

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

March 4, 2026

Fulmer Lucas  
Hugh Ross Lucas, P.E.  
2002 Richard Jones Rd, Suite B200  
Nashville, TN 37215

**RE: 1125 Snow Vista Blvd SW  
Grading & Drainage Plan  
Engineer's Stamp Date: 02/26/2026  
Hydrology File: M09D036  
Case # HYDR-2025-00447**

Dear Mr. Lucas:

Based upon the information provided in your submittal received 3/2/2026, the Grading & Drainage Plan is approved for Demo Permit, Grading Permit and Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the Drainage Covenant with Exhibit A for the stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit the original copies along with the **\$ 25.00** recording fee check made payable to Bernalillo County to the Hydrology Section of Development Review Services on the Ground floor of Plaza de Sol. Electronic submittal in ABQ-PLAN is also required.

NM 87103

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or [amontoya@cabq.gov](mailto:amontoya@cabq.gov).

Sincerely,

Anthony Montoya, Jr., P.E., CFM  
Senior Engineer, Hydrology  
Planning Department, Development Review Services



CALL NM ONE-CALL  
SYSTEM SEVEN (7) DAYS  
PRIOR TO ANY EXCAVATION

# SITE DEVELOPMENT PLANS FOR: **BENAVIDES**

## 1125 SNOW VISTA BLVD SW ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO 87121 PARCEL: 100905516834620335

**DEVELOPER**  
OMAN-GIBSON ASSOCIATES  
2932 FOSTER CREIGHTON DRIVE  
NASHVILLE, TENNESSEE 37204

CONTACT: SAM SARBACKER  
615-986-2660

**CIVIL ENGINEER**  
FULMER LUCAS ENGINEERING, LLC  
2002 RICHARD JONES ROAD - SUITE B200  
NASHVILLE, TENNESSEE 37215

CONTACT: JAY FULMER  
615-345-3770

**LAND SURVEYOR**  
CSI-CARTESIAN SURVEYS, INC.  
P.O. BOX 44414  
RIO RANCHO, NEW MEXICO 87174

CONTACT: BRIAN MARTINEZ  
505-896-3050

**ARCHITECT**  
FACET ARCHITECTURAL DESIGN  
12 SUNNEN DRIVE, SUITE 100  
ST. LOUIS, MISSOURI 63143

CONTACT: SUZANNE HAYES  
314-821-1100

**LANDSCAPE ARCHITECT**  
WALLACE DESIGN COLLECTIVE  
9800 PYRAMID COURT, SUITE 350  
ENGLEWOOD, COLORADO 80112

CONTACT: AARON M. BARNHART  
303-350-1690

FEMA MAP: 35001C0336H, ZONE X  
EFFECTIVE DATE: 8/16/2012

SITE DATA TABLE	
<b>PROPERTY INFORMATION</b>	
ADDRESS:	1125 SNOW VISTA BLVD SW
PARCEL ID:	100905516834620335
LOT AREA:	1.13 AC.
CITY:	ALBUQUERQUE
COUNTY:	BERNALILLO
STATE:	NEW MEXICO
FRONT SETBACK:	5'
SIDE SETBACK:	0'
REAR SETBACK:	0'
<b>ZONING CLASSIFICATION</b>	
JURISDICTION:	ALBUQUERQUE
EXISTING ZONING:	NR-C NON-RESIDENTIAL COMMERCIAL
PROPOSED ZONING:	NR-C NON-RESIDENTIAL COMMERCIAL
PROPOSED USE:	MEDICAL CLINIC
<b>BUILDING AREA</b>	
TOTAL BUILDING SQUARE FOOTAGE:	± 8,196 SF
BUILDING COVERAGE (MAX.):	N/A
BUILDING COVERAGE PROVIDED:	0.166
ISR (MAX.):	N/A
ISR PROVIDED:	0.57
BUILDING HEIGHT (MAX.):	38'
BUILDING HEIGHT PROVIDED:	18'-6"
<b>PARKING SUMMARY</b>	
VEHICULAR PARKING REQUIRED (1 PER 200 SF):	41
STANDARD PARKING SPACES PROVIDED:	39
ADA PARKING SPACES REQUIRED:	2
TOTAL SPACES PROVIDED:	41
MOTORCYCLE PARKING REQUIRED:	2
MOTORCYCLE PARKING PROVIDED:	2
BICYCLE PARKING REQUIRED:	4
BICYCLE PARKING PROVIDED:	4

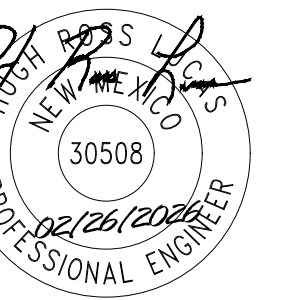


**VICINITY MAP**  
SCALE: 1"=1000'

Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
SHEET 1 OF 3	BOUNDARY SURVEY ALTA-NSPS LAND TITLE SURVEY AND TOPOGRAPHIC MAP
SHEET 2 OF 3	BOUNDARY SURVEY ALTA-NSPS LAND TITLE SURVEY AND TOPOGRAPHIC MAP
SHEET 3 OF 3	BOUNDARY SURVEY ALTA-NSPS LAND TITLE SURVEY AND TOPOGRAPHIC MAP
C0.1	SITE DEMOLITION PLAN
C0.2	INITIAL EPSC PLAN
C0.3	INTERMEDIATE EPSC PLAN
C1.0	SITE LAYOUT PLAN
C2.0	SITE GRADING PLAN
C2.1	DRAINAGE CALCULATIONS
C3.0	SITE UTILITY PLAN
C4.0	SITE DETAILS
C4.1	TCL SITE DETAILS
C4.2	SITE DETAILS
C4.3	SITE DETAILS
C4.4	SITE DETAILS
C4.5	SITE DETAILS
C4.6	SITE DETAILS

**FULMER LUCAS**

2002 RICHARD JONES RD - SUITE B200  
NASHVILLE, TENNESSEE 37215  
INFO@FULMERLUCAS.COM - (615) 345-3770

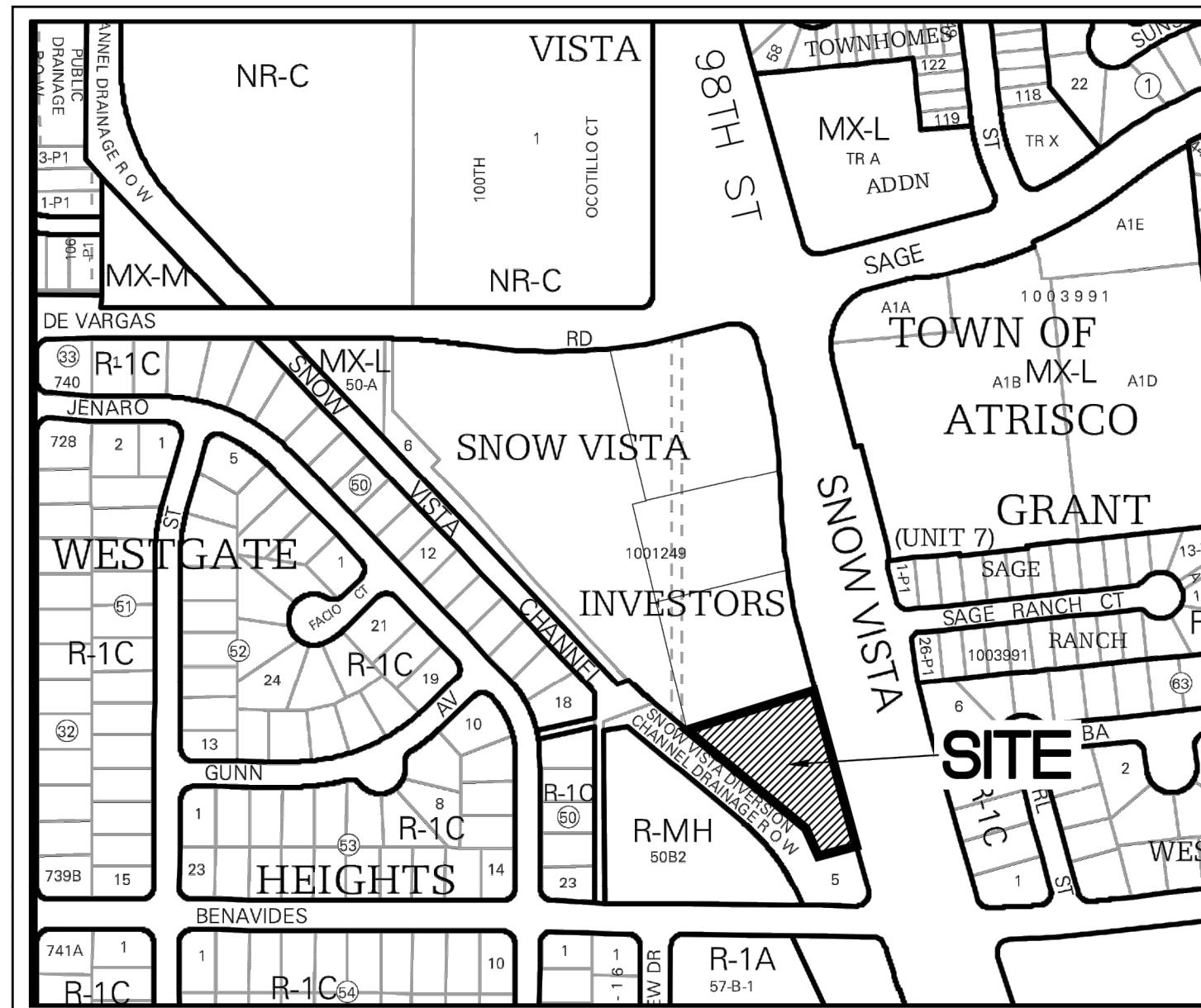


SITE DEVELOPMENT PLANS FOR:  
**BENAVIDES**  
1125 SNOW VISTA BLVD SW  
ALBUQUERQUE, NEW MEXICO 87121

REV.	DATE	DESCRIPTION
	10/08/2025	CONCEPTUAL SITE PLAN
JAF	10/24/2025	FIRE PLAN
JAF	12/12/2025	STORMWATER INITIAL SUBMITTAL
JAF	01/19/2026	STORMWATER RESUBMITTAL
JAF	01/20/2026	PERMIT RESUBMITTAL
JAF	02/10/2026	SITE PLAN SUBMITTAL
JAF	02/26/2026	HYDROLOGY RESUBMITTAL

COVER SHEET

C0.0



Vicinity Map - Zone Atlas M-9-Z

**Record and Measured Legal Description**

LOT 1E OF SNOW VISTA INVESTORS, TOWN OF ATRISCO GRANT, PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 14, 2022 IN PLAT BOOK 2022C, PAGE 139.

**Documents**

- TITLE COMMITMENT PROVIDED BY FIRST AMERICAN TITLE, HAVING FILE NO. 2955212-AL01 AND AN EFFECTIVE DATE OF SEPTEMBER 23, 2025.
- PLAT OF RECORD FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON DECEMBER 14, 2022, IN BOOK 2022C, PAGE 139, DOCUMENT NO. 2022106470.
- WARRANTY DEED FOR SUBJECT PROPERTY (TRACT A) (NOW KNOWN AS TRACTS 1A, 1B, 1C, 1D AND 1E), FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON JULY 18, 2018, AS DOC. NO. 2018062592.
- PLAT FOR THE SNOW VISTA DIVERSION CHANNEL DRAINAGE RIGHTS-OF-WAY, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON AUGUST 3, 1988 IN BOOK C37, PAGE 26, DOCUMENT NO. 1988070450.

**Indexing Information**

Section 33, Township 10 North, Range 2 East, N.M.P.M.  
 as Projected into the Town of Atrisco Grant  
 Subdivision: Snow Vista Investors  
 Owner: Goodman Lawrence Revocable Trust  
 UPC #: 100905516834620335

**Exceptions 9-18**

- RESERVATIONS CONTAINED IN THE PATENT FROM THE UNITED STATES OF AMERICA, RECORDED AUGUST 21, 1905 IN BOOK 35, PAGE 91, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.  
**AFFECTS SUBJECT PROPERTY-BLANKET IN NATURE**
- RESERVATION OF ALL MINERAL RIGHTS, INCLUDING OIL AND GAS, AS CONTAINED IN THE WARRANTY DEED RECORDED SEPTEMBER 28, 1959, IN BOOK D504, PAGE 417 AS DOCUMENT NO. 37421, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.  
**NOT SURVEY RELATED**
- CERTIFICATE RECORDED JULY 21, 1959, IN BOOK MISC. 28, PAGE 273 AS DOCUMENT NO. 26972 AND RESTRICTIVE COVENANTS TO RUN WITH THE LAND RECORDED MAY 27, 1960, IN BOOK D 544, PAGE 383 AS DOCUMENT NO. 71759, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. NOTE: THIS EXCEPTION OMITS ANY COVENANT, CONDITION OR RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN AS PROVIDED IN 42 U.S.C. SEC. 3604, UNLESS AND ONLY TO THE EXTENT THAT THE COVENANT (A) IS NOT IN VIOLATION OF STATE OR FEDERAL LAW, (B) IS EXEMPT UNDER 42 U.S.C. SEC. 3607, OR (C) RELATES TO A HANDICAP, BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PEOPLE.  
**AFFECTS SUBJECT PROPERTY-BLANKET IN NATURE**
- EASEMENT, AND RIGHTS INCIDENT THERETO, IN FAVOR OF PUBLIC SERVICE COMPANY OF NEW MEXICO AND THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY RECORDED JANUARY 29, 1974, IN BOOK MISC. 351, PAGE 72, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.  
**AFFECTS SUBJECT PROPERTY--PORTIONS LOCATED WITHIN ADDITIONAL RIGHT OF WAY DEDICATED PER PLAT (12/14/2022, 2022C-139)--REMAINING PORTION AFFECTING THE SUBJECT PROPERTY SHOWN HEREON AS [2]**
- EASEMENTS AND NOTES AS SHOWN, NOTED AND PROVIDED FOR ON THE PLATS RECORDED FEBRUARY 5, 1964 IN VOLUME D3, FOLIO 88, 89 AND 90; RECORDED JANUARY 7, 1988 IN VOLUME C35, FOLIO 118; RECORDED AUGUST 22, 1989 IN VOLUME C39, FOLIO 152; RECORDED APRIL 23, 1997 IN VOLUME 97C, FOLIO 119 AND RECORDED AUGUST 3, 2001 IN PLAT BOOK 2001 C, PAGE 225, RECORDED DECEMBER 14, 2022, IN PLAT BOOK 2022C, PAGE 139 RECORDS OF BERNALILLO COUNTY, NEW MEXICO.  
**AFFECTS SUBJECT PROPERTY--SHOWN HEREON AS [1][2][3][10] AND [11]**
- RESTRICTIONS REGARDING PUBLIC UTILITY EASEMENTS, AS SET FORTH ON THE PLAT RECORDED AUGUST 3, 2001, IN PLAT BOOK 2001C, PAGE 225, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.  
**AFFECTS SUBJECT PROPERTY-BLANKET IN NATURE**
- PRO RATA CHARGES FOR WATER, SEWER, AND/OR STANDBY CHARGES AND ANY POSSIBLE ASSESSMENTS FOR PAVING, SIDEWALK, SEWER AND WATER EXTENSIONS WHICH ARE OR MIGHT BE A LIEN BY LAW BUT HAVE NOT YET BEEN FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO.  
**NOT SURVEY RELATED**
- SUBJECT PROPERTY FROM THE LIEN OF THE SPECIAL ASSESSMENT DISTRICT NO. 222 LEVIED BY THE CITY OF ALBUQUERQUE, THE ASSESSMENT ROLL OF THE SPECIAL ASSESSMENT DISTRICT BEING RECORDED AUGUST 14, 2001 IN BOOK A23, PAGE 2330 AS DOCUMENT NO. 2001094030; SPECIFICALLY ITEM NO. 72 RECORDED AUGUST 14, 2001 IN BOOK A23, PAGE 2375 AS DOCUMENT NO. 2001094075; AMENDED BY ADJUSTMENT TO CLAIM OF LIEN RECORDED APRIL 15, 2002 IN BOOK A34, PAGE 7759 AS DOCUMENT NO. 2002047888, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.  
**NOT SURVEY RELATED**
- DECLARATION CONCERNING DEVELOPMENT INFRASTRUCTURE CONSTRUCTION, RECORDED DECEMBER 15, 2023 AS DOCUMENT NO. 2023079584, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.  
**AFFECTS SUBJECT PROPERTY-BLANKET IN NATURE-EASEMENTS SHOWN HEREON AS [4] AND [5]**
- COVENANTS, CONDITIONS, RESTRICTIONS, TERMS, PROVISIONS, ASSESSMENTS, LIENS, LEVIES AND EASEMENTS IN RECORDED DECEMBER 15, 2023, AS DOCUMENT NO. 2023079585, FIRST AMENDMENT TO DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS, RECORDED AUGUST 30, 2024, AS DOCUMENT NO. 2024061109, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C).  
**AFFECTS SUBJECT PROPERTY-BLANKET IN NATURE-EASEMENTS SHOWN HEREON AS [6] [7] [8] AND [9]**

**Flood Notes**

BASED UPON SCALING, THIS PROPERTY LIES WITHIN FLOOD ZONE "X" WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 35001C0336H, DATED AUGUST 16, 2012.

