

Take 5 Car Wash Snow Vista

98th Street SW & Sage Road SW



TEMPORARY EROSION AND SEDIMENT CONTROL PLAN

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GPS COORDINATES:

Latitude: 35.056348
Longitude: -106.740463

 01/30/2023 CPESC Stamp	Take 5 Car Wash Snow Vista	
	PROJECT TITLE	
	ALBUQUERQUE, NM, BERNALILLO COUNTY	
	CITY, COUNTY, STATE	
01/30/2023	DATE	
B. Henriksen / J. Tolman	DRAWN BY	

STORMWATER POLLUTION PREVENTION PLAN INFORMATION

PERMIT NUMBER: NMR1005E4, NMR1005E3

NMR100000 STATE OF NEW MEXICO, EXCEPT INDIAN COUNTRY
NMR101000 INDIAN COUNTRY WITHIN THE STATE OF NEW MEXICO, EXCEPT
 NAVAJO RESERVATION LANDS THAT ARE COVERED UNDER ARIZONA
 PERMIT AZR101000 AND UTE MOUNTAIN RESERVATION LANDS THAT ARE
 COVERED UNDER COLORADO PERMIT COR101000.

OPERATOR NAME: Boing US Holdco, Inc.

OPERATOR POINT OF CONTACT: Jorge Primo Planta

NOI PREPARED BY: Inspections Plus 2

PROJECT/SITE NAME: Take 5 Car Wash Snow Vista

PROJECT/SITE ADDRESS: 98th Street SW & Sage Road SW

LATITUDE	35.056348
LONGITUDE	-106.740463
ESTIMATED PROJECT START DATE	03/01/2023
ESTIMATED PROJECT COMPLETION DATE	09/01/2023
ESTIMATED AREA TO BE DISTURBED	1.10 acres
TYPE OF CONSTRUCTION	Commercial
DEMOLITION OF ANY STRUCTURES, 10,000 SQ FT OF GREATER BUILT OR RENOVATED BEFORE JANUARY 1, 1980?	No
WAS THE PREDEVELOPMENT LAND USED FOR AGRICULTURE?	NO
COMMENCED EARTH DISTURBING ACTIVITIES?	NO
DISCHARGE TO MS4? MS4 NAME?	NO
SURFACE WATERS WITHIN 50FT?	NO
RECEIVING WATER?	Amole Del Norte Channel
IS RECEIVING WATER IMPAIRED? TIER DESIGNATION	No
WHAT ARE THE IMPAIRMENTS, IF ANY?	NA
SWPPP CONTACT INFORMATION:	Jimmy Gibson: 832-654-8008
ENDANGERED SPECIES CRITERIA:	CRITERION "A"; NO CRITICAL HABITATS
HISTORIC PRESERVATION CRITERIA:	CRITERION "A" PREEXISTING DEVELOPMENT

EROSION CONTROL NOTES ESC Plan Standard Notes (2022-08-23)

1.All Erosion and Sediment Control (ESC) work on these plans, except as otherwise stated or provided hereon shall be permitted, constructed, inspected, and maintained in accordance with:

- a.The City Ordinance § 14-5-2-11, the ESC Ordinance,
- b.The EPA's 2017 Construction General Permit (CGP), and
- c.The City Of Albuquerque Construction BMP Manual.



2.All BMP's must be installed prior to beginning any earth moving activities except as specified hereon in the Phasing Plan. Construction of earthen BMP's such as sediment traps, sediment basins, and diversion berms shall be completed and inspected prior to any other construction or earthwork. Self-inspection is required after installation of the BMPs and prior to beginning construction.

3.Self-inspections - At a minimum a routine compliance self-inspection is required to review the project for compliance with the Construction General Permit once every 14 days and after any precipitation event of 1/4 inch or greater until the site construction has been completed and the site determined as stabilized by the city. Reports of these inspections shall be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.

4.Corrective action reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.

5.Stabilization reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request. Reports should include records of weed removal per City Ordinance (§ 9-8-1), sterilization, soil test results and recommendation, materials and manufacturer's specifications for application rates, estimated functional longevity, methods of application, inspection and maintenance. The reduced self-inspection schedule in CGP 4.4.1 applies to stabilized area and any damaged or worn stabilization must be identified in the reports along with weed problems. Corrective actions for stabilization shall be documented in a stabilization report including actual rates and dates of stabilization, and the materials and manufacturer's specifications used.

6.BMPs shall be inspected and maintained until all disturbed areas are stabilized in accordance with the Final Stabilization Criteria (CGP 2.2.14.b). Generally, all disturbed areas, other than structures and impervious surfaces, must have uniform perennial vegetation that provides 70 percent or more of the cover provided by native vegetation or seed the disturbed area and provide non-vegetative mulch that provides cover for at least three years without active maintenance. Final stabilization must be approved by the City of Albuquerque prior to removal of BMPs and discontinuation of inspections.

