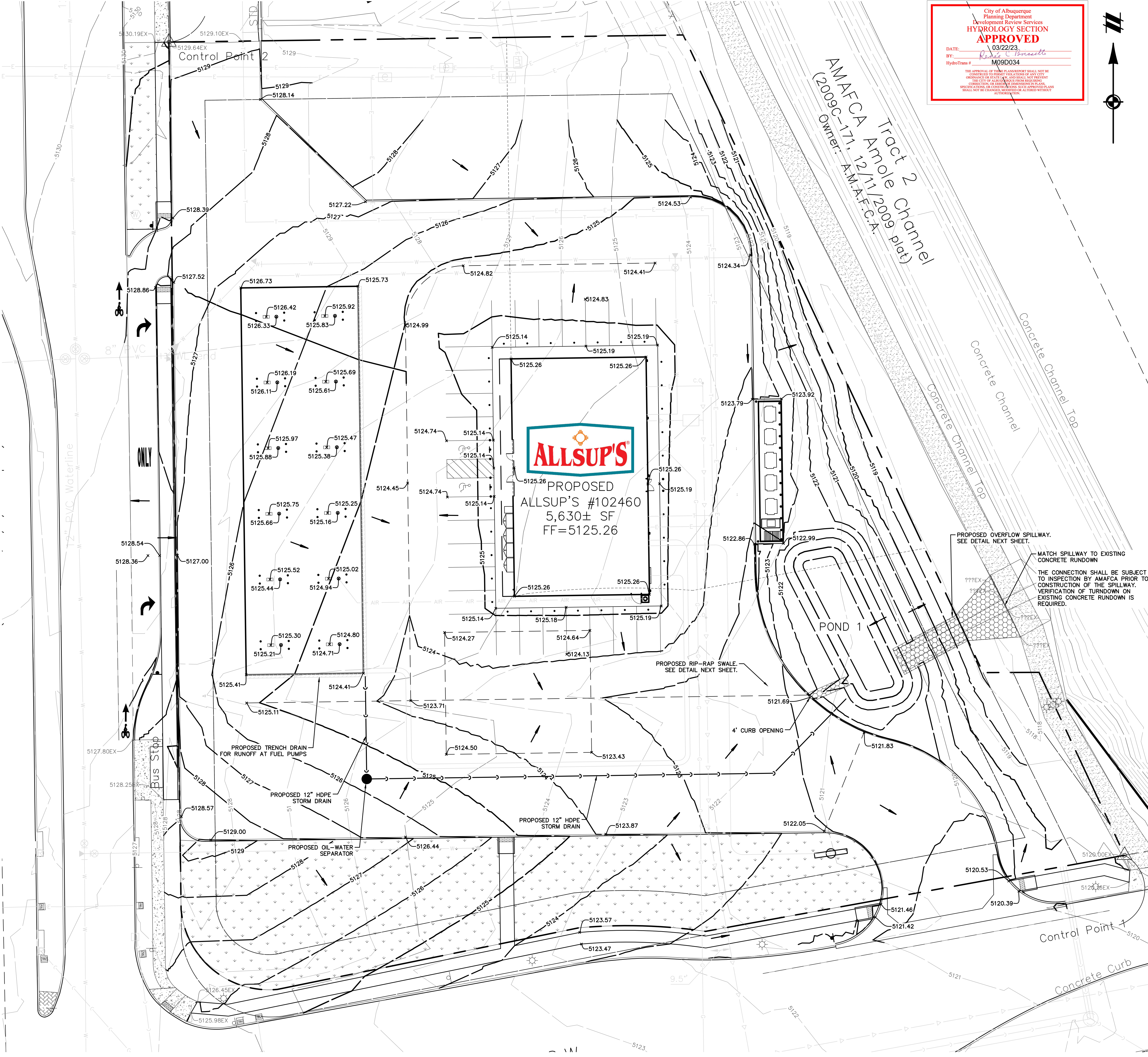
**LEGEND**

---	BOUNDARY LINE
---	EXISTING ROW
---XXX---	EXISTING CONTOUR
---XXX---	PROPOSED CONTOUR
---	PROPOSED SWALE
---	PROPOSED RIDGE LINE
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	PROPOSED STORM CATCH BASIN/MANHOLE
x 5125.00EX	EXISTING SPOT ELEVATION
x 5125.00	PROPOSED SPOT ELEVATION
---	PROPOSED DRAINAGE ARROW

- NOTES:**
- EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
  - PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
  - ALL SPOT GRADES ALONG CURB LINE ARE FLOWLINE GRADES UNLESS OTHERWISE NOTED. ALL RIM ELEVATIONS ARE FLOWLINE ELEVATIONS.
  - ALL STORM SEWER AND UTILITY STRUCTURE RIMS SHALL BE FLUSH WITH PAVEMENT OR FINISHED GRADE.
  - SPOT GRADE AT MPD IS TO FINISHED GRADE AND DOES NOT INCLUDE 2" LIFT.