**Boundary Survey  
 ALTA/NSPS Land Title Survey  
 and  
 Topographic Map  
 for  
 Lot 1E  
 Snow Vista Investors  
 City of Albuquerque  
 Bernalillo County, New Mexico  
 November 2025**

**Surveyor's Certificate for ALTA Survey**

To: OGA Aquisitions LLC/or permitted assigns, Lawrence Goodman Revocable, dated December 6, 1977, First American Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1-5, 6(a), 7(a), 7(b1), 7(c) and 8, 9, 10, 11(a), 11(b), 13, 14, 16 and 18 of Table A thereof. The Field Work was completed on October 27, 2025.

*Brian J. Martinez* 11/14/25  
 Brian J. Martinez Date  
 N.M.R.P.S. No. 18374



Revisions: 11/14/2025 - Original

**Surveyor's Certificate for Boundary Survey**

I, Brian J. Martinez, New Mexico Professional Surveyor No. 18374, do hereby certify that this boundary survey plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that I am responsible for this survey; that this survey meets the minimum standards for surveying in New Mexico; and that it is true and correct to the best of my knowledge and belief. I further certify that this survey is not a land division or subdivision as defined in the New Mexico subdivision act and that this instrument is a boundary survey plat of an existing tract or tracts.

*Brian J. Martinez* 11/14/25  
 Brian J. Martinez Date  
 N.M.R.P.S. No. 18374



**Surveyor's Certificate for Topographic Map**

I, BRIAN J. MARTINEZ, A NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT THE TOPOGRAPHIC MAP SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

*Brian J. Martinez* 11/14/25  
 BRIAN J. MARTINEZ DATE  
 N.M.R.P.S. No. 18374



**CSI-CARTESIAN SURVEYS INC.**

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
 Phone (505) 896-3050 Fax (505) 891-0244  
 cartesianbrian@gmail.com

**Easement Notes**

- ⑬ ① EXISTING 20' WIDE PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF LOTS 1A, 1B, 1C, 1D AND 1E, MAINTAINED BY THE OWNERS OF SAID LOTS (12/14/2022, 2022C-139) ALSO SHOWN ON EXHIBIT "A" IN THE DRAINAGE MANAGEMENT PLAN REFERENCED IN DOCUMENTS (12/15/2023, DOC. NO. 2023079584) AND (12/15/2023, DOC. NO. 2023079585)
- ⑫ ⑬ ② REMAINING PORTION OF A 7' PNM AND MST&T EASEMENT (1/29/1974, BK. MISC. 351, PG. 72, DOC. NO. 91828) AS SHOWN ON PLAT (12/14/2022, 2022C-139)
- ⑬ ③ EXISTING 20' SANITARY SEWER EASEMENT (2/5/1964, D3-90) REVISED (4/23/1997, 97C-119) - NO ENCROACHMENT SHALL TAKE PLACE WITHIN THE PUBLIC SANITARY SEWER EASEMENT AND CONTINUED ACCESS SHALL BE PROVIDED FOR OPERATION AND MAINTENANCE BY THE WATER AUTHORITY AS SHOWN ON PLAT (12/14/2022, 2022C-139)
- ⑰ ④ EXISTING 24' PRIVATE ACCESS EASEMENT FOR PERMANENT DRIVEWAYS CONNECTING LOTS 1A, 1B, 1C, 1D AND 1E, MAINTAINED BY THE OWNER OF THE LOT WHICH A PORTION OF THE PRIVATE ACCESS EASEMENT IS LOCATED (12/15/2023, DOC. NO. 2023079584)
- ⑰ ⑤ EXISTING DRAINAGE EASEMENT FOR THE CONSTRUCTION AND MAINTENANCE OF A DRAINAGE FACILITY AS SHOWN ON THE DRAINAGE MANAGEMENT PLAN BENEFITING LOTS 1A, 1B, 1C, 1D AND 1E TO BE MAINTAINED BY THE OWNER OF EACH LOT LOCATION AMBIGUOUS (12/15/2023, DOC. NO. 2023079584)
- ⑱ ⑥ EXISTING PERPETUAL, NONEXCLUSIVE EASEMENT ON LOTS 1A, 1B, 1C, 1D AND 1E, FOR INGRESS AND EGRESS OF VEHICULAR AND PEDESTRIAN TRAFFIC OVER AND ACROSS ALL ACCESS POINTS, DRIVEWAYS AND VEHICULAR TRAFFIC LANES AND FOR THE PARKING OF MOTOR VEHICLES IN DESIGNATED PARKING AREAS. (12/15/2023, DOC. NO. 2023079585) AMENDED BY (8/30/2024, DOC. NO. 2024061109)
- ⑱ ⑦ EXISTING PERPETUAL, NONEXCLUSIVE EASEMENT FOR STORM DRAINAGE AND THE DISCHARGE OF WATER FROM, OVER AND ACROSS LOTS 1A, 1B, 1C, 1D AND 1E, INCLUDING THE DRAINAGE FACILITY AS SHOWN IN THE DRAINAGE MANAGEMENT PLAN (EXHIBIT "A" WITHIN SAID DOCUMENT) BLANKET IN NATURE (12/15/2023, DOC. NO. 2023079585) AMENDED BY (8/30/2024, DOC. NO. 2024061109)
- ⑱ ⑧ EXISTING PERPETUAL, NONEXCLUSIVE EASEMENT FOR THE EXTENSION OF UNDERGROUND UTILITIES UNDER THE SURFACE OF THE LOTS, EXCLUSIVE OF BUILDING AREAS. (12/15/2023, DOC. NO. 2023079585) AMENDED BY (8/30/2024, DOC. NO. 2024061109)
- ⑱ ⑨ EXISTING TEMPORARY, NONEXCLUSIVE EASEMENT FOR CONSTRUCTION OVER AND ACROSS EACH LOT FOR THE PURPOSE OF CONSTRUCTION AND INSTALLATION OF UTILITIES. (12/15/2023, DOC. NO. 2023079585) AMENDED BY (8/30/2024, DOC. NO. 2024061109)
- ⑬ ⑩ EXISTING FLOATING PRIVATE CROSS SURFACE DRAINAGE EASEMENT FOR THE BENEFIT OF LOTS 1A, 1B, 1C, 1D AND 1E, MAINTAINED BY THE OWNERS OF SAID LOTS (12/14/2022, 2022C-139) AMENDED BY (8/30/2024, DOC. NO. 2024061109)
- ⑬ ⑪ EXISTING FLOATING PRIVATE CROSS LOT ACCESS EASEMENT OVER LOTS 1A, 1B, 1C, 1D AND 1E, WITH THE EXCEPTION OF THOSE AREAS COVERED BY FUTURE BUILDING AND IMPROVEMENTS, TO BE MAINTAINED BY THE OWNER OF EACH LOT. (12/14/2022, 2022C-139)

**Notes**

1. FIELD SURVEY PERFORMED IN OCTOBER 2025.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (NAD 83-CENTRAL ZONE).
4. NO BUILDINGS EXIST ON THE SURVEYED PROPERTY.
5. PERTAINING TO TABLE A OPTION 11, WITH REGARD TO UNDERGROUND UTILITY LOCATIONS, SOURCE INFORMATION FROM PLANS AND MARKINGS WERE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.iv. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, WHICH MAY AFFECT THIS SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY. INVERT DATA SHOWN WITH A ± SHOULD BE CONSIDERED TAKEN FROM AS-BUILTS. (NM811 TICKET NO. 250C220383)
6. THE COORDINATES SHOWN HEREON REFERENCE MODIFIED NEW MEXICO STATE PLANE COORDINATES (NAD 83-GROUND-CENTRAL ZONE), USING A GROUND TO GRID FACTOR OF 0.9996806617, WITH AN ORIGIN OF (0,0).
7. PERTAINING TO TABLE A OPTION 2, THE ADDRESS INFORMATION AVAILABLE WITHIN PUBLIC RECORDS IS AS FOLLOWS: 1125 SNOW VISTA BLVD SW, ALBUQUERQUE, NM 87121. NO POSTED ADDRESS WAS OBSERVED IN THE FIELD DURING THE COURSE OF THIS SURVEY.
8. PERTAINING TO TABLE A OPTIONS 7(A), 7(B1) AND 7(C), NO BUILDING(S) EXIST ON THE SUBJECT PROPERTY, THEREFORE, NO INFORMATION IS SHOWN HEREON.
9. PERTAINING TO TABLE A OPTION 9, NO PARKING STRIPING OR PARKING AREAS WERE OBSERVED DURING THE COURSE OF THIS SURVEY.
10. PERTAINING TO TABLE A OPTION 10, A PARTY WALL IS DEFINED AS A WALL ERECTED ON A PROPERTY BOUNDARY AS A COMMON SUPPORT TO STRUCTURES ON BOTH SIDES, WHICH HAVE DIFFERENT OWNERSHIPS. THERE ARE NO PARTY WALLS ON THE SUBJECT PROPERTY OTHER THAN SHOWN HEREON.
11. PERTAINING TO TABLE A OPTION 16, NO EVIDENCE WAS OBSERVED INDICATING RECENT EARTHWORK, BUILDING CONSTRUCTION OR ADDITIONS IN THE FIELD.

**Boundary Survey  
ALTA/NSPS Land Title Survey  
and  
Topographic Map  
for  
Lot 1E  
Snow Vista Investors  
City of Albuquerque  
Bernalillo County, New Mexico  
November 2025**

**Benchmark -NAVD 88**

ACS MONUMENT "2.L7" HAVING AN ELEVATION OF 5415.511 FEET.

**Zoning Notes**

No zoning report was provided by client, however, according to the City of Albuquerque Official IDO Website, <https://cabq.maps.arcgis.com>, on November 12, 2025, the subject property is zoned "NR-C" (Non-Residential - Commercial) and is within a Major Transit Corridor Area. According to the City of Albuquerque Integrated Development Ordinance, the subject property is subject to the following conditions:

Front Setback: 5 Ft., minimum  
Side Setback: 0 Ft., minimum  
Rear Setback: 0 Ft., minimum  
Building Height: 38 Ft. maximum

**Required Parking:** (Depending on Intended use)  
Commercial Uses: 3 Spaces/1,000 Sq. Ft. G.F.A.

General Retail: Establishments ≤ 10,000 sq. ft. GFA:  
3.5 Spaces/1,000 Sq. Ft. G.F.A.

Establishments > 10,000 Sq. Ft. - ≤ 50,000 sq. ft. GFA:  
3 Spaces/1,000 Sq. Ft. G.F.A.

Establishments > 50,000 sq. ft. GFA:  
203 Spaces/1,000 Sq. Ft. G.F.A.

\*\* For parking requirements for other intended uses & establishments, please refer to the "Parking & Loading Requirements" (section 5.5) within the "Development Standards" (Part 14-16-5) of the "City of Albuquerque Integrated Development Ordinance" which can be found at <https://abq-zone.com>.

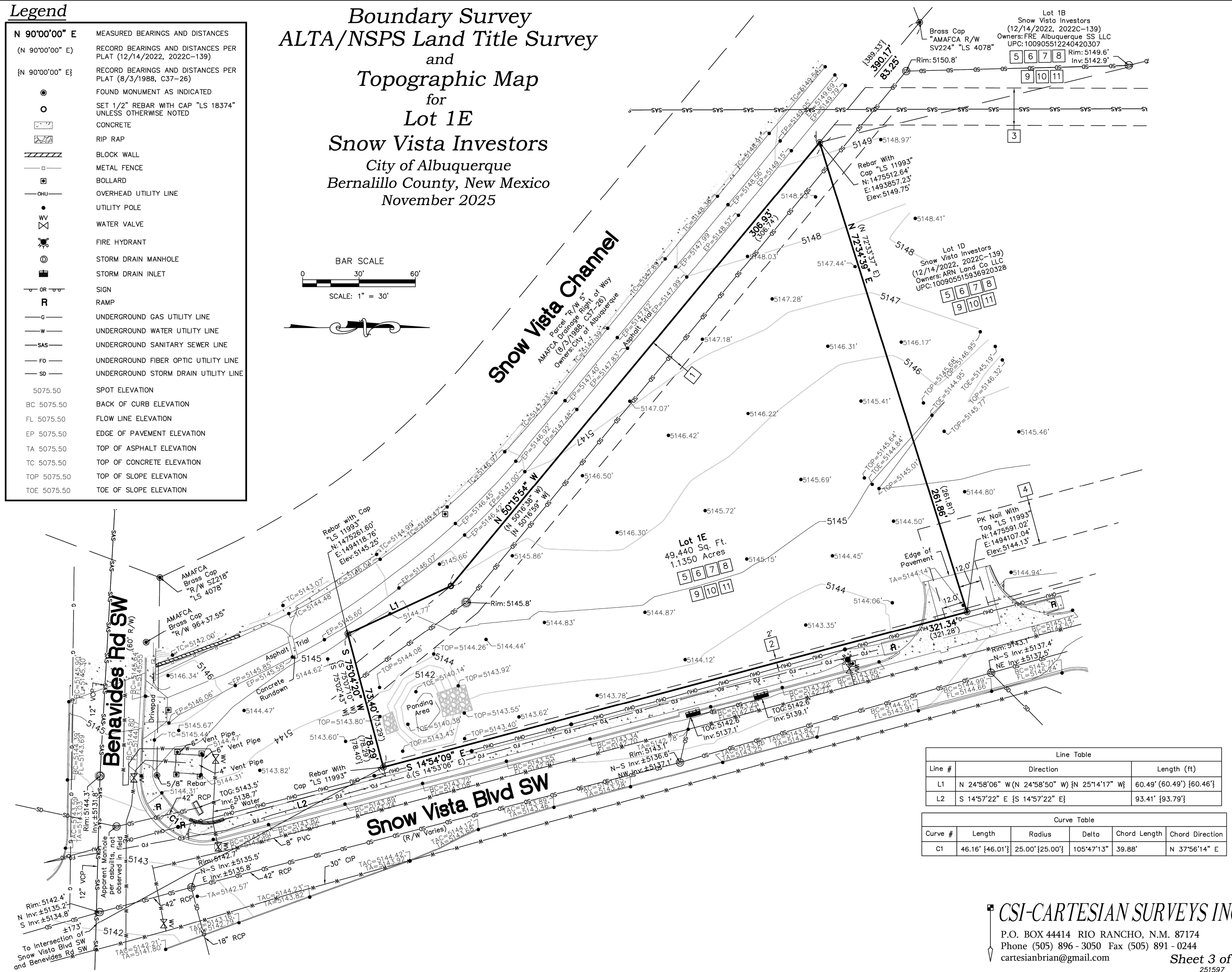
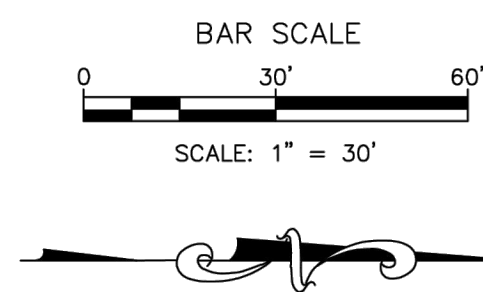
**CSI-CARTESIAN SURVEYS INC.**