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SEDIMENT TRACK OUT CONTROL



BMP Objectives

- Sediment Control

BERMS AND SWALES



BMP Objectives

- Runoff Control
- Run-on Diversion

SILT FENCE



BMP Objectives

- Sediment Control
- Sheet Flow Runoff Control
- Wind Erosion Control

MULCH SOCK/STRAW WATTLE



BMP Objectives


- Sediment Control
- Reduce Runoff Velocity
- Inlet Protection

INLET PROTECTION















BMP Objectives


- Sediment Control
- Sheet Flow Runoff Control
- Wind Erosion Control

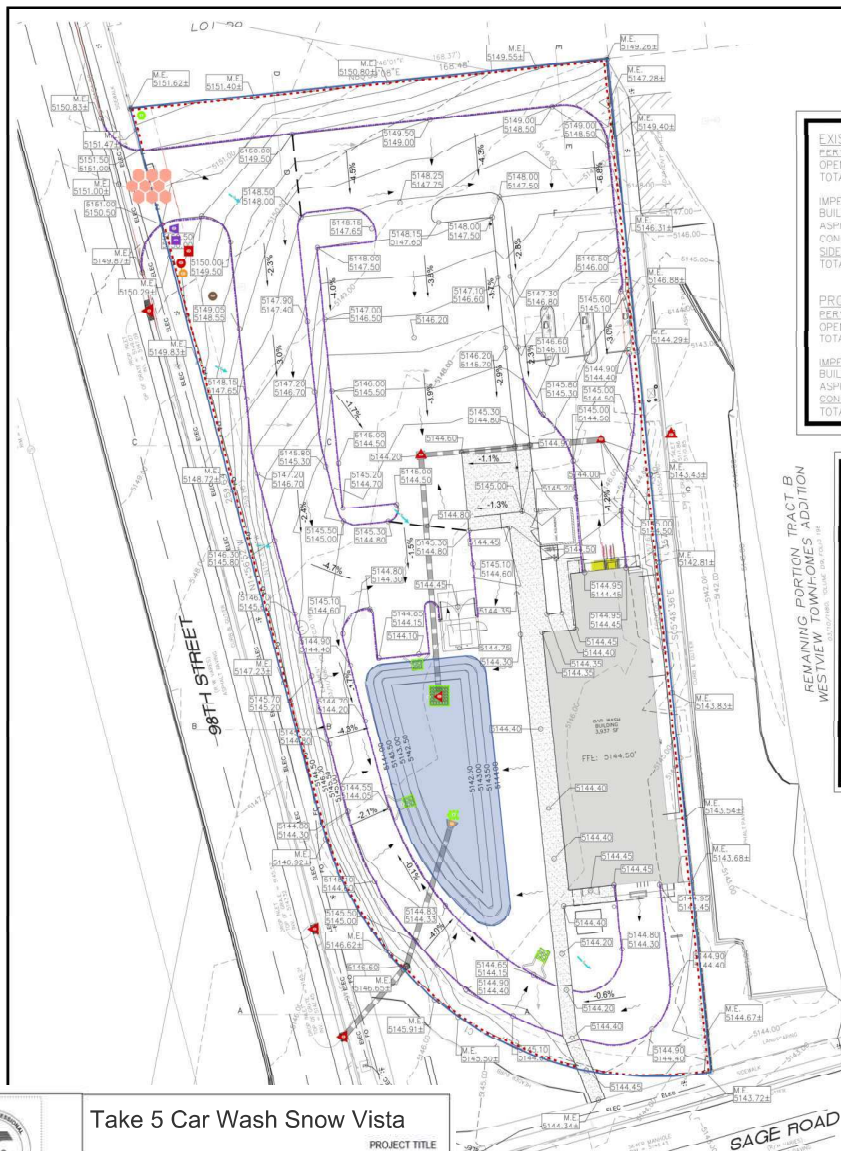
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LEGEND



-  Silt Fence (1)
-  Property Boundary / Limit of Disturbance (1)
-  Pre & Post Construction Water Flow (2)
-  Debris Stockpiles (1)
-  Stabilize Construction Exit (1)
-  SWPPP Sign (1)
-  ERTEC Inlet Protection (4)
-  Street Sweeping (1)
-  Water Truck (1)
-  Dumpster (1)
-  Portable Toilet (1)
-  Spill Kit (1)

	
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EXISTING PERVIOUS/IMPERVIOUS

