

CITY OF ALBUQUERQUE



Planning Department
Alan Varela, Director

Mayor Timothy M. Keller

November 24, 2025

Atef A. Hanna, P.E
Beacon Civil Engineering
8345 Gunn Hwy
Tampa, Florida 33626

**Re: Take 5 Car Wash
980 98th St SW
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 06-09-23 (M09-D035)
Certification dated 11-21-2025**

Dear Mr. Hanna,

Based upon the information provided in your submittal received 11-24-25, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

Albuquerque

- The site access construction must be completed.
- Per approved site plan, please provide:
 1. ADA parking space signage.
 2. The "ONE WAY" and "DO NOT ENTER" signage.
 3. The Motorcycle parking space.

NM 87103

www.cabq.gov

Once these corrections are complete, email pictures to malnajjar@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

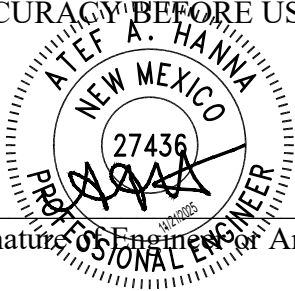
Sincerely,

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

TRAFFIC CERTIFICATION

I, Atef Hanna, NMPE OR NMRA NUMBER 27436, OF THE FIRM Beacon Civil Engineering, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 02/16/2023. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Christopher Medina OF THE FIRM Terra Land Surveys. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 11/21/2025 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Certificate of Occupancy.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP

11/21/2025
Date

CODE DATA

PROJECT DESCRIPTION:
THE PROJECT IS A NEW 1-STORY CAR WASH

BUILDING ADDRESS:
ALBUQUERQUE, NEW MEXICO 87121

LEGAL DESCRIPTION:
FOR A TIE COMMENCE AT THE NORTHWEST CORNER OF SAID SECTION 33, T.10N., R.2E., THENCE, N. 89 DEG. 27'22" E., 1392.96 FEET ALONG THE NORTH LINE OF SAID SECTION 33, T.10N., R.2E., TO A POINT; THENCE, S. 06'37" E., 581.12 FEET TO THE POINT OF BEGINNING AND THE NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED, BEGIN A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF SAGE RD. SW; THENCE, S. 74 DEG. 47'25"W., 84.63 FEET TO THE POINT OF A CURVE TO THE RIGHT TO A POINT OF TANGENT ON THE EASTERLY RIGHT-OF-WAY LINE OF SNOW VISTA BLVD. SW; THENCE, N. 15 DEG. 13' 00" W., 354.87 FEET ALONG THE NEW EASTERLY RIGHT-OF-WAY LINE OF SNOW VISTA BLVD, SW TO THE NORTHWEST CORNER OF THE TRACT HEREIN DESCRIBED; THENCE, N. 83 DEG. 46' 01" E., 168.37 FEET TO THE POINT OF BEGINNING.

SITE ACREAGE:
1.09 AC (47,480± SQ. FT.)