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896 - 3050 Fax (505) 891 - 0244  
cartesianbrian@gmail.com

**Legend**

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT (12/14/2022, 2022C-139)
{N 90°00'00" E}	RECORD BEARINGS AND DISTANCES PER PLAT (8/3/1988, C37-26)
○	FOUND MONUMENT AS INDICATED
○	SET 1/2" REBAR WITH CAP "LS 18374" UNLESS OTHERWISE NOTED
□	CONCRETE
▨	RIP RAP
▩	BLOCK WALL
—□—	METAL FENCE
□	BOLLARD
—OHU—	OVERHEAD UTILITY LINE
•	UTILITY POLE
WV	WATER VALVE
⊕	FIRE HYDRANT
⊕	STORM DRAIN MANHOLE
⊕	STORM DRAIN INLET
—OR—	SIGN
R	RAMP
—G—	UNDERGROUND GAS UTILITY LINE
—W—	UNDERGROUND WATER UTILITY LINE
—SAS—	UNDERGROUND SANITARY SEWER LINE
—FO—	UNDERGROUND FIBER OPTIC UTILITY LINE
—SD—	UNDERGROUND STORM DRAIN UTILITY LINE
5075.50	SPOT ELEVATION
BC 5075.50	BACK OF CURB ELEVATION
FL 5075.50	FLOW LINE ELEVATION
EP 5075.50	EDGE OF PAVEMENT ELEVATION
TA 5075.50	TOP OF ASPHALT ELEVATION
TC 5075.50	TOP OF CONCRETE ELEVATION
TOP 5075.50	TOP OF SLOPE ELEVATION
TOE 5075.50	TOE OF SLOPE ELEVATION

**Boundary Survey  
ALTA/NSPS Land Title Survey  
and  
Topographic Map  
for  
Lot 1E  
Snow Vista Investors  
City of Albuquerque  
Bernalillo County, New Mexico  
November 2025**



Line Table

Line #	Direction	Length (ft)
L1	N 24°58'06" W (N 24°58'50" W)   N 25°14'17" W	60.49' (60.49')   60.46'
L2	S 14°57'22" E   S 14°57'22" E	93.41'   93.79'

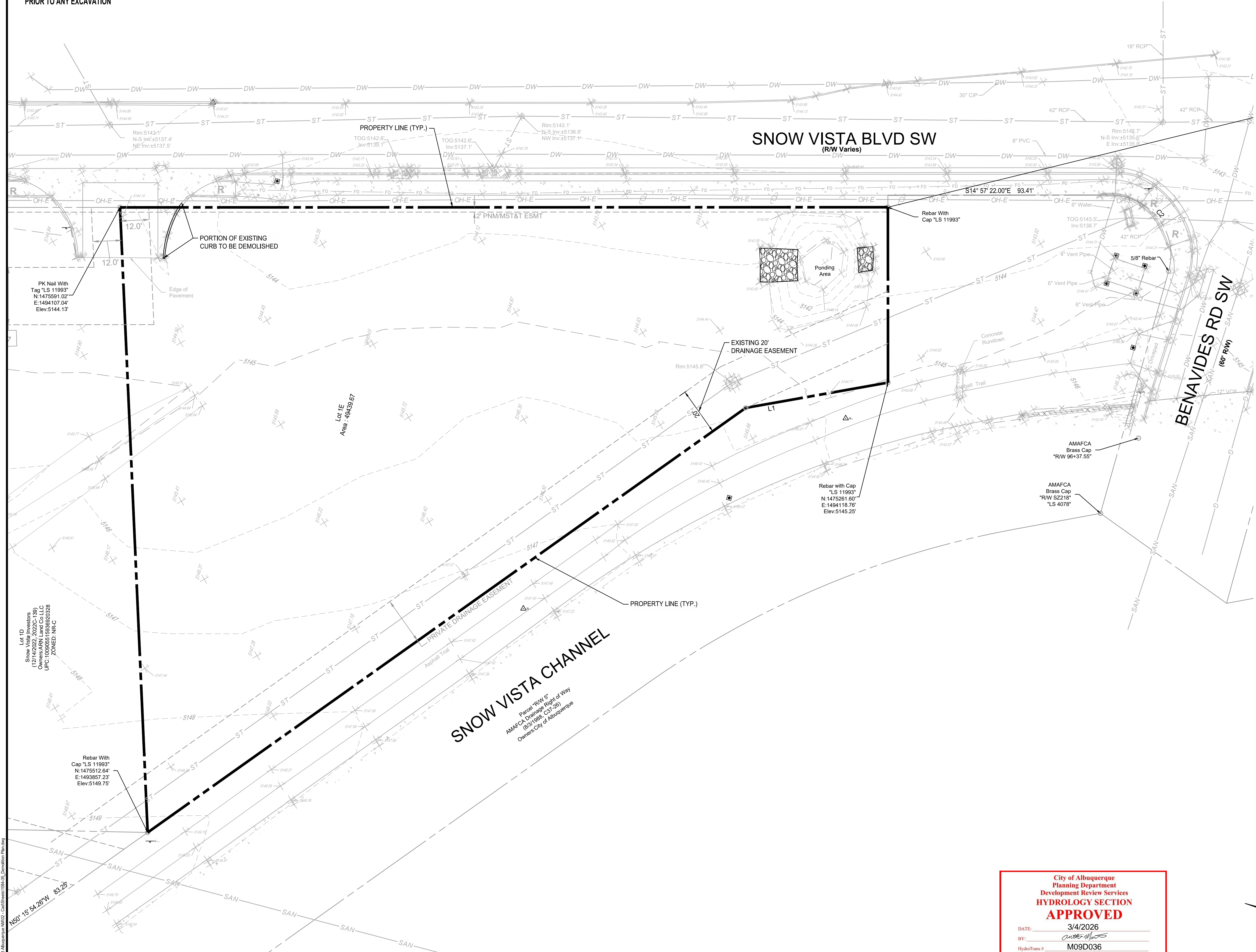
Curve Table

Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	46.16'   46.01'	25.00'   25.00'	105°47'13"	39.88'	N 37°56'14" E

**CSI-CARTESIAN SURVEYS INC.**  
P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896-3050 Fax (505) 891-0244  
cartesianbrian@gmail.com  
**Sheet 3 of 3**  
251597



CALL NM ONE-CALL  
SYSTEM SEVEN (7) DAYS  
PRIOR TO ANY EXCAVATION



**GENERAL NOTES:**

1. GENERAL CONTRACTOR (GC) IS TO CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
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3. GC SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND OR OVERHEAD ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF ELECTRICAL WIRES, THE ELECTRICAL COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN.
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6. CLEAR THE ENTIRE CONSTRUCTION AREA OF ALL WEEDS, BUSHES, TREES NOTED FOR REMOVAL OR WITHIN GRADING BOUNDARY, STUMPS, ASPHALT, CONCRETE, CURBS AND OTHER PROTRUDING OBSTRUCTIONS NOT DESIGNATED TO REMAIN.
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11. ALL CURB AND GUTTER TO BE DEMOLISHED SHALL BE REMOVED TO THE NEAREST JOINT. CONTRACTOR TO FIELD VERIFY LIMITS AS JOINTS ARE NOT SHOWN ON THE PLANS.
12. ALL EXISTING WATER METERS CALLED OUT TO BE REMOVED SHALL BE CUT & CAPPED AT MAIN.

**MAP REFERENCE:**

PARCEL ID FOR SUBJECT PROPERTY IS 100905516834620335 ON BERNALILLO COUNTY PROPERTY MAP.

**SITE DEMOLITION LEGEND:**

- PAVEMENT, PAVEMENT STRIPING, SIDEWALKS, CURBS, RAMPS, AND ISLANDS TO BE REMOVED
- BUILDING DEMOLITION
- UTILITY LINE TO BE REMOVED
- UTILITY STRUCTURE TO BE REMOVED
- TREE TO BE REMOVED
- SIGN OR BOLLARD TO BE REMOVED
- LIMITS OF DISTURBANCE

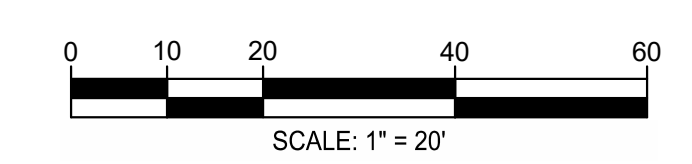
**LEGEND**

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- BENCHMARK
- CATCH BASIN
- FIRE HYDRANT
- SEWER MANHOLE
- EXISTING TREE
- WATER VALVE
- WATER METER
- IRON ROD (NEW)
- UTILITY POLE

City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**

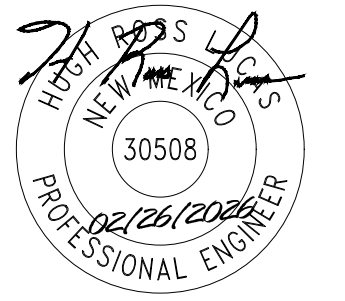
DATE: 3/4/2026  
BY: *[Signature]*  
HydroTeam # M09D036

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUIRING CORRECTIONS FOR ERRORS OR OMISSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.  
THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.



**FULMER LUCAS**

2002 RICHARD JONES RD - SUITE B200  
NASHVILLE, TENNESSEE 37215  
INFO@FULMERLUCAS.COM - (615) 346-3770



SITE DEVELOPMENT PLANS FOR:  
**BENAVIDES**  
1125 SNOW VISTA BLVD SW  
ALBUQUERQUE, NEW MEXICO 87121

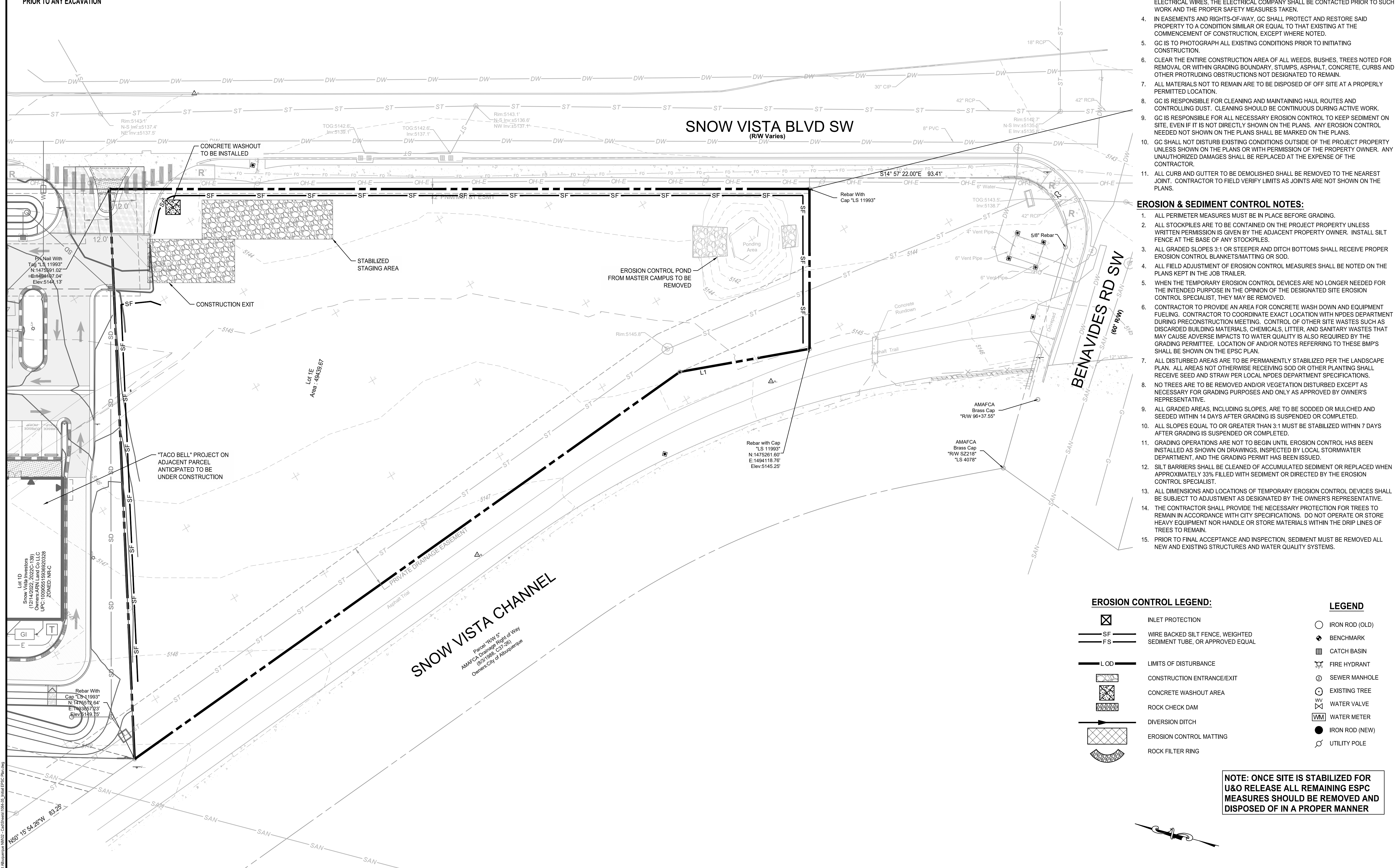
DATE	DESCRIPTION
10/08/2025	CONCEPTUAL SITE PLAN
JAF	FIRE PLAN
10/24/2025	STORMWATER INITIAL SUBMITTAL
JAF	STORMWATER INITIAL SUBMITTAL
12/12/2025	STORMWATER RESUBMITTAL
JAF	STORMWATER RESUBMITTAL
01/19/2026	PERMIT RESUBMITTAL
JAF	PERMIT RESUBMITTAL
02/10/2026	SITE PLAN SUBMITTAL
JAF	SITE PLAN SUBMITTAL
02/26/2026	HYDROLOGY RESUBMITTAL
JAF	HYDROLOGY RESUBMITTAL

**SITE  
DEMOLITION  
PLAN**

**C0.1**



CALL NM ONE-CALL  
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  6. CONTRACTOR TO PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING. CONTRACTOR TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRE-CONSTRUCTION MEETING. CONTROL OF OTHER SITE WASTES SUCH AS DISCARDED BUILDING MATERIALS, CHEMICALS, LITTER, AND SANITARY WASTES THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY IS ALSO REQUIRED BY THE GRADING PERMITTEE. LOCATION OF AND/OR NOTES REFERRING TO THESE BMP'S SHALL BE SHOWN ON THE EPSC PLAN.
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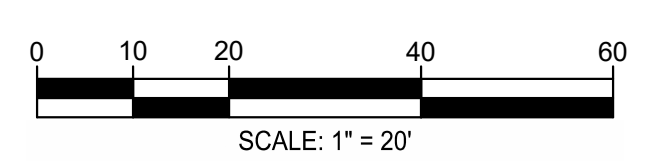
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- DIVERSION DITCH
- EROSION CONTROL MATTING
- ROCK FILTER RING

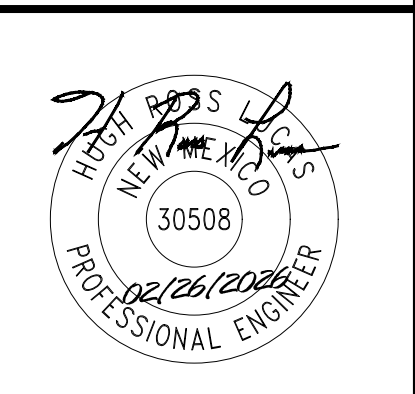
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ALBUQUERQUE, NEW MEXICO 87121