APPROVED FOR CONSTRUCTION WITHIN AMAFCA EASEMENT

(FOR AMAFCA)



City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
DATE: 03/22/23  
BY: *Ricardo Bruneau*  
HydroTrans # M09D034  
THE APPROVAL OF THIS PLAN/SPECIFICATION SHALL NOT BE CONSIDERED TO BE A GUARANTEE OF ANY TYPE. THE CITY OF ALBUQUERQUE SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES OR LOSSES, INCLUDING BUT NOT LIMITED TO, DAMAGES OR LOSSES OF ANY KIND, ARISING OUT OF OR FROM THE USE OF THIS PLAN/SPECIFICATION. THE CITY OF ALBUQUERQUE SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES OR LOSSES, INCLUDING BUT NOT LIMITED TO, DAMAGES OR LOSSES OF ANY KIND, ARISING OUT OF OR FROM THE USE OF THIS PLAN/SPECIFICATION.



**811**  
Know what's below.  
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:  
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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**ATWELL**  
866.850.4200 [www.atwell-group.com](http://www.atwell-group.com)  
143 UNION BOULEVARD, SUITE 700  
LAKEWOOD, CO 80228  
303.462.1100

SECTION 28  
TOWNSHIP 10 NORTH, RANGE 3 EAST  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

CLIENT: BW GAS & CONVENIENCE RETAIL, LLC  
ALLSUP'S CONVENIENCE STORE #102460  
9501 GIBSON BLVD SW  
ALBUQUERQUE, NEW MEXICO 87121  
FINAL ENGINEERING PLANS  
GRADING AND DRAINAGE PLAN