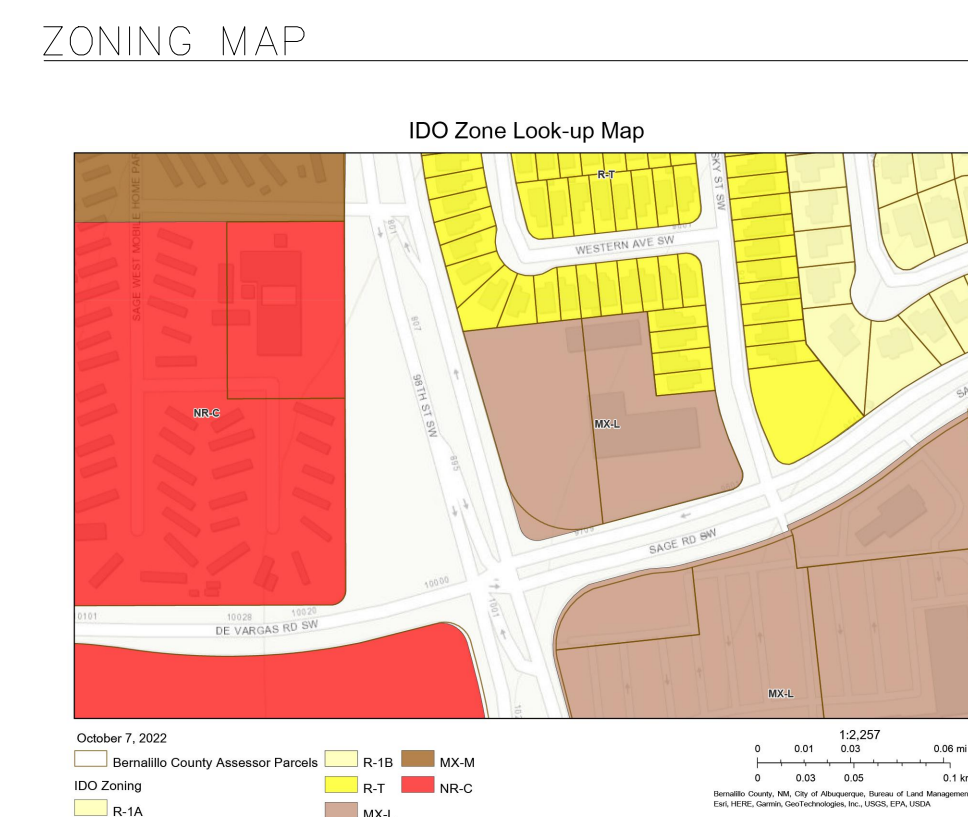
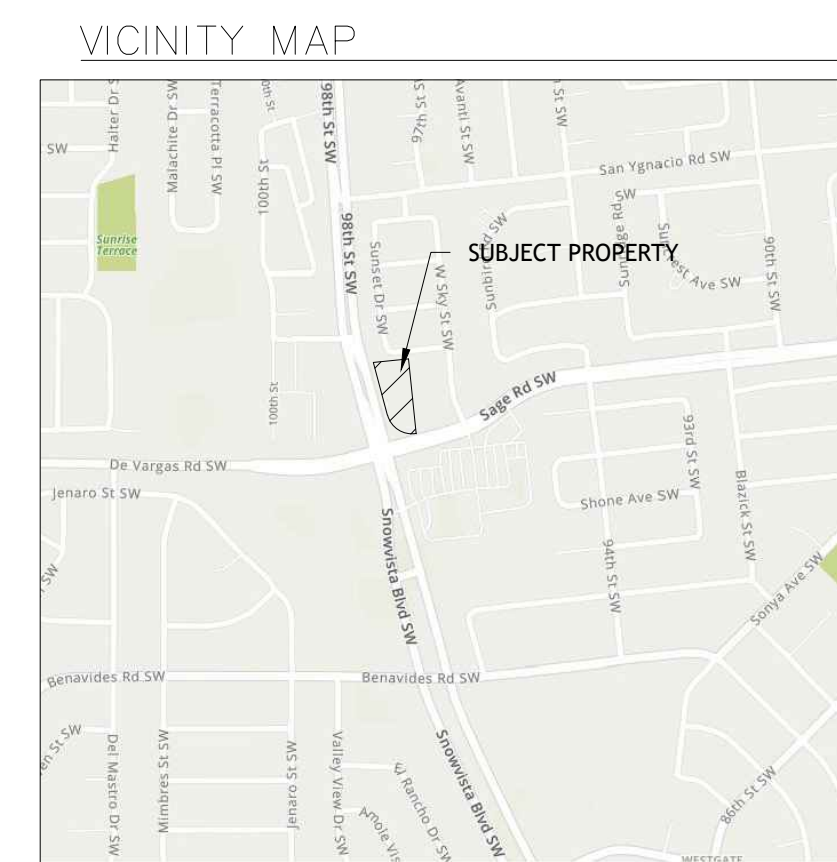
BUILDING GROSS SQUARE FOOTAGE:
1 STORY BUILDING - 3,937 GROSS SF

PARKING:
REQUIRED PARKING: PER JURISDICTIONAL REQUIRMENTS
BICYCLE PARKING: 2 SPACES
MOTORCYCLE PARKING (5X18)
PROPOSED PARKING:
11 VACUUM STALLS (15X19)
1 ADA VACUUM STALL (15X19)
2 STANDARD PARKING (9X18)
1 MOTORCYCLE PARKING (5X18)

SITE SLOPES:

- PARKING LOT SLOPE SHALL BE BETWEEN 1% AND 5%
- PARKING LOT AREAS ADJACENT TO MAJOR CIRCULATION AISLES OR MAJOR ENTRANCES SHALL BE BETWEEN 1% (MIN.) AND 5% (MAX.)
- ADA PARKING SHALL BE BETWEEN 1% (MIN.) & 2% (MAX.)

CLEAR SIGHT TRIANGLE:
LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIRMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL WILL NOT BE ACCEPTABLE WITHIN THE CLEAR SIGHT TRIANGLE.