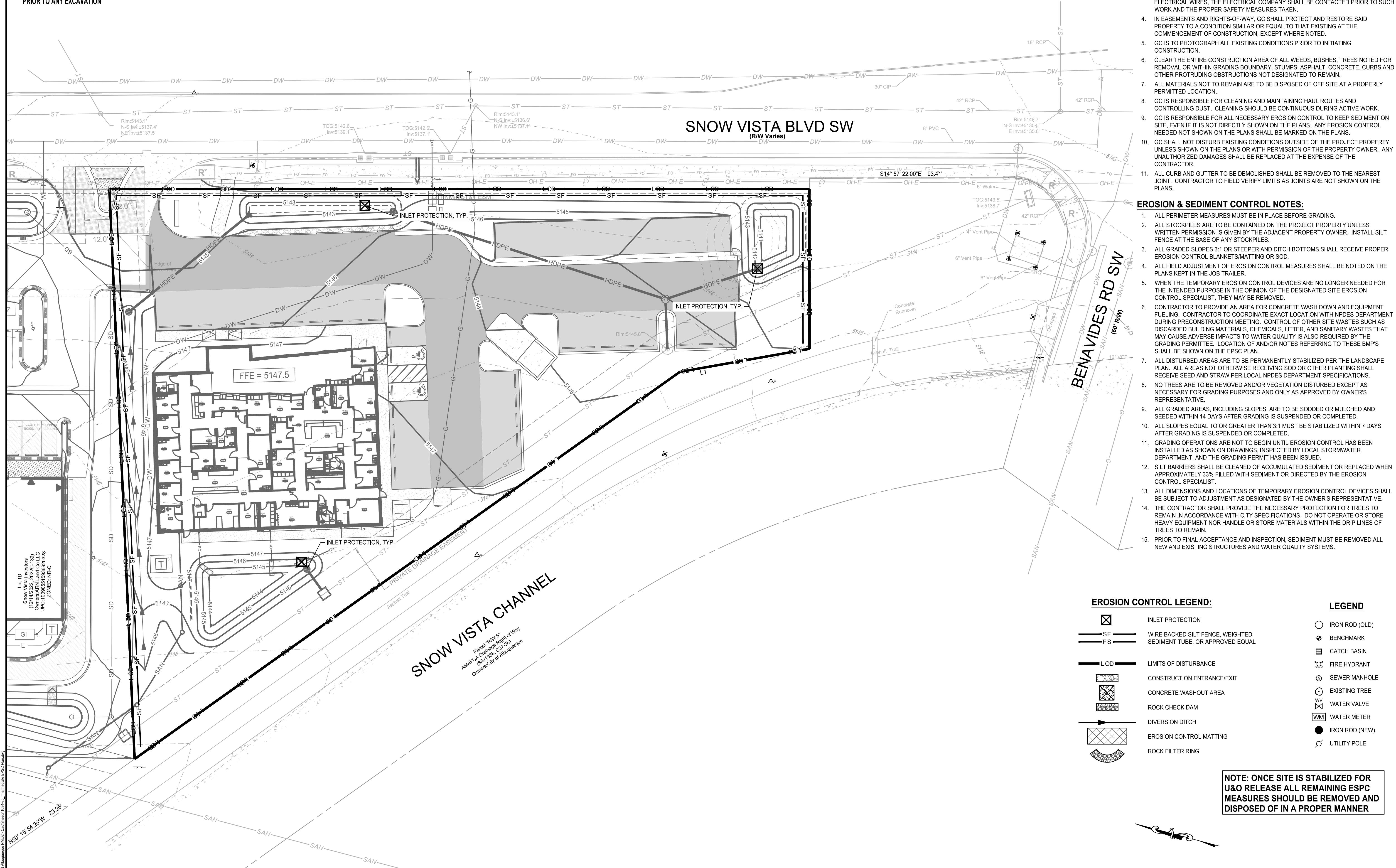
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02/26/2026	HYDROLOGY RESUBMITTAL

INITIAL EPSC  
PLAN

**C0.2**



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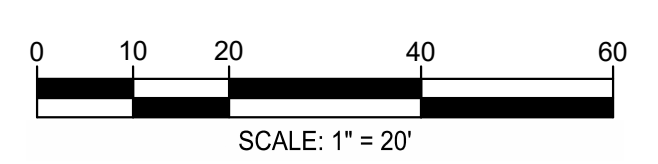
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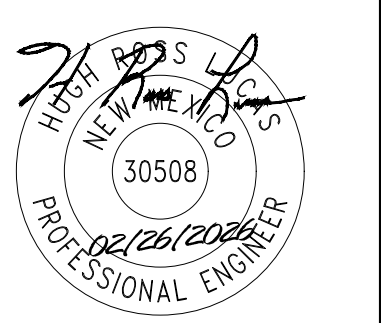
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SITE DEVELOPMENT PLANS FOR:  
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ALBUQUERQUE, NEW MEXICO 87121

DATE	DESCRIPTION
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JAF	PERMIT RESUBMITTAL
JAF	SITE PLAN SUBMITTAL
JAF	HYDROLOGY RESUBMITTAL

INTERMEDIATE  
EPSC PLAN

**C0.3**

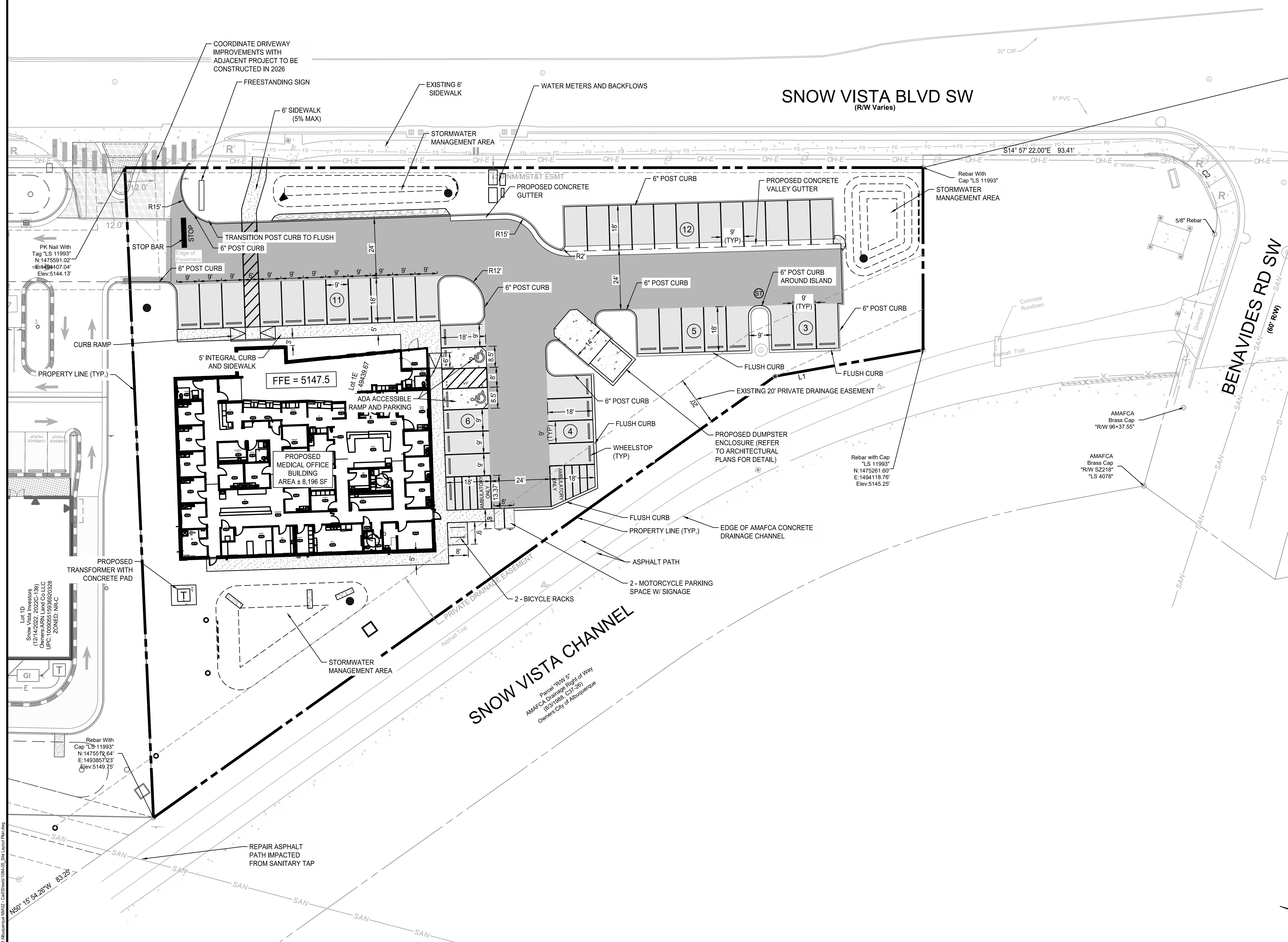
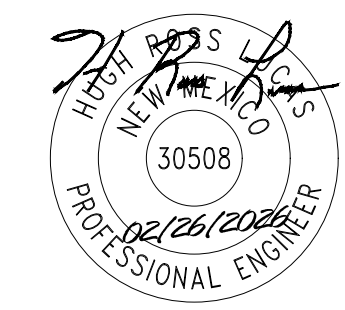


CALL NM ONE-CALL  
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PRIOR TO ANY EXCAVATION

SITE DATA TABLE	
<b>PROPERTY INFORMATION</b>	
ADDRESS:	1125 SNOW VISTA BLVD SW
PARCEL ID:	100905516834620335
LOT AREA:	1.13 AC.
CITY:	ALBUQUERQUE
COUNTY:	BERNALLILLO
STATE:	NEW MEXICO
FRONT SETBACK:	5'
SIDE SETBACK:	0'
REAR SETBACK:	0'
<b>ZONING CLASSIFICATION</b>	
JURISDICTION:	ALBUQUERQUE
EXISTING ZONING:	NR-C NON-RESIDENTIAL COMMERCIAL
PROPOSED ZONING:	NR-C NON-RESIDENTIAL COMMERCIAL
PROPOSED USE:	MEDICAL CLINIC
<b>BUILDING AREA</b>	
TOTAL BUILDING SQUARE FOOTAGE:	± 8,196 SF
BUILDING COVERAGE (MAX.):	N/A
BUILDING COVERAGE PROVIDED:	0.166
ISR (MAX.):	N/A
ISR PROVIDED:	0.57
BUILDING HEIGHT (MAX.):	38'
BUILDING HEIGHT PROVIDED:	18'-6"
<b>PARKING SUMMARY</b>	
VEHICULAR PARKING REQUIRED (1 PER 200 SF):	41
STANDARD PARKING SPACES PROVIDED:	39
ADA PARKING SPACES REQUIRED:	2
TOTAL SPACES PROVIDED:	41
MOTORCYCLE PARKING REQUIRED:	2
MOTORCYCLE PARKING PROVIDED:	2
BICYCLE PARKING REQUIRED:	4
BICYCLE PARKING PROVIDED:	4

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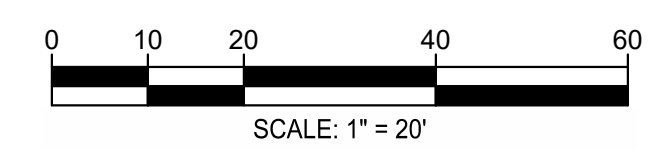
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  - THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
  - PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAYBE NECESSARY. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF FINAL PAVEMENT.
  - CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH. ALL CONCRETE SHALL BE CLASS "A" (4,000 PSI) UNLESS OTHERWISE NOTED.
  - ALL DAMAGE TO EXISTING ASPHALT PAVEMENT TO REMAIN WHICH RESULTS FROM NEW CONSTRUCTION SHALL BE REPLACED WITH LIKE MATERIALS AT THE CONTRACTOR'S EXPENSE.
  - DIMENSIONS ARE TO THE FACE OF CURBS, EDGE OF CONCRETE, OR TO THE FACE OF BUILDING, UNLESS OTHERWISE NOTED.
  - ALL CURB TURNOUT, EDGE OF PAVEMENT, AND STRIPING RADII ARE FOUR FEET (4') UNLESS OTHERWISE NOTED.
  - CONTRACTOR TO VERIFY ALL REQUIRED CLEARANCES FROM OVERHEAD POWER LINES PRIOR TO THE START OF CONSTRUCTION.
  - CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE NOTED WIRES, THE ELECTRICAL COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES MUST BE TAKEN.
  - IN EASEMENTS AND RIGHTS-OF-WAYS, CONTRACTOR SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION, EXCEPT AS NOTED.
  - THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AGC OF AMERICA, INC. AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.
  - TRAFFIC CONTROL, IF REQUIRED, SHALL BE PROVIDED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
  - IN THE EVENT OF ANY DISCREPANCY AND/OR ERROR FOUND IN THE DRAWINGS, OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE ENGINEER IN WRITING BEFORE PROCEEDING WITH THE WORK. IF THE ENGINEER IS NOT NOTIFIED, THE CONTRACTOR SHALL TAKE RESPONSIBILITY FOR THE COST OF ANY REVISION.
  - BUILDING CONTROL POINTS, GRADE AND OFFSET STAKES ARE TO BE SET BY THE CONTRACTOR.
  - ALL CURB RAMPS IN THE PUBLIC ROW ARE TO RECEIVE DETECTABLE WARNINGS PER LOCAL MUNICIPALITY.
  - ALL BUILDINGS WITHIN 10' OF THE BIORETENTION AREA ARE TO BE WATERPROOFED. SEE ARCHITECTURAL PLANS.
  - ALL SITE RETAINING WALLS SHALL BE DESIGNED BY OTHERS.
  - INSTALL CONCRETE JOINTS WHERE SHOWN ON DETAILS. ALIGN ON WALLS, BUILDINGS, RADII, ETC. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND ALL VERTICAL ELEMENTS SUCH AS WALLS, CURBS, ETC.
  - ALL LANDSCAPE ISLANDS SHALL BE MOUNDED WITH TOPSOIL 4" ABOVE THE CURB LINE TO PROMOTE POSITIVE DRAINAGE.
  - SAW CUT LINES SHALL BE DONE IN A STRAIGHT NEAT LINE A MINIMUM OF 18" FROM THE EXISTING EDGE OF PAVEMENT.
  - ALL PAVEMENT MARKINGS SHALL BE 4" WIDE UNLESS OTHERWISE NOTED. ALL PAVEMENT MARKINGS WITHIN THE RIGHT-OF-WAY SHALL BE THERMOPLASTIC AND COMPLY WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) LATEST EDITION. RIGHT-OF-WAY SIGNAGE TO ALSO COMPLY WITH M.U.T.C.D. ON SITE PAVEMENT MARKINGS SHALL BE WHITE PAINT UNLESS NOTED OTHERWISE.