DATE: March 10, 2023

REVISIONS

*P.M. D. MADRUGA*  
20496  
11/10/22  
PROFESSIONAL ENGINEER

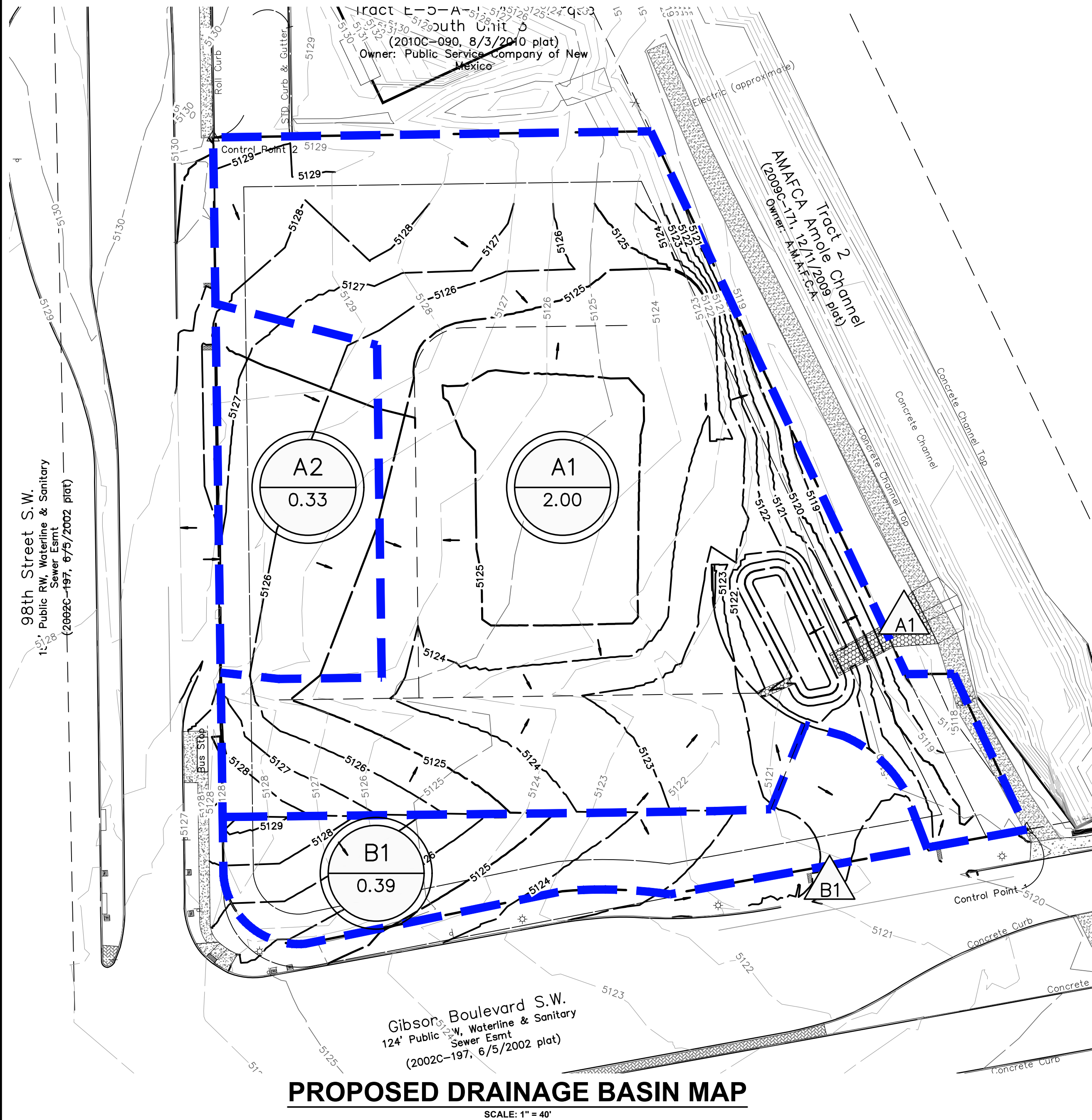
03/10/23

SCALE: 0 10 20  
1" = 20 FEET  
DR. KJK | CH. CBS  
P.M. D. MADRUGA  
BOOK: --  
JOB: 22003692  
SHEET NO.: D010

CAD FILE: 22003692-DRAINAGE PLANS.DWG



S:\22003692\PROJECT DOCUMENTS\ENGINEERING\PLANNING - POWER AND ENERGY\PROJECTS\DRAINAGE\DRAINAGE PLANNING - 11/10/2023 - 4:38 PM ROBERT YODER



## STORMWATER CALCULATIONS

STORMWATER QUALITY POND			
ELEVATION (FT)	STAGE (FT)	AREA (SF)	VOLUME (CF)
5119	0.00	795	0
5120	1.00	1,441	1118
5121	2.00	2,171	2924

### STORMWATER QUALITY POND SIZING:

#### REQUIRED

$$SWQV = A_{IMP} \times 0.42 \text{ IN.}$$

$$= (73,623 \text{ FT}^2) \times (0.42 \text{ IN.}) / (12 \text{ IN./FT})$$

$$= 2,577 \text{ FT}^3$$

#### PROVIDED

$$SWQV = 2,789 \text{ FT}^3$$

BASIN HYDROLOGY						
BASIN	AREA (AC)	LAND TREATMENT FACTOR				Q100 (CFS)
		A	B	C	D	
(AC)						
EXISTING CONDITIONS						
EX1	2.72	2.72	0.00	0.00	0.00	4.19
PROPOSED CONDITIONS						
A1	2.00	0.00	0.00	0.66	1.35	7.43
A2	0.33	0.00	0.00	0.00	0.33	1.36
B1	0.39	0.00	0.00	0.31	0.08	1.21
TOTAL	2.72					10.00

### PROPERTY

THE SITE IS A 2.72 ACRE UNDEVELOPED PROPERTY BOUNDED TO THE WEST BY 98TH STREET, TO THE SOUTH BY GIBSON BLVD, AND TO THE EAST BY THE AMOLE ARROYO CHANNEL. THE SITE SLOPES TO THE EAST AND CURRENTLY DISCHARGES TO THE AMOLE ARROYO CHANNEL VIA A CONCRETE RUNDOWN TO THE SOUTHEAST.

### PROPOSED IMPROVEMENTS

THE PROPOSED SITE IS A GAS STATION AND CONVENIENCE STORE WITH CONCRETE ACCESS, PARKING AND LANDSCAPING. THE SITE MATCHES THE EXISTING DRAINAGE PATTERN, WITH RUNOFF FLOWING SOUTHEAST. STORMWATER QUALITY VOLUME IS CAPTURED IN WATER QUALITY POND 1. A TRENCH DRAIN AROUND THE FUEL CANOPY DIRECTS RUNOFF FROM THE FUEL PUMPS TO AN OIL WATER SEPARATOR BEFORE DISCHARGING INTO POND 1. AN OVERFLOW SPILLWAY DIVERTS EXCESS RUNOFF VOLUME TO THE EXISTING CONCRETE RUNDOWN AND INTO THE AMOLE CHANNEL. THE SITE IS PERMITTED FREE DISCHARGE TO THE CHANNEL.