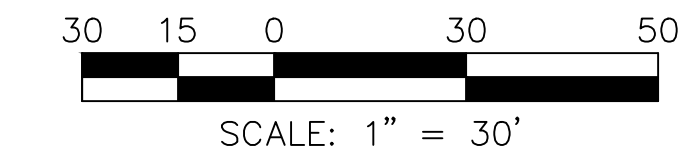


LEGEND

- ADA ACCESSIBLE PATH
2% MAX SLOPES IN ALL DIRECTIONS
- CONCRETE PAVEMENT.
SEE DETAIL ON SHEET C-8.1.
- SIDEWALK CONCRETE
SEE DETAIL ON SHEET C-8.1.

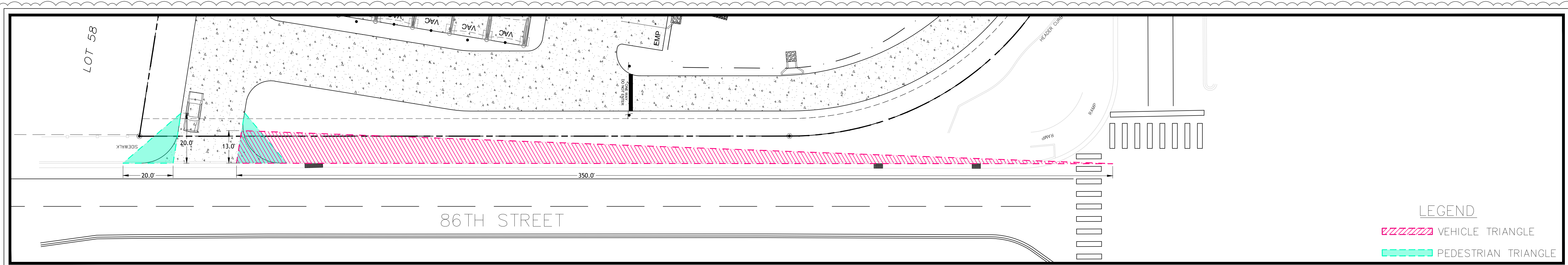
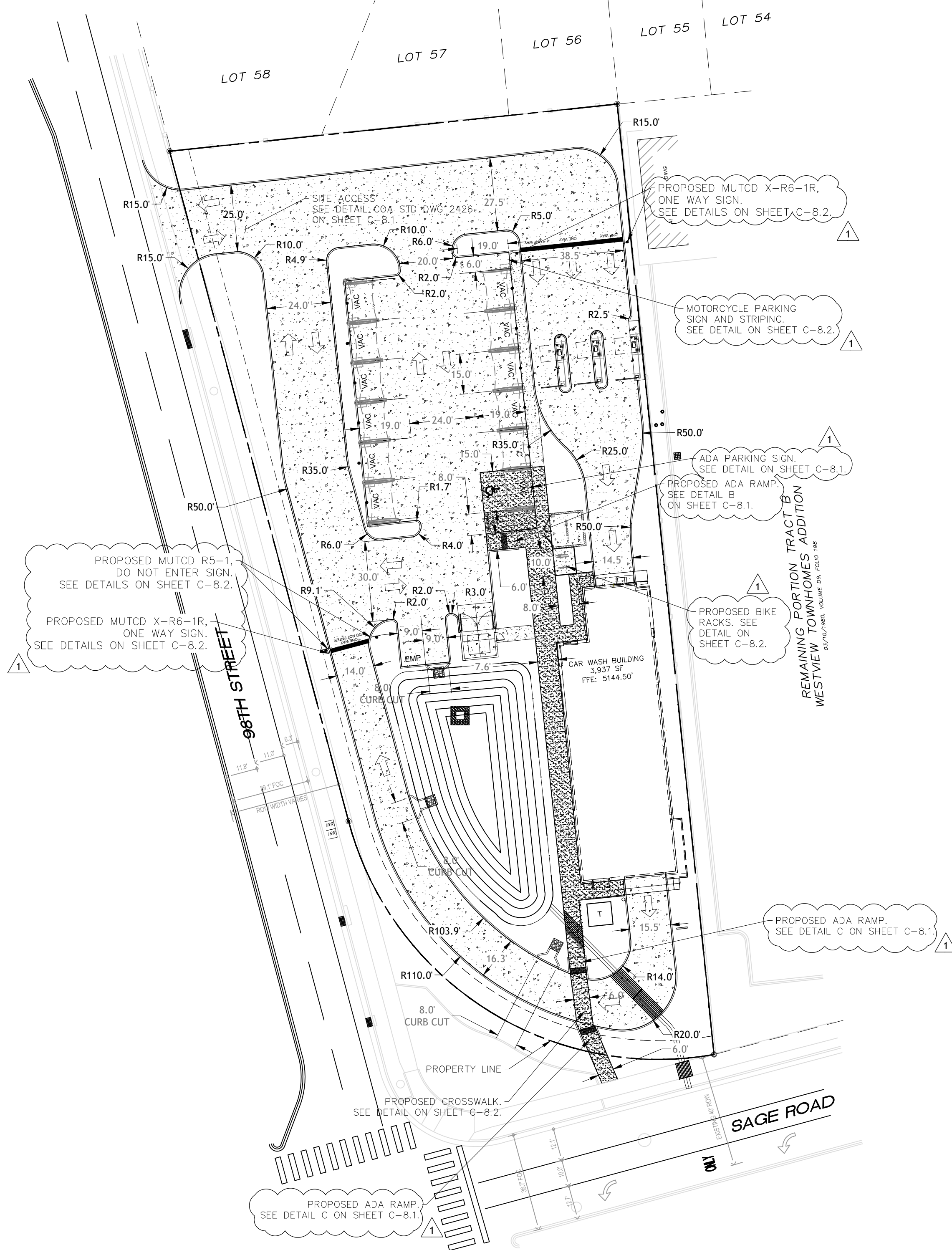
NOTES

- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.



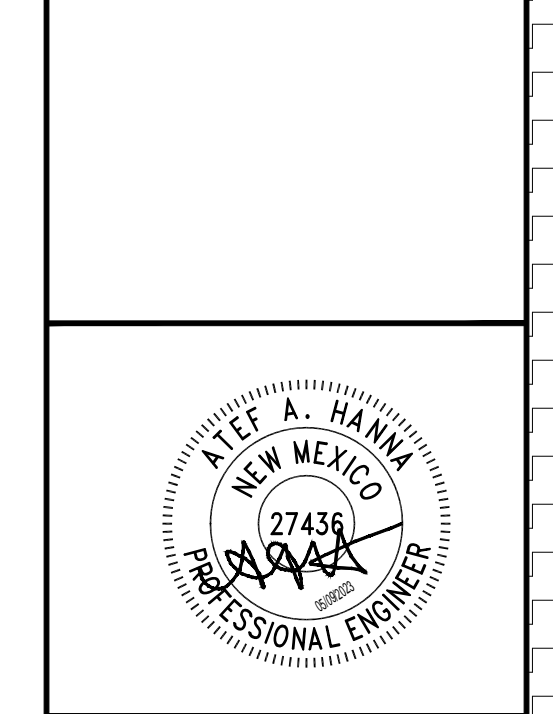
TRAFFIC CIRCULATION
LAYOUT APPROVED

Ernest Armijo 5/11/2023
Signed Date



ISSUED FOR PERMITTING

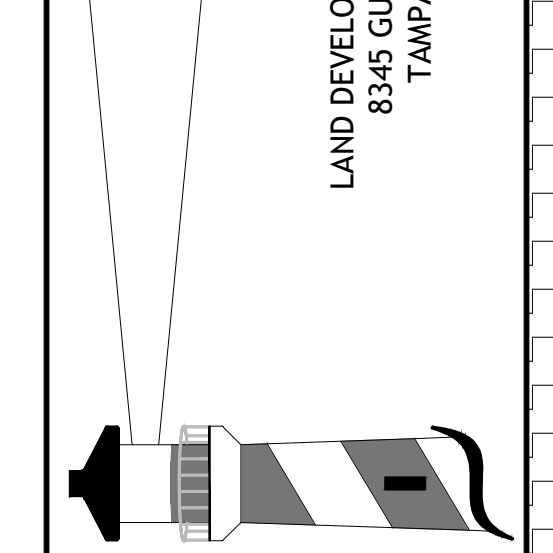
DESIGNED BY:	CB	ISSUE DATE:	04/2022
DRAWN BY:	CB	JOB NO.:	21507
CHECKED BY:	AH	APPROVED BY:	AH
NO.:	1	REVISION DESCRIPTION:	CITY COMMENTS
BY:	MK	DATE:	04/11/2023



ATEF A. HANNA, PE #27436

BEACON CIVIL ENGINEERING

LAND DEVELOPMENT ENGINEERS
8345 GUNN HIGHWAY
TAMPA, FL 33626



**TAKE 5
CAR
WASH**

OF
NEW MEXICO
SNOW VISTA

98TH STREET
ALBUQUERQUE,
NM

SHEET NAME:
CIRCULATION
PLAN

SHEET NUMBER:
C-8.0