SITE DEVELOPMENT PLANS FOR:  
**BENAVIDES**  
1125 SNOW VISTA BLVD SW  
ALBUQUERQUE, NEW MEXICO 87121

DATE	DESCRIPTION
10/08/2025	CONCEPTUAL SITE PLAN
10/24/2025	FIRE PLAN
12/12/2025	STORMWATER INITIAL SUBMITTAL
01/19/2026	STORMWATER RESUBMITTAL
01/20/2026	PERMIT RESUBMITTAL
02/10/2026	SITE PLAN SUBMITTAL
02/26/2026	HYDROLOGY RESUBMITTAL

**PAVING LEGEND**

	HEAVY DUTY ASPHALT (DRIVE AISLES)
	LIGHT DUTY ASPHALT (PARKING STALLS)
	SIDEWALK SECTION
	HEAVY DUTY CONCRETE



SITE LAYOUT PLAN

C1.0



CALL NM ONE-CALL  
SYSTEM SEVEN (7) DAYS  
PRIOR TO ANY EXCAVATION

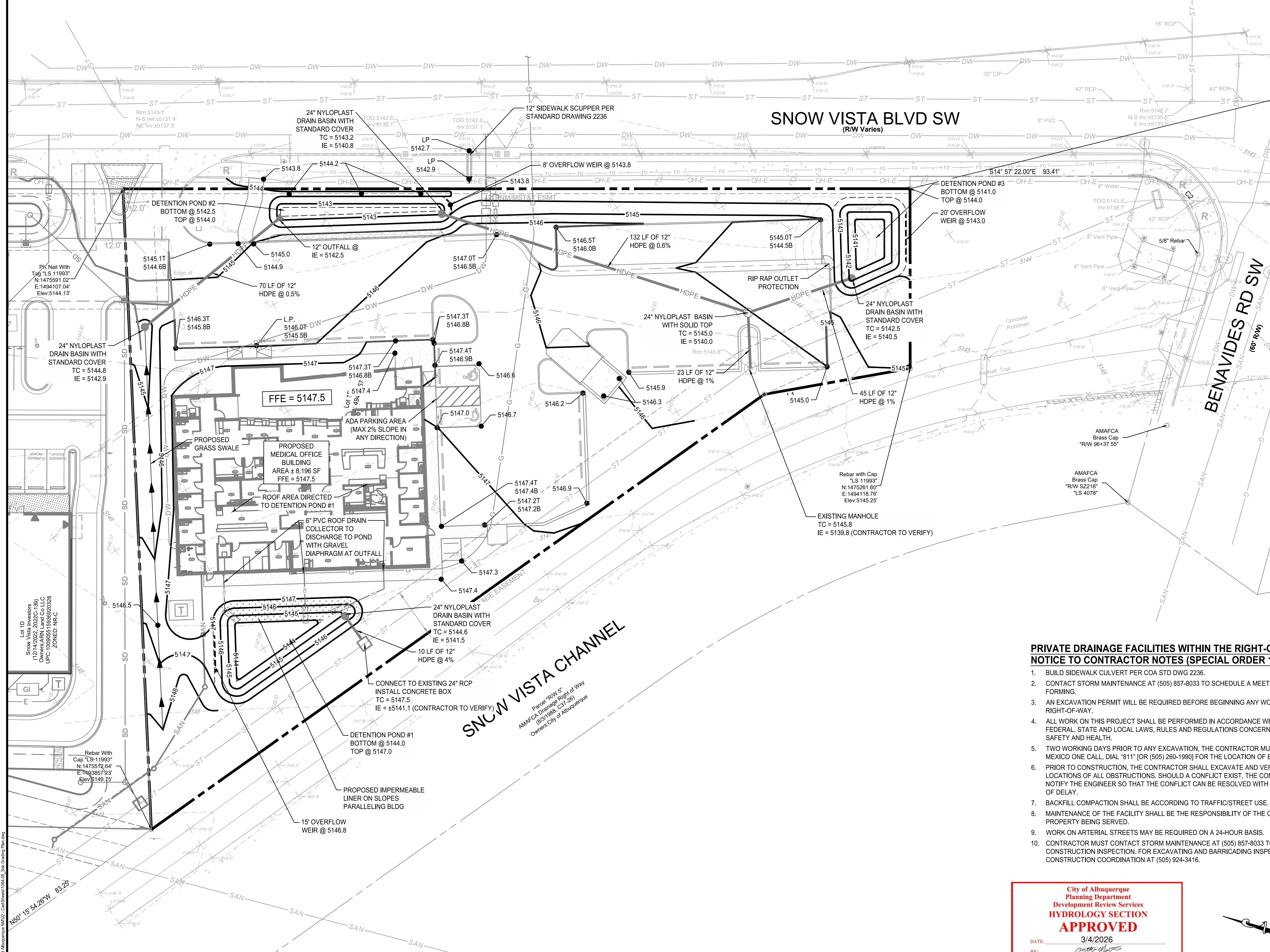
**FEMA FIRM INFORMATION:**  
ZONE: X  
FEMA MAP: 35001C0336H, ZONE X  
EFFECTIVE DATE: 8/16/2012

**LEGAL DESCRIPTION:**  
LOT 1E OF SNOW VISTA INVESTORS, CITY OF ALBUQUERQUE,  
BERNALILLO COUNTY, NEW MEXICO

**BENCHMARK INFORMATION:**  
SEE SURVEY SHEET 2 OF 3.  
ACS MONUMENT "2\_L7" HAVING AN ELEVATION OF 5415.511 FEET.

**GRADING PLAN NOTES:**

- ALL PIPES UNDER EXISTING PAVED AREAS SHALL BE BACKFILLED TO TOP OF SUBGRADE WITH CRUSHED STONE UNLESS PUBLIC WORKS SPECIFICATIONS REQUIRE FLOWABLE FILL.
- CONTRACTOR TO VERIFY ALL EXISTING UTILITY ELEVATIONS AND GRADES PRIOR TO BEGINNING WORK. NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FROM THE PLANS.
- CONTOUR LINES AND SPOT ELEVATIONS ARE THE RESULT OF DETAILED ENGINEERING GRADING DESIGN AND REFLECT A PLANNED INTENT WITH REGARD TO DRAINAGE AND MOVEMENT OF MATERIALS. SHOULD THE CONTRACTOR HAVE ANY QUESTIONS OF THE INTENT OR ANY PROBLEMS WITH CONTINUITY OF GRADES, THE ENGINEER SHOULD BE CONTACTED IMMEDIATELY PRIOR TO BEGINNING WORK.
- NO TREES ARE TO BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR GRADING PURPOSES AND ONLY AS APPROVED BY OWNER'S REPRESENTATIVE.
- TOPSOIL IS TO BE STRIPPED FROM ALL CUT AND FILL AREAS. IF POSSIBLE, STOCKPILE AND REDISTRIBUTE A MINIMUM OF 6" OF TOPSOIL OVER FINISHED LANDSCAPED AREAS UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN.
- FILL MATERIAL REQUIRED SHALL BE PLACED UNDER THE SUPERVISION OF A GEOTECHNICAL TESTING FIRM AND BE BORROWED AT THE CONTRACTOR'S EXPENSE.
- ALL GRADED AREAS, INCLUDING SLOPES, ARE TO BE SOODED OR MULCHED AND SEEDED WITHIN 14 DAYS AFTER GRADING IS SUSPENDED OR COMPLETED.
- ALL SLOPES EQUAL TO OR GREATER THAN 3:1 MUST BE STABILIZED WITHIN 7 DAYS AFTER GRADING IS SUSPENDED OR COMPLETED.
- GRADING OPERATIONS ARE NOT TO BEGIN UNTIL EROSION CONTROL HAS BEEN INSTALLED AS SHOWN ON DRAWINGS, INSPECTED BY THE STORMWATER DEPARTMENT, AND THE GRADING PERMIT HAS BEEN ISSUED.
- SILT BARRIERS SHALL BE CLEANED OF ACCUMULATED SEDIMENT OR REPLACED WHEN APPROXIMATELY 33% FILLED WITH SEDIMENT OR DIRECTED BY THE EROSION CONTROL SPECIALIST.
- ALL DIMENSIONS AND LOCATIONS OF TEMPORARY EROSION CONTROL DEVICES SHALL BE SUBJECT TO ADJUSTMENT AS DESIGNATED BY THE OWNER'S REPRESENTATIVE.
- WHEN THE TEMPORARY EROSION CONTROL DEVICES ARE NO LONGER NEEDED FOR THE INTENDED PURPOSE IN THE OPINION OF THE DESIGNATED SITE EROSION CONTROL SPECIALIST, THEY MAY BE REMOVED.
- THE CONTRACTOR SHALL PROVIDE THE NECESSARY PROTECTION FOR TREES TO REMAIN IN ACCORDANCE WITH CITY SPECIFICATIONS. DO NOT OPERATE OR STORE HEAVY EQUIPMENT NOR HANDLE OR STORE MATERIALS WITHIN THE DRIP LINES OF TREES TO REMAIN.
- IF NEEDED, CONTRACTOR SHALL PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH LOCAL NPDES DEPARTMENT STANDARDS. CONTRACTOR TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRE-CONSTRUCTION MEETING.
- PRIOR TO FINAL ACCEPTANCE AND INSPECTION, SEDIMENT MUST BE REMOVED ALL NEW AND EXISTING STRUCTURES AND WATER QUALITY SYSTEMS.
- CONTRACTOR TO CONTACT ENGINEER PRIOR TO INSTALLATION OF ALL STORMWATER AND UNDERGROUND UTILITY INFRASTRUCTURE ASSOCIATED WITH THE PROJECT IN ORDER TO DETERMINE REQUIRED AS-BUILT INFORMATION.
- CONTRACTOR IS TO ALLOW 30 DAYS FOR THE ENGINEER TO SUBMIT SUCH DETERMINATION TO THE STORMWATER DEPARTMENT FOR THEIR APPROVAL PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- GC IS TO PHOTOGRAPH INSTALLATION OF ALL WATER QUALITY INFRASTRUCTURE.



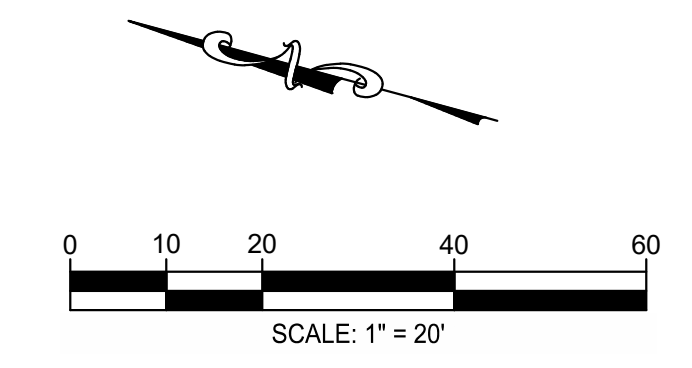
**LEGEND**

- DW DOMESTIC WATER SERVICE
- G GAS SERVICE
- SAN SANITARY SEWER SERVICE
- OH-E OVERHEAD ELECTRIC SERVICE
- OH-T OVERHEAD TELEPHONE SERVICE
- UD PERVIOUS PAVEMENT UNDERDRAIN
- RD ROOF DRAIN TRUNK LINE
- STORM PIPE (SEE PLANS FOR MATERIAL)
- 502 EXISTING CONTOUR
- 562 PROPOSED CONTOUR
- DRIVEWAY CENTERLINE
- PROPERTY LINE
- SM SANITARY SEWER MANHOLE
- SS STORM SEWER MANHOLE
- CI CURB INLET
- CB CATCH BASIN
- NDB NYLOPLAST DRAIN BASIN
- EC ELECTRIC/COMMUNICATION POLE
- XXX.XX TOP OF CURB SPOT ELEVATION
- XXX.XX BOTTOM OF CURB SPOT ELEVATION
- TW.XXX.XX RETAINING WALL
- BW.XXX.XX TOP OF WALL
- XXX.XX FINISHED GRADE AT BOTTOM OF WALL
- XXX.XX (MEFG) MEET EXISTING GRADE
- XXX.XX SPOT ELEVATION
- XXX.XX EXISTING SPOT ELEVATION
- XXX.XX (F) FLUSH SPOT ELEVATION

**PRIVATE DRAINAGE FACILITIES WITHIN THE RIGHT-OF-WAY  
NOTICE TO CONTRACTOR NOTES (SPECIAL ORDER 19- "SO-19"):**

- BUILD SIDEWALK CULVERT PER COA STD DWG 2236.
- CONTACT STORM MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" (OR (505) 260-1990) FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
- CONTRACTOR MUST CONTACT STORM MAINTENANCE AT (505) 857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION. FOR EXCAVATING AND BARRICADING INSPECTIONS, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.

City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
DATE: 3/4/2026  
BY: *[Signature]*  
HydroTrans #: M09D036  
THE APPROVAL OF THESE PLANS REPORTS SHALL NOT BE CONSIDERED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUESTING CORRECTIVE ACTIONS FOR ERRORS OR OMISSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.  
THE APPROVAL OF THESE PLANS REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.



**FULMER LUCAS**  
2002 RICHARD JONES RD - SUITE B200  
NASHVILLE, TENNESSEE 37215  
INFO@FULMERLUCAS.COM - (615) 346-3770



SITE DEVELOPMENT PLANS FOR:  
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1125 SNOW VISTA BLVD SW  
ALBUQUERQUE, NEW MEXICO 87121

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**SITE GRADING PLAN**

**C2.0**

Thursday, February 26, 2026  
 2:50 PM  
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1084-35 BENAVIDES



CALL NM ONE-CALL  
SYSTEM SEVEN (7) DAYS  
PRIOR TO ANY EXCAVATION

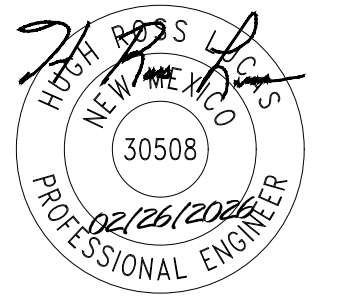
City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**

DATE: 3/4/2026  
BY: *[Signature]*  
HydroTeam #: M09D036

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO PERMIT VIOLATION OF ANY CITY ORDINANCE OR STATE LAW AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUIRING CORRECTIONS FOR ERRORS OR OMISSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION. THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.

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**DRAINAGE  
CALCULATIONS**

**C2.1**

1084-35 BENAVIDES

CONDITION	AREA (SF)	IMP (SF)	GRAV (SF)	FOR (SF)	AREA (AC)	IMP (AC)	GRAV (AC)	PER (AC)	FOR (AC)	RV	CN	% IMP
PRE-DEVELOPED	49441	450	279	0	1.135	0.010	0.006	1.118	0.000	0.24	49.6	1%
POST-DEVELOPED	49441	27553	0	0	1.135	0.633	0.000	0.502	0.000	0.63	76.3	56%
CHANGE	0	27103	-279	0	0.000	0.622	-0.006	-0.616	0.000	-	-	55%

HSG TYPE **A**

EXCESS PRECIPITATION			
ZONE 1	10-YR (IN)	100-YR (IN)	CN
Ea	0.11	0.55	77
Eb	0.26	0.73	79
Ec	0.43	0.95	86
Ed	1.43	2.24	98

PEAK DISCHARGE (CFS/AC)			
ZONE 1	10-YR	100-YR	CN
Qa	0.3	1.54	77
Qb	0.81	2.16	79
Qc	1.46	2.87	86
Qd	2.57	4.12	98

**PROJECT DRAINAGE NARRATIVE:**

PROPOSED WORK FOR THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A FREESTANDING MEDICAL OFFICE BUILDING ALONG WITH ASSOCIATED PARKING ON LOT 1E OF SNOW VISTA INVESTORS.

IN THE PRE-DEVELOPED CONDITION, THE PARCEL IS VACANT, WITH AN EXISTING DRAINAGE SYSTEM IN AN EXISTING EASEMENT ALONG THE SOUTHWESTERN PROPERTY LINE. THE HYDROLOGIC SOIL GROUP IS TYPE A, AND THE EXISTING CURVE NUMBER IS 49.6. IN THE POST-DEVELOPED CONDITION, THE INCREASE IN IMPERVIOUS AREA WILL RESULT IN AN INCREASE OF CURVE NUMBER TO 76.3.

THREE DETENTION PONDS HAVE BEEN PROPOSED TO PROVIDE QUALITY TREATMENT, AS WELL AS ATTENUATE THE PEAK FLOW. SEE SHEET C2.0 FOR MORE INFORMATION.

**AMAFCA APPROVED DRAINAGE CALCULATION COMPARISON:**

THE DRAINAGE CALCULATIONS PREVIOUSLY APPROVED BY AMAFCA (PREPARED BY TIERRA WEST, LLC IN DECEMBER 2020) FOR THE OVERALL SUBDIVISION INDICATED A 100 YEAR PEAK FLOW RATES FOR THE OVERALL 10.77 ACRE PROPERTY DIVIDED INTO INDIVIDUAL LOTS. THE SIZE OF THESE LOTS HAS SINCE BEEN MODIFIED, SO THE OVERALL ALLOWABLE DISCHARGE HAS BEEN PRORATED TO INDICATE THE ALLOWABLE 100 YEAR DISCHARGE FOR LOT 1E.

OVERALL 100 YEAR PEAK FLOW FOR 10.77 ACRES: 42.36 CFS  
DISCHARGE PER ACRE: 3.93 CFS/ACRE  
PROPOSED LOT 1E ACREAGE: 1.13 ACRES  
ALLOWABLE DISCHARGE FOR LOT 1E: 4.44 CFS  
PROPOSED 100 YEAR PEAK FLOW: 3.69 CFS

BASIN	AREA (SF)	AREA (AC)	TREATMENT A		TREATMENT B		TREATMENT C		TREATMENT D	
			%	AC	%	AC	%	AC	%	AC
PRE-DEVELOPED	49441	1.135	0%	0.000	98.5%	1.118	0.6%	0.006	0.9%	0.010
POST-DEVELOPED	49441	1.135	0%	0.000	44.3%	0.502	0.0%	0.000	55.7%	0.633
DET #1	14825	0.340	0%	0.000	41.9%	0.143	0.0%	0.000	58.1%	0.198
DET #2	10130	0.233	0%	0.000	51.7%	0.120	0.0%	0.000	48.3%	0.112
DET #3	20057	0.460	0%	0.000	35.8%	0.165	0.0%	0.000	64.2%	0.296
BYPASS	4429	0.102	0%	0.000	73.6%	0.075	0.0%	0.000	26.4%	0.027

BASIN	AREA (SF)	AREA (AC)	10-YR			100-YR			CN
			E (IN)	VOL (AC-FT)	Qp (CFS)	E (IN)	VOL (AC-FT)	Qp (CFS)	
PRE-DEVELOPED	49441	1.135	0.272	0.026	0.94	0.745	0.070	2.48	49.6
POST-DEVELOPED	49441	1.135	0.912	0.086	2.03	1.572	0.149	3.69	76.3
DET #1	14825	0.340	0.940	0.027	0.62	1.608	0.046	1.12	77.5
DET #2	10130	0.233	0.825	0.016	0.39	1.459	0.028	0.72	72.6
DET #3	20057	0.460	1.011	0.039	0.89	1.700	0.065	1.57	80.5
BYPASS	4429	0.102	0.005	0.000	0.13	1.129	0.010	0.27	61.9

BASIN	WQCV (IN)	IMP (AC)	REQUIRED		PROVIDED		% PROVD	ALLOWABLE RELEASE (CFS)
			V <sub>SWQV</sub> (AC-FT)	V <sub>SWQV</sub> (CF)	V <sub>SWQV</sub> (AC-FT)	V <sub>SWQV</sub> (CF)		
DET #1	0.42	0.198	0.007	301.60	0.008	357	118.4%	0.002
DET #2	0.42	0.112	0.004	171.08	0.004	177	103.5%	0.001
DET #3	0.42	0.296	0.010	450.77	0.013	571	126.7%	0.003
BYPASS	0.42	0.027	0.001	40.91	0.000	0	0.0%	-
SITE	0.42	0.633	0.022	964.36	0.025	1105	114.6%	0.006

LAND TREATMENT	D	
2-YR PEAK	1.56	CFS/AC
10-YR PEAK	2.57	CFS/AC
100-YR PEAK	4.12	CFS/AC

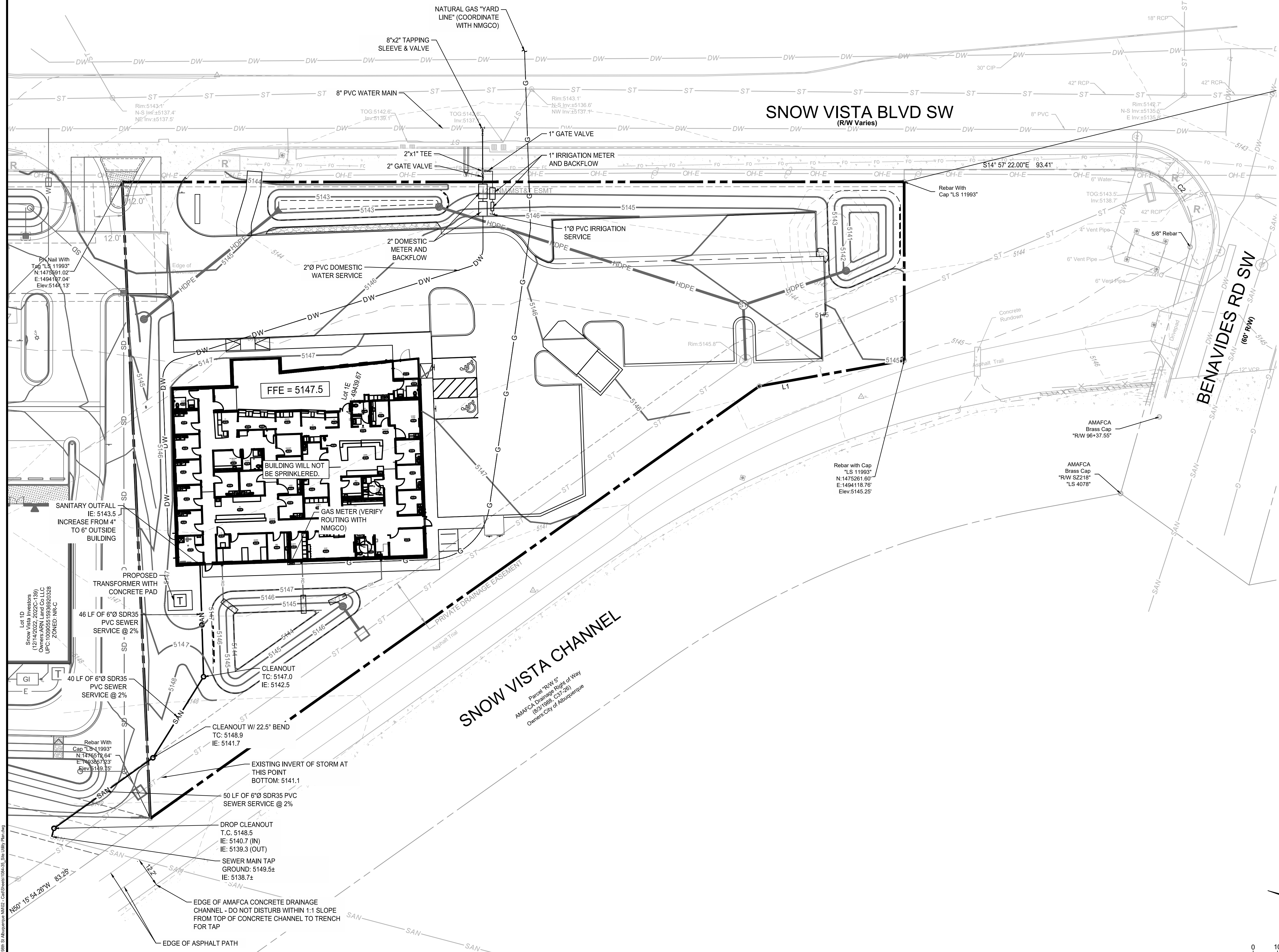
SITE AREA (AC)	1.135
ALLOWABLE 2-YR PEAK RELEASE RATE (CFS)	1.77
ALLOWABLE 10-YR PEAK RELEASE RATE (CFS)	2.92
ALLOWABLE 100-YR PEAK RELEASE RATE (CFS)	4.68

SITE REQUIRED SWQV	964.36	CF
TIME TO RELEASE	48	HRS
SWQV RELEASE RATE	0.006	CFS

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CALL NM ONE-CALL  
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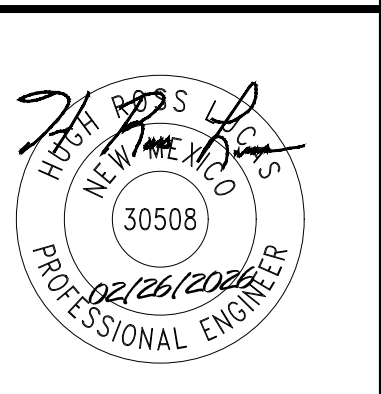
**UTILITY NOTES:**

- ALL PIPES UNDER EXISTING PAVED AREAS SHALL BE BACKFILLED TO TOP OF SUBGRADE WITH CRUSHED STONE UNLESS LOCAL SPECIFICATIONS REQUIRE FLOWABLE FILL.
- WHERE SEWER LINES PASS OVER OR WITHIN 2.5' OF WATER MAINS, THE SEWER SHALL BE ENCASED IN CONCRETE.
- ALL PAVED AREAS SHALL BE CONSTRUCTED TO SUBGRADE AND ALL PROPOSED FILLS SHALL BE MADE AND COMPACTED PRIOR TO CONSTRUCTION OF SANITARY SEWERS.
- PROPOSED SEWER LINES INSTALLED WITHIN NATURAL EARTH MAY BE SDR 35 PVC. PROPOSED SEWER LINES INSTALLED WITHIN FILL MUST BE DUCTILE IRON PIPE.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL BENDS, JOINTS, AND FITTINGS REQUIRED TO CONSTRUCT UTILITIES.
- THE CONTRACTOR SHALL VERIFY THE EXISTING INVERT ELEVATIONS OF SANITARY SEWERS PRIOR TO CONSTRUCTION.
- ALL WATER METERS WILL BE PURCHASED FROM THE WATER DEPARTMENT.
- A MINIMUM OF 3' OF GROUND COVER SHALL BE MAINTAINED OVER ALL PROPOSED SANITARY SEWER MAINS.
- SEE MECHANICAL AND PLUMBING DRAWINGS FOR EXACT LOCATIONS OF SEWER CONNECTIONS, WATER CONNECTIONS, AND GAS CONNECTIONS. THE UTILITY CONTRACTOR IS TO INSTALL PROPOSED UTILITIES TO WITHIN 5' OF THE BUILDING LINE. A LICENSED SPRINKLER CONTRACTOR MUST INSTALL SPRINKLER SYSTEM PIPING FROM POINT OF SERVICE, IF APPLICABLE.
- ALL UTILITY INSTALLATION IS TO BE DONE IN ACCORDANCE WITH THE LOCAL STANDARDS OR OTHER APPLICABLE CODES.
- GC SHALL REVIEW LOCAL ELECTRICAL AND WATER PROVIDER SPECIFICATIONS PRIOR TO INITIATING WORK.
- CURRENT SERVICE TO EXISTING STRUCTURES SHALL NOT BE INTERRUPTED WITHOUT ADVANCED WRITTEN PERMISSION FROM THE OWNER.
- CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL CODES AND THE REQUIREMENTS OF THE LOCAL UTILITY COMPANIES.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND INVERT OF ALL EXISTING UTILITIES AND STORM DRAINAGE. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR TO CONTRACTOR-CAUSED DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.

**LEGEND**

- DW DOMESTIC WATER SERVICE
- G GAS SERVICE
- SAN SANITARY SEWER SERVICE
- OH-E OVERHEAD ELECTRIC SERVICE
- OH-T OVERHEAD TELEPHONE SERVICE
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- ELECTRIC/COMMUNICATION POLE
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- SPOT ELEVATION
- EXISTING SPOT ELEVATION
- FLUSH SPOT ELEVATION

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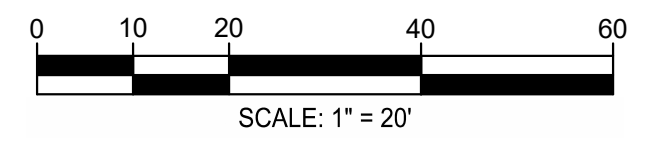


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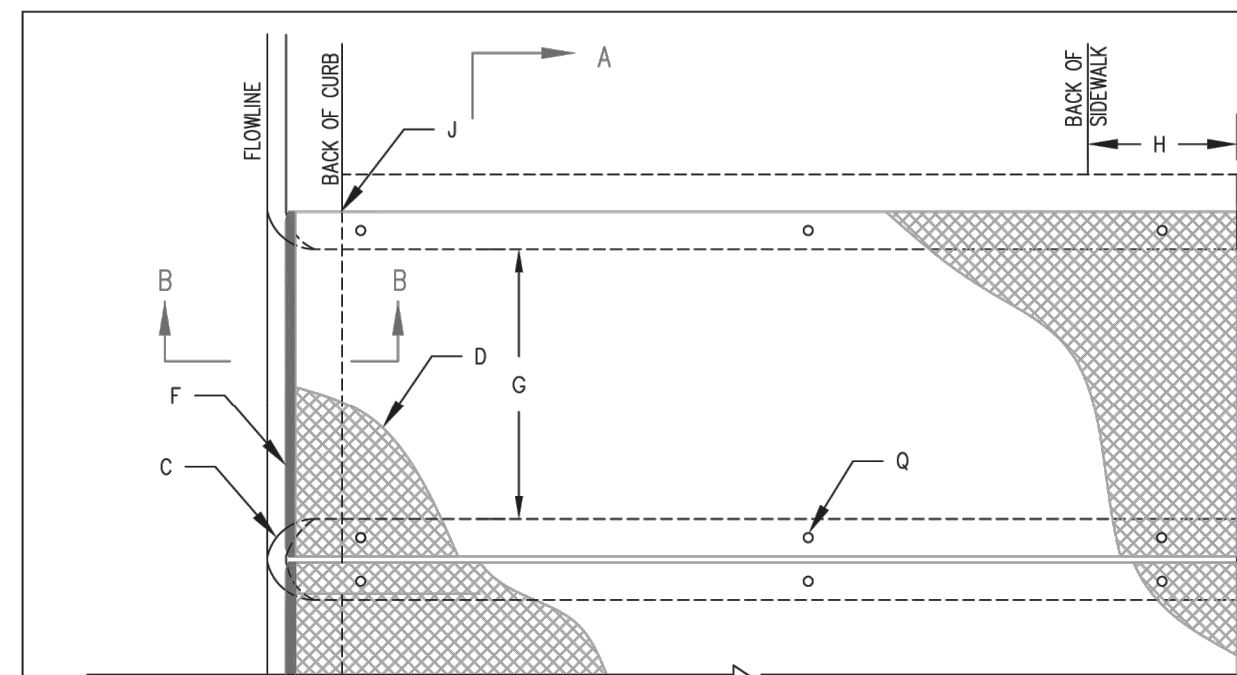
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10/08/2025	CONCEPTUAL SITE PLAN
JAF	FIRE PLAN
JAF	10/24/2025
JAF	12/12/2025
JAF	01/19/2026
JAF	01/20/2026
JAF	02/10/2026
JAF	02/26/2026

**SITE UTILITY PLAN**

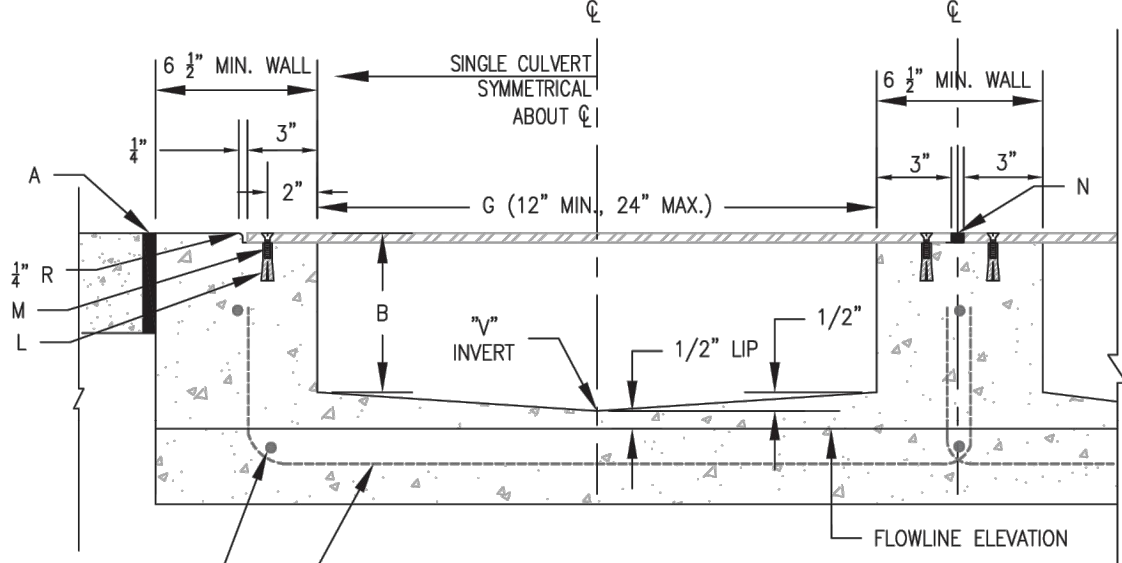
**C3.0**



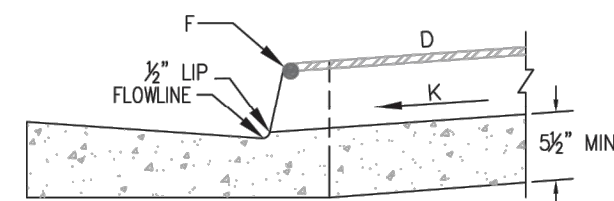
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 C:\Users\jmlucas\OneDrive\Documents\Projects\BENAVIDES\BENAVIDES\_SiteUtilityPlan.dwg



PLAN  
SINGLE OR MULTIPLE CULVERT



SECTION A-A  
SINGLE OR MULTIPLE CULVERT



SECTION B-B  
SINGLE OR MULTIPLE CULVERT

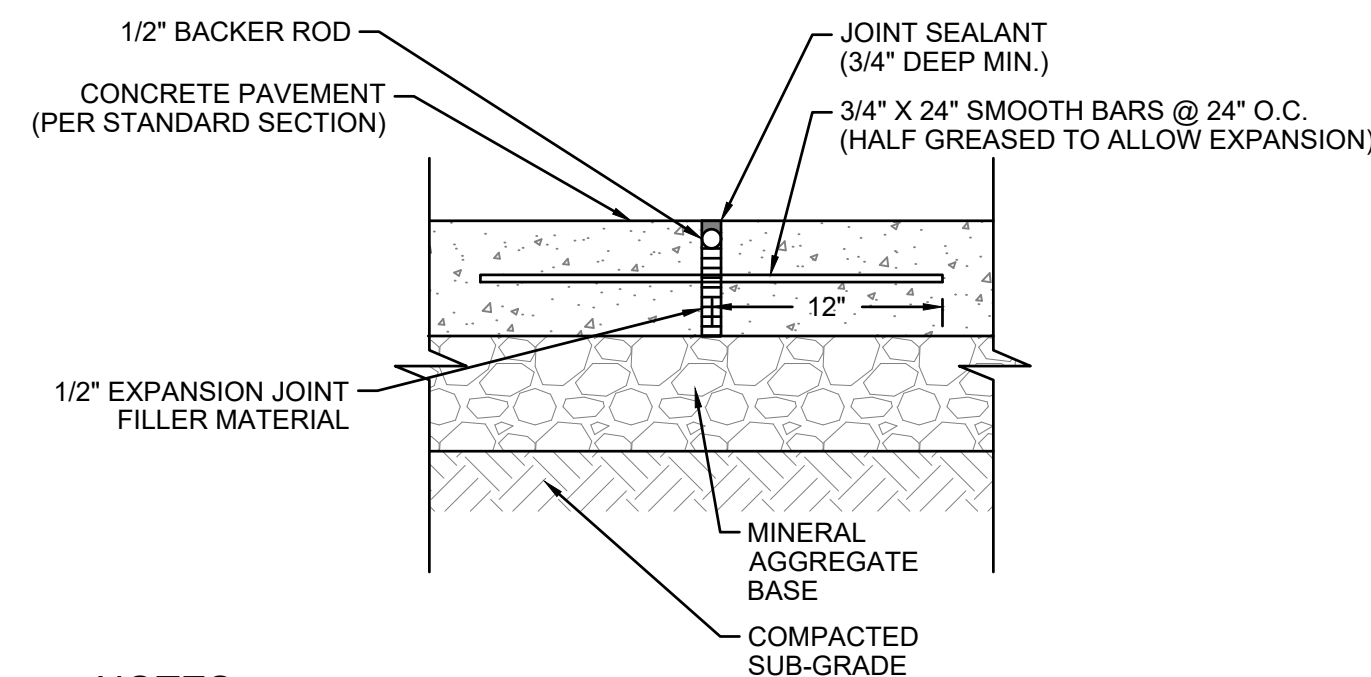
**GENERAL NOTES:**

- PLACING OF DRAIN THRU EXISTING SIDEWALK AND CURB & GUTTER REQUIRES THAT THE ENTIRE SIDEWALK AND CURB AND GUTTER STONES BE REMOVED AND REPLACED AS DETAILED HEREIN.
- THE CULVERT SHALL BE POURED MONOLITHICALLY WITH NEW GUTTER.
- THE INVERT SHALL BE TROWELED TO PRODUCE A HARD POLISHED SURFACE OF MAXIMUM DENSITY AND SMOOTHNESS. INVERT SHALL BE Y-SHAPED TO WITHIN 3" OF OUTLET, THEN WARPED PARALLEL TO FLOWLINE AT THE OUTLET, UNLESS OTHERWISE SHOWN.
- LENGTH OF EACH PLATE SHALL BE SUCH THAT THE WEIGHT WILL NOT EXCEED 300 LBS. CLEAN SURFACE OF PLATE AND PAINT WITH ONE SHOP COAT RED OXIDE AND TWO FINISH COATS ALUMINUM PAINT (ASTM D 69).
- THE CITY WILL NOT ASSUME RESPONSIBILITY FOR MAINTENANCE OF ANY SIDEWALK CULVERT INSTALLED BY OR FOR PRIVATE PROPERTY OWNERS.
- CULVERT MUST BE PERPENDICULAR TO THE CURB.

**CONSTRUCTION NOTES:**

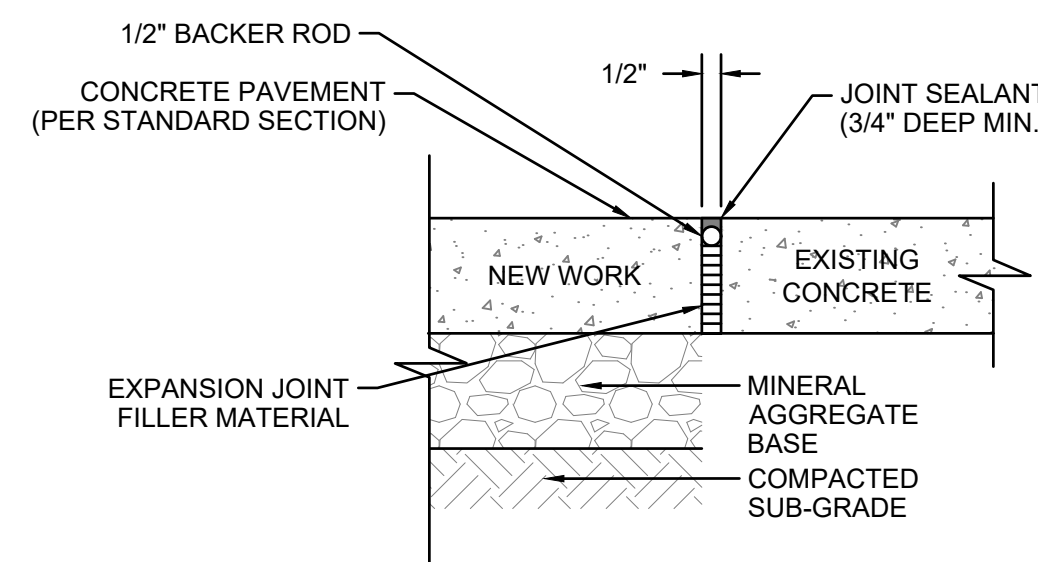
- INSTALL 1/2" EXPANSION JOINT.
- 7" DEPTH WHEN USED IN CONJUNCTION WITH 6" CURB; 5" DEPTH WHEN USED WITH 6" CURB.
- 3" RADIUS (TYPICAL).
- 3/4" CHECKERED STEEL PLATE (PAINT PER NOTE 4, ABOVE).
- NO. 3 REBAR, SPACE AT 18" O.C. MAXIMUM, 1/2" MINIMUM FROM FACE OF CONCRETE. STAGGER FOR MULTIPLE CULVERTS.
- WELD 3/4" STEEL ROD TO PLATE, FULL LENGTH OF PLATE. GRIND ENDS FLUSH TO THE FACE OF CURB.
- DRAIN WIDTH PER PLAN (12" MINIMUM, 24" MAXIMUM).
- EXTEND CULVERT AND STEEL PLATE 1-FOOT BEYOND BACK OF SIDEWALK, UNLESS RESTRICTED BY PROPERTY LINE.
- IF SIDEWALK IS NOT AT BACK OF CURB, EXTEND CULVERT AND STEEL PLATE TO FACE OF CURB.
- SLOPE 1/4" PER FOOT (MINIMUM).
- FOR SECURING PLATE USE POWERS® 3/8-16 CARBON STEEL FLANGED DROP-IN ANCHOR OR APPROVED EQUAL. INSTALL USING SETTING TOOL AND MANUFACTURER'S INSTRUCTIONS AT MAX 24" O.C. A MINIMUM OF 2 PER SIDE AND WITHIN 6" OF EACH END.
- 3/8-16x1" COUNTERSUNK, STAINLESS STEEL, MACHINE SCREW, COVER HEAD WITH 2-PART EPOXY.
- FILL VOID BETWEEN PLATES WITH NP-1 SEALANT OR CITY APPROVED EQUIVALENT.
- NO. 3 REBAR, CONTINUOUS.
- HOLE DIAMETER AT BOTTOM OF COUNTERSUNK HOLE OF STEEL PLATE TO BE 1/2" DIAMETER.

REVISIONS	CITY OF ALBUQUERQUE
	DRAINAGE SIDEWALK CULVERT PLAN AND SECTIONS A-A AND B-B DWG. 2236 JUNE 2019



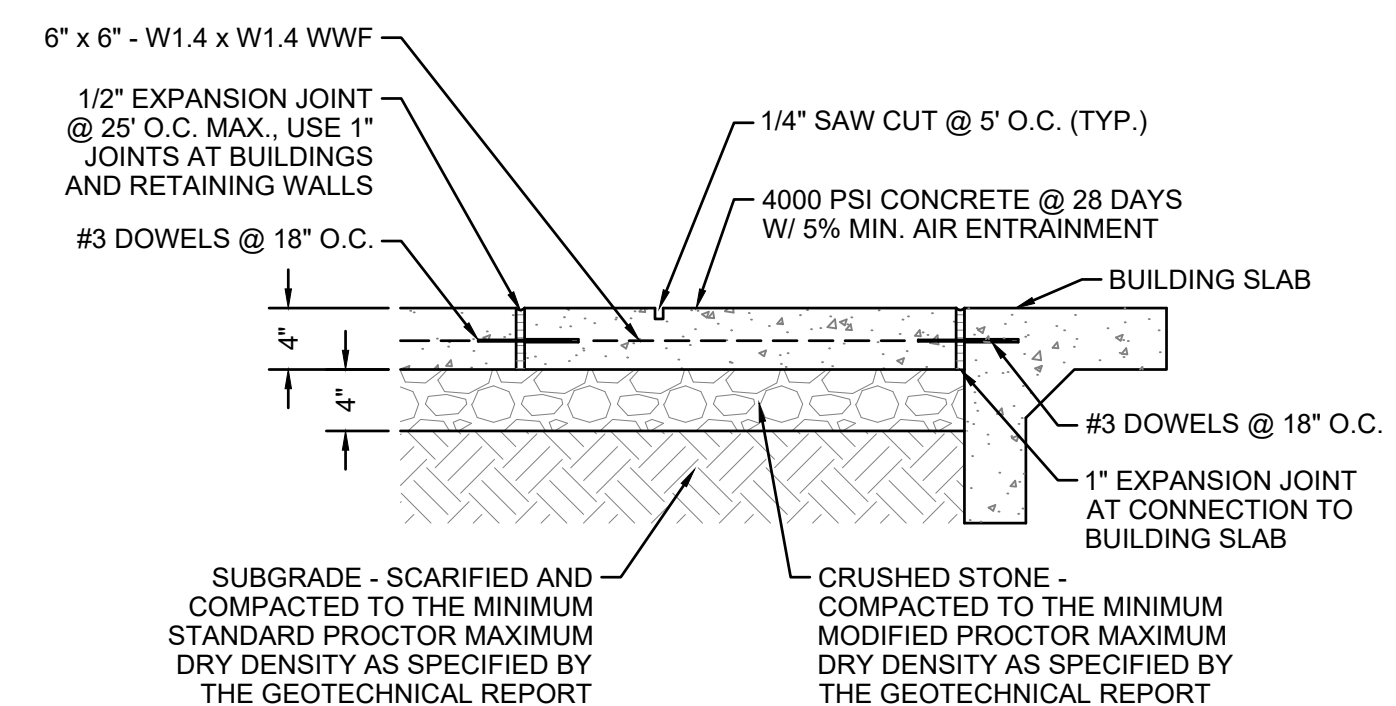
- NOTES:**
- INSTALL CONSTRUCTION JOINTS WHEN CONTINUOUS POUR OPERATIONS ARE SUSPENDED FOR MORE THAN 30 MINUTES.

**CONCRETE PAVEMENT CONSTRUCTION JOINT**  
NOT TO SCALE



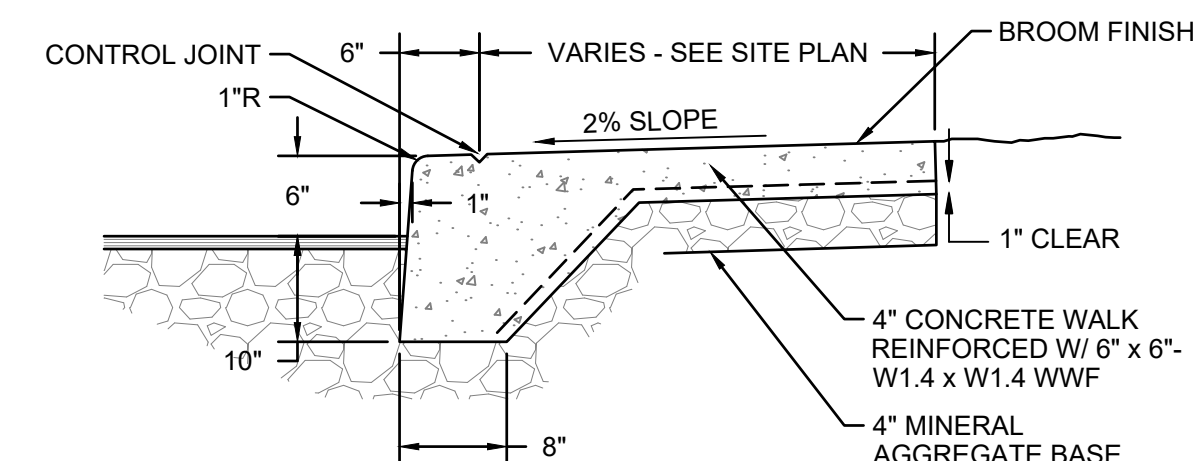
- NOTES:**
- INSTALL EXPANSION JOINTS @ 20' O.C. IN EACH DIRECTION AND AGAINST ASPHALT PAVEMENT AND STRUCTURES.

**CONCRETE PAVEMENT EXPANSION JOINT**  
NOT TO SCALE



- NOTES:**
- INSTALL CONSTRUCTION JOINTS WHEN CONTINUOUS POUR OPERATIONS ARE SUSPENDED FOR MORE THAN 30 MINUTES.

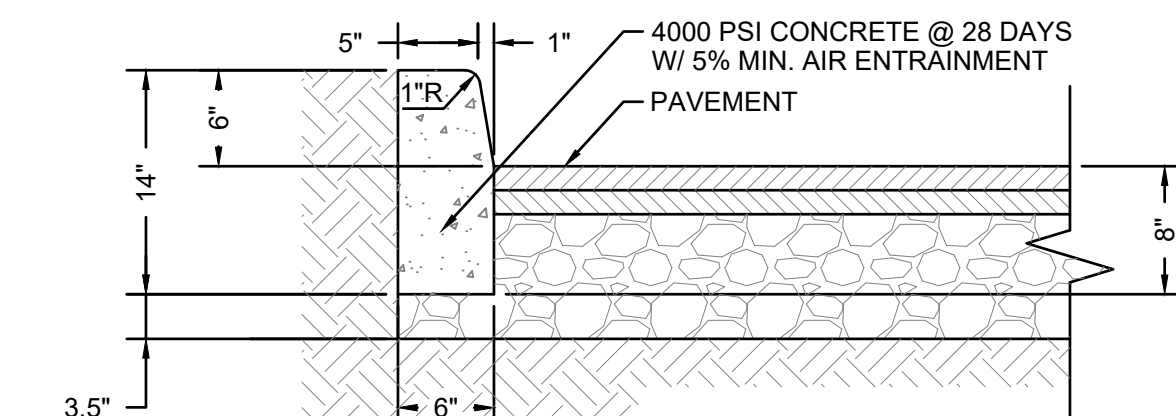
**CONCRETE SIDEWALK**  
NOT TO SCALE



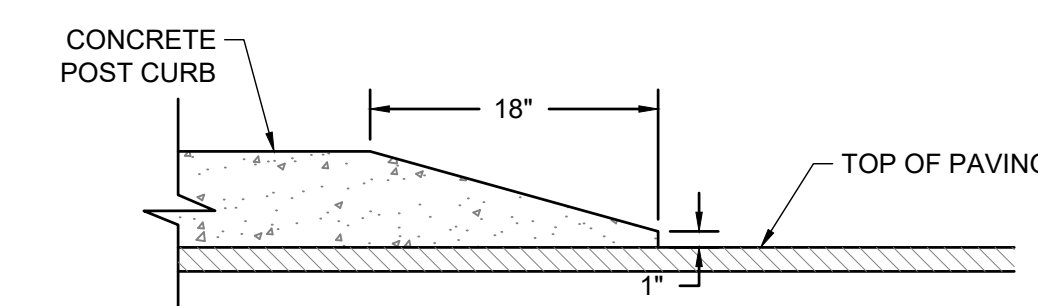
- NOTES:**
- PROVIDE CONTROL JOINTS SPACED EVERY 5 FEET AND EXPANSION JOINTS EVERY 25 FEET.

**INTEGRAL CONCRETE CURB AND SIDEWALK**  
NOT TO SCALE

- NOTES:**
- CURBING SHALL BE CONSTRUCTED IN 10 FOOT LENGTHS.
  - PREFORMED 3/4" EXPANSION JOINTS SHALL BE EQUALLY SPACED AT 50' O.C. (MAX). EXPANSION JOINTS SHALL ALSO BE PLACED AT TANGENT POINTS AND BETWEEN CURBS & RIGID OBJECTS.
  - EQUALLY SPACE 1/2" CONTRACTION JOINTS AT 10' O.C. (MAX.) BETWEEN EXPANSION JOINTS.
  - PRIOR TO BACKFILLING, PREVENT WATER FROM PONDING BEHIND CURBS.
  - THE CONCRETE SHALL MEET THE REQUIREMENTS OF ASTM C94, 4,000 PSI WITH FIBER MESH ADDED.
  - THE FINISHED CURB WILL BE COATED WITH A CURING COMPOUND DESIGNED TO SEAL THE SURFACE AND FORM A MEMBRANE TO RETARD WATER LOSS.



**CONCRETE POST CURB**  
NOT TO SCALE

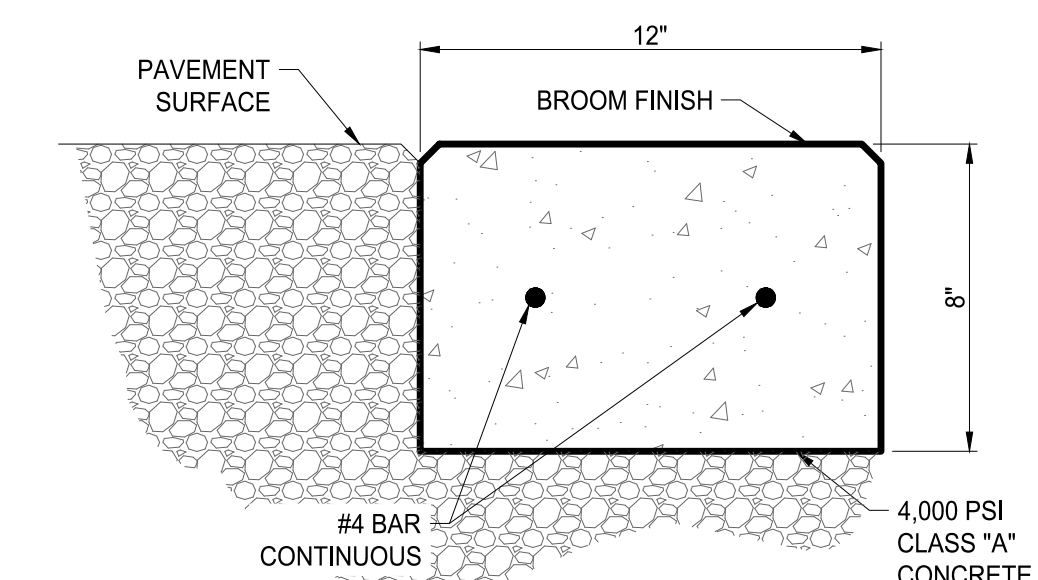


**TAPERED CONCRETE CURB**  
NOT TO SCALE



- NOTE:** PROVIDE ISOLATION JOINT WHERE CONCRETE SIDEWALK OR PAVEMENT ABUTS A RIGID STRUCTURE.

**ISOLATION JOINT**  
NOT TO SCALE

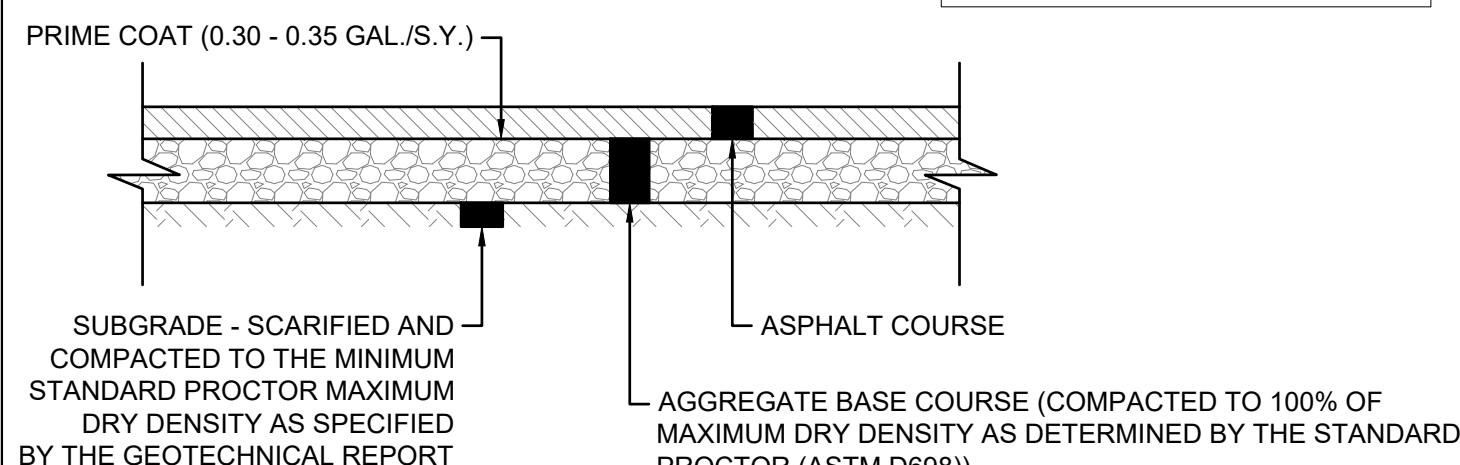


**REBON CURB**  
N.T.S.

FLEXIBLE PAVEMENT RECOMMENDATIONS		
MATERIALS	HEAVY DUTY ASPHALT PAVEMENT SECTION THICKNESS (INCHES)	LIGHT DUTY ASPHALT PAVEMENT SECTION THICKNESS (INCHES)
ASPHALTIC CONCRETE SURFACE COURSE	4"	2 1/2"
AGGREGATE BASE COURSE	6"	6"

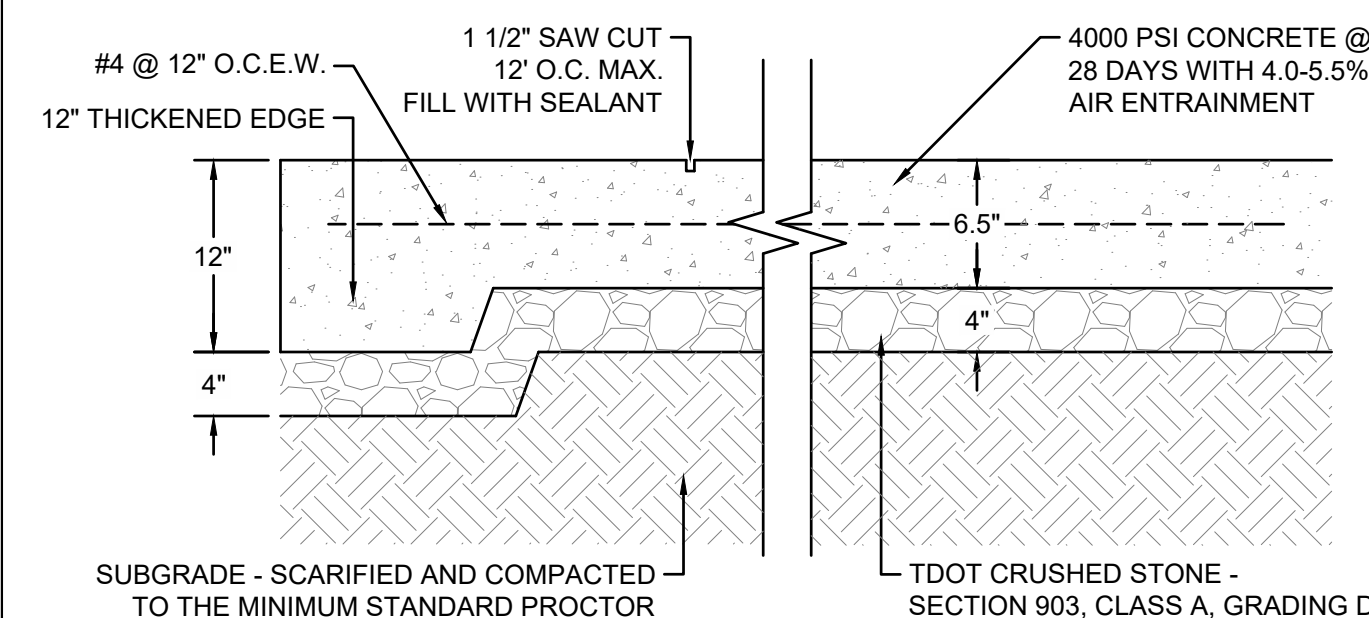
COMPACTION DENSITY REQUIREMENTS BY MARSHALL METHOD SECTION 407.

**NOTE:** CONTRACTOR SHALL REFER TO "GEOTECHNICAL ENGINEERING REPORT" DATED JANUARY 7, 2026, COMPLETED BY GEOMAT, LLC, FOR ADDITIONAL INFORMATION REGARDING PAVING SECTION AND SUBGRADE PREPARATION. GEOTECHNICAL REPORT ALSO INCLUDES ALTERNATIVE SECTIONS FOR PRICING PURPOSES.

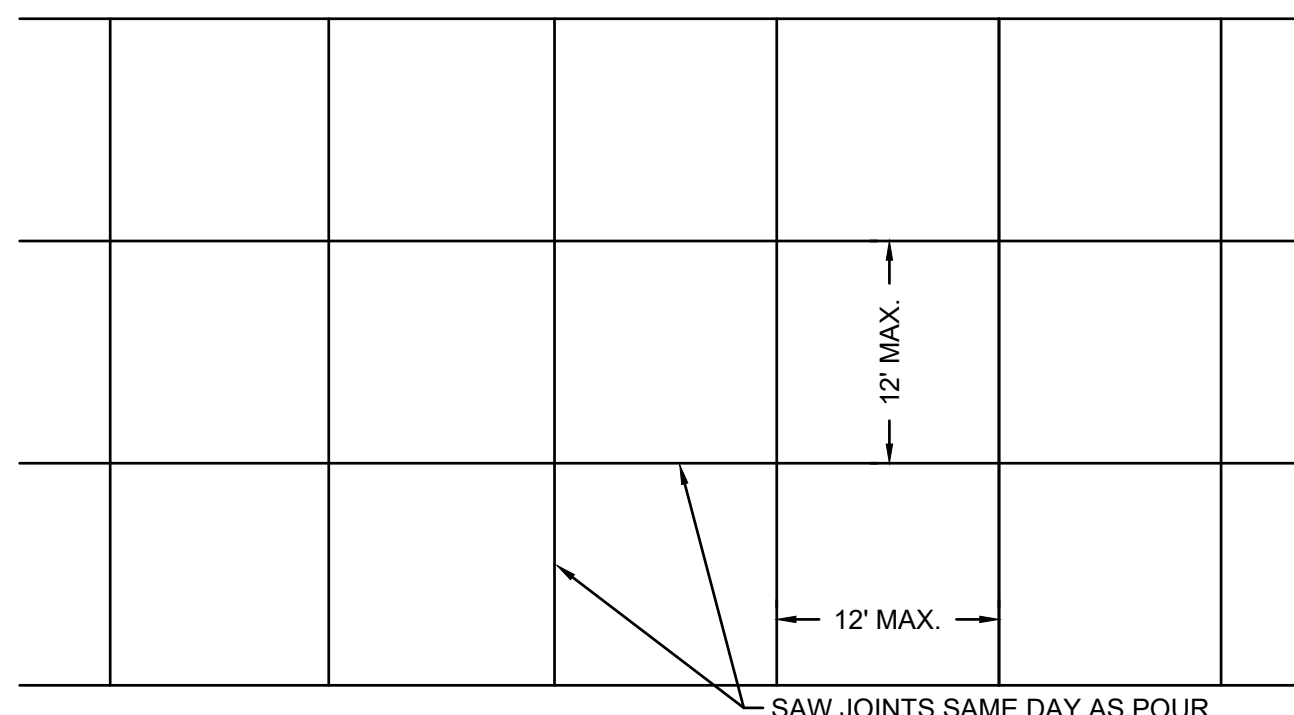


**ASPHALT PAVEMENT**  
NOT TO SCALE

- NOTES:**
- MATERIALS AND CONSTRUCTION PROCEDURES SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL RECOMMENDATIONS.
  - REFER TO DETAILS ON THIS SHEET FOR JOINT SPACING AND CONSTRUCTION.
  - EXPANSION JOINTS ARE TO BE SPACED 25' TO 30' APART DEPENDING ON TRANSVERSE JOINT MARKINGS.

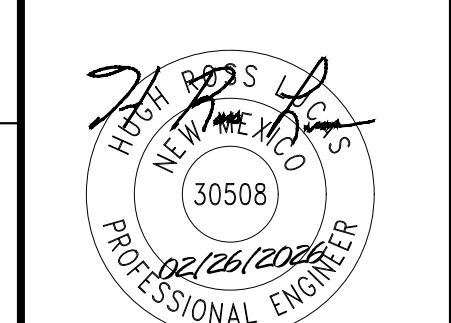


**CONCRETE PAVEMENT**  
NOT TO SCALE



**CONCRETE PAVEMENT SAW CUT JOINT**  
NOT TO SCALE