### OFF-SITE FLOW

OFF-SITE FLOWS DO NOT IMPACT THE PROPERTY.

### FLOOD HAZARD

ACCORDING TO BERNALILLO COUNTY FIRM MAP #35001C0336H, THE SITE IS LOCATED WITHIN ZONE X AND IS OUTSIDE THE 500-YEAR FLOODPLAIN.

### LEGAL DESCRIPTION

TRACT E-5-A-2, OF ALBUQUERQUE SOUTH, UNIT 3, WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 3, 2010, IN PLAT BOOK 2010C, PAGE 090, AS DOCUMENT NO 2010078227.

CONTAINING 2.7189 ACRES (118,435 SF), MORE OR LESS.

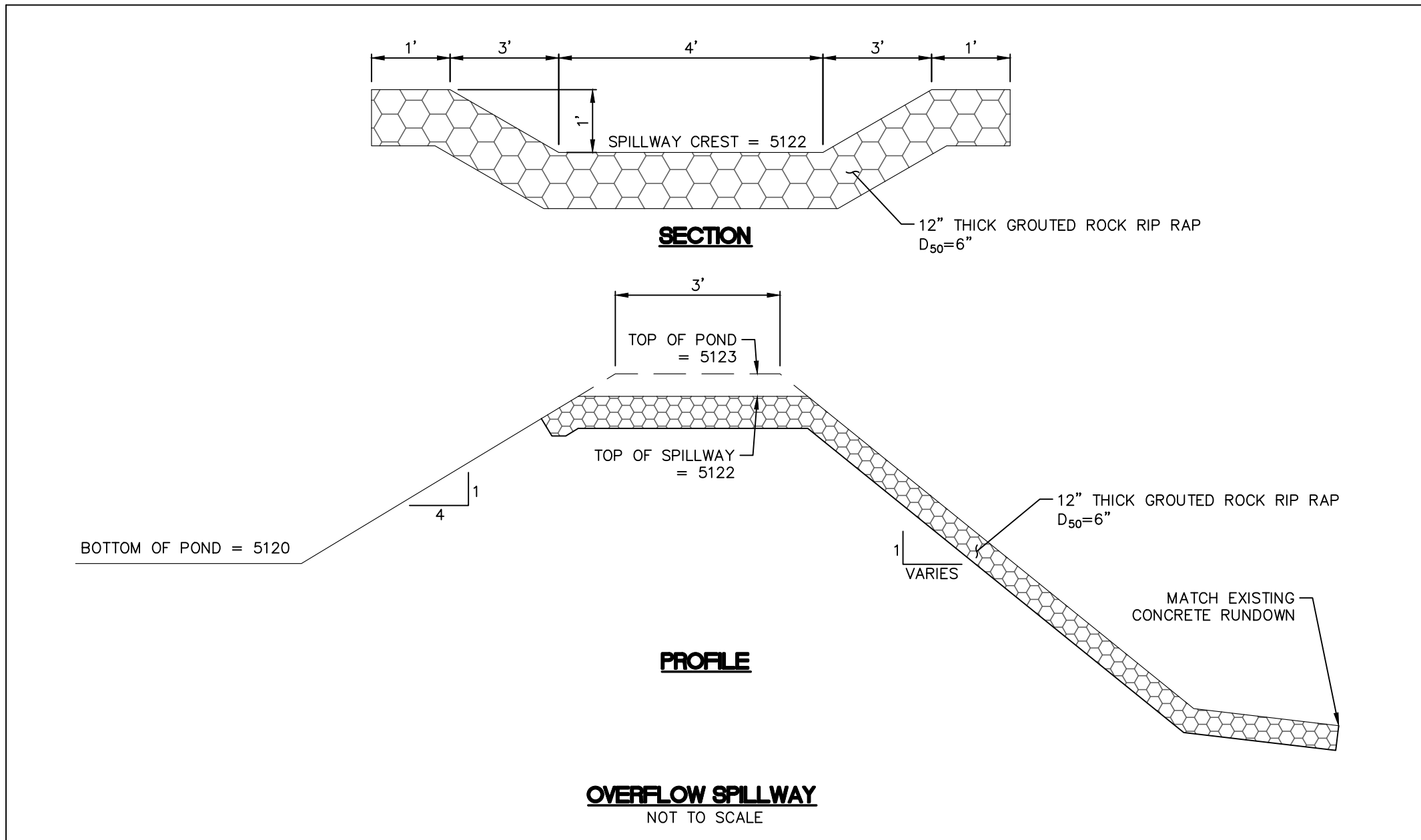
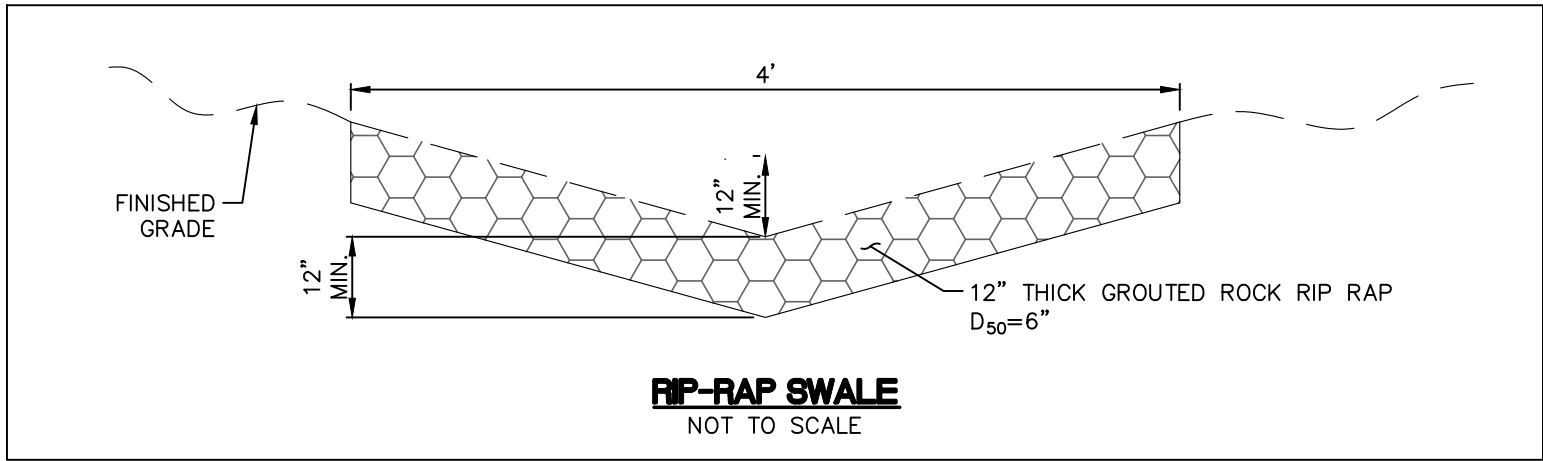
### BASIS OF BEARING