PERVIOUS	OPEN SPACE:	47,916 SF / 1.10 AC / 100%
	TOTAL PERVIOUS AREA:	47,916 SF / 1.10 AC / 100%
IMPERVIOUS	BUILDING AREA:	0 SF / 0 AC / 0%
	ASPHALT PAVEMENT AREA:	0 SF / 0 AC / 0%
	CONCRETE PAVEMENT AREA:	0 SF / 0 AC / 0%
	SIDEWALK AREA:	0 SF / 0 AC / 0%
	TOTAL IMPERVIOUS AREA:	0 SF / 0 AC / 0%

PROPOSED PERVIOUS/IMPERVIOUS

PERVIOUS	OPEN SPACE AREA:	13,800 SF / 0.32 AC / 29%
	TOTAL PERVIOUS AREA:	13,800 SF / 0.32 AC / 29%
IMPERVIOUS	BUILDING AREA:	5,358 SF / 0.12 AC / 11%
	ASPHALT PAVEMENT AREA:	26,516 SF / 0.61 AC / 55%
	CONCRETE PAVEMENT AREA:	2,022 SF / 0.05 AC / 5%
	TOTAL IMPERVIOUS AREA:	34,116 SF / 0.78 AC / 71%

GRADING/DRAINAGE NARRATIVE

EXISTING CONDITIONS: THE SITE HAS AN ISR OF 0.00. DRAINAGE AREA CURRENTLY DRAINS VIA SHEET FLOW INTO RIGHT OF WAY.

PROPOSED CONDITIONS: THE PROPOSED SITE HAS AN ISR OF 0.71. DRAINAGE AREA BASIN WILL HAVE THE STORMWATER ROUTED TO THE ON-SITE INLETS FIRST AND OUTFALL VIA RCP PIPE INTO RIGHT OF WAY INLET.

PER ARTICLE 6.12 "STORM WATER QUALITY AND LOW IMPACT DEVELOPMENT, STORM WATER QUALITY VOLUME (SWQV) IS REQUIRED FOR THIS PREDEVELOPMENT BY MULTIPLYING 0.26 INCHES BY POST DEVELOPMENT IMPERVIOUS SURFACE, THEREFORE:

$SWQV = (0.26/12) * 47,916 = 1,039 \text{ CU.FT.}$

PROVIDED VOLUME IN THE DETENTION AREA = 1,893 CU.FT.

Elev. (feet)	Surface Area (square ft.)	Total Volume (cubic ft.)
5142.50	1204.00	0.00
5143.00	1876.00	790.50
5143.50	2535.00	1,893.75

- LEGEND**
- ADA PARKING STALLS. 2% MAX SLOPES IN ALL DIRECTIONS
 - PROPOSED SPOT ELEVATION
 - PROPOSED TOP OF CURB/BOTTOM OF CURB SPOT ELEVATION
 - MATCH EXISTING ELEVATION
 - PROPOSED SLOPE INDICATOR
 - DIRECTIONAL DRAINAGE FLOW ARROW
 - EXISTING DIRECTIONAL DRAINAGE FLOW ARROW
 - PROPOSED RIDGE LINE
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR

- GRADING & DRAINAGE NOTES**
- JURISDICTIONAL LAND DISTURBANCE PERMIT SHALL BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND BE VISIBLE TO THE PUBLIC.
 - TWO PERMANENT BENCHMARKS (ON-SITE) SHALL BE ESTABLISHED BY CONTRACTOR PRIOR TO STARTING CONSTRUCTION.
 - PROPOSED SPOT ELEVATIONS ARE TO THE TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
 - ALL REQUIRED FILL SHALL BE CLEAN, SUITABLE MATERIAL.
 - ALL AREAS DISTURBED OUTSIDE LIMITS OF GRADING SHOWN ON THE PLANS SHALL BE RESTORED TO EXISTING CONDITIONS OR BETTER BY THE CONTRACTOR.
 - CONTRACTOR SHALL MEET AND MATCH EXISTING (M.E.) PAVEMENT ALONG SAW-CUT LIMITS.
 - LENGTH OF PROPOSED RIP-RAP PADS AT PIPE OUTLET STRUCTURES SHALL BE A MINIMUM LENGTH OF SIX TIMES THE DIAMETER OF THE PIPE, IF APPLICABLE.
 - ALL FILL SHOULD BE PLACED IN THIN, HORIZONTAL LOOSE LIFTS, MAXIMUM 6 INCHES, AND COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D698). A FLORIDA REGISTERED PROFESSIONAL SOILS ENGINEER SHALL CERTIFY THE SOIL COMPACTION PRIOR TO THE INSTALLATION OF PAVEMENTS, CURBS, SIDEWALKS OR FOOTINGS OF ANY TYPE. COMPACTION OF THE UPPER 8 INCHES OF SOIL BENEATH PAVEMENTS AND SLAB-ON-GRADE SHOULD BE COMPACTIONED TO AT LEAST 98%.
 - STORMWATER PONDS AND OUTLET STRUCTURES SHALL BE FULLY CONSTRUCTED AND OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
 - REFER TO LANDSCAPE PLAN FOR REQUIRED TREE AND GROUND COVER PLANTINGS.
 - SURFACE GRADE SLOPES SHALL BE A MINIMUM OF 1.00%.
 - 4:1 MAXIMUM CUT AND FILL SLOPES.
 - ADA ACCESSIBLE AREAS SHALL NOT HAVE A MAXIMUM CROSS-SLOPE THAT EXCEEDS 2.00% AND MAX LONGITUDINAL SLOPE OF 5.00% UNLESS A RAMP IS SPECIFIED. IF DISCREPANCIES OCCUR CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD IMMEDIATELY TO CONFIRM DESIGN TO ENSURE ADA ACCESSIBLE STANDARDS ARE MET.
 - ALL TRENCHING AND BACKFILL OPERATIONS SHALL COMPLY WITH GOVERNING JURISDICTIONAL STANDARDS. SEE SHEET C4-2 FOR PIPE TRENCHING DETAILS.
 - SEE SHEET C4-1 FOR C4.3 FUR DETAILS.
 - ALL INLET GRATES SUBMITTED TO VEHICLE LOADING SHALL MEET H-20 TRAFFIC LOADING STANDARDS.