THE BASIS OF BEARINGS IS BETWEEN THE SE CORNER OF TRACT E-5-A-2 AND USC&GS BRASS CAP "TRANS 1969" AS MEASURED WITH THE "TRIMBLE VRS NOW" GNSS VIRTUAL REFERENCE SYSTEM. BEARINGS ARE NEW MEXICO STATE PLANE BEARINGS, CENTRAL ZONE, NAD 83. DISTANCE ARE GROUND DISTANCES. ELEVATION DATUM IS NAVD88

### BENCHMARKS

CSC CONTROL POINT 1  
SW CORNER, TRACT E-5-A-2  
5/8" REBAR W/CAP ILLEGIBLE  
N = 1471548.485 US FT  
E = 1495079.073 US FT  
Z = 5119.71 US FT NAVD 1988

CSC CONTROL POINT 2  
NW CORNER, TRACT E-5-A-2  
REBAR W/CAP LS 16006  
N = 1471895.209 US FT  
E = 1494671.543 US FT  
Z = 5129.368 US FT NAVD 1988



### IMPACT STATEMENT

ANALYSIS OF THE 100-YEAR WATER SURFACE ELEVATION AT THE AMOLE CHANNEL CONFIRMED A HEADWATER ELEVATION OF 5118.6. THE OVERFLOW SPILLWAY FROM THE ON-SITE STORMWATER QUALITY POND RELEASES AT AN ELEVATION OF 5121.0. THEREFORE, THE SITE IS NOT IMPACTED BY THE 100-YEAR STORM EVENT AND WILL CONTINUE TO DRAIN FREELY TO THE AMOLE CHANNEL.

APPROVED FOR CONSTRUCTION WITHIN AMAFCA EASEMENT

*[Signature]*  
(FOR AMAFCA)

811

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9501 GIBSON BLVD. SW

ALBUQUERQUE, NEW MEXICO 87121

FINAL ENGINEERING PLANS

GRADING AND DRAINAGE PLAN

DATE

March 10, 2023

REVISIONS

11/10/22

03/10/23

SCALE

AS SHOWN

DR. KJK

GH. CBS

P.M. D. MADRUGA

BOOK

--

JOB

22003692

SHEET NO.

D011

CAD FILE: 22003692-DRAINAGE PLANS.DWG