- BUILDING ACCESS AND PROTECTION NOTES**
- THE CONTRACTOR SHALL MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS UNDER CONSTRUCTION WITH A MINIMUM WIDTH OF 20 FT. THE ACCESS TO BUILDINGS WITH SPRINKLER OR STANDPIPE SYSTEMS SHALL BE WITHIN 40 FT OF THE FIRE DEPARTMENT CONNECTION ACCORDING TO NFPA 1141 3-1.
 - CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING IN ALL AREAS AROUND BUILDING.

FLOOD PLAIN

THE SITE IS LOCATED TO FLOOD ZONE "X" PER FEMA FLOOD MAP NO. 55000303M, DATED 6/16/2012

VERTICAL CURVE

ELEVATIONS SHOWN HEREIN ARE BASED ON (NAVD) 88 AND SACS SURVEYING AND ENGINEERING RESPONSIBILITY BY THE SURVEYOR

BEACON
CONSULTANTS

UNIVERSITY OF ALABAMA
BIRMINGHAM
TABLE T. 1306

TO REACH THE STATION FROM THE INTERSECTION OF 98TH STREET AND SAGE ROAD, TRAVEL NORTH 0.46 MILES ON BROADWAY AVENUE TO LOMAS AVENUE, TURN RIGHT AND TRAVEL 0.11 MILES TO THE STATION. THE STATION MARK IS A CITY OF ALBUQUERQUE STATION MARK. THE STATION MARK IS STAMPED 17-J41985 SET FLUSH WITH THE TOP OF THE CONCRETE.

811

CALL NM ONE-CALL
SYSTEM SEVEN (7) DAYS
PRIOR TO ANY EXCAVATION

CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION

GRADING PLAN

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LEGEND

-  Rip Rap (4)
-  Detention Basin (1)
-  Cutback Curb / Sidewalk (9)
-  Pre & Post Construction Water Flow (5)
-  Silt Fence (3)
-  Property Boundary / Limit of Disturbance (1)
-  Stabilized Construction Exit (1)
-  SWPPP Sign (1)
-  ERTec Inlet Protection (7)
-  Outfall (1)
-  Rip Rap (1)
-  Portable Concrete Washout Bin (1)
-  Dumpster (1)
-  Portable Toilet (1)
-  Materials Storage (1)
-  Spill Kit (1)
-  Stockpiles (1)

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SCHEDULE/SEQUENCING OF CONSTRUCTION

- 1. POST PERMITS
- 2. INSTALL REQUIRED BMPs
- 2.a. PERIMETER CONTROLS (SILT FENCE)
- 2.b. STABILIZED CONSTRUCTION ENTRANCE
- 2.c. CONCRETE WASHOUT AREA
- 3. DEMOLITION
- 4. EARTHWORK AND GRADING
- 5. UTILITY INSTALLATION
- 6. PAVEMENT STRUCTURES
- 7. PAD STRUCTURES
- 8. LANDSCAPING
- 9. PUNCHLIST



OPERATOR:

Spinoff Construction
Alan Stavinocha
Owner
972-921-0691
alan@spinoffconstruction.com

OWNER:

Boing US Holdco, Inc., dba
"Take 5 Car Wash"

Jorge Primo Planta
VP of Development
919-699-7198
jorge.planta@drivenbrands.com

	
Take 5 Car Wash Central	
PROJECT TITLE	
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CITY, COUNTY, STATE	
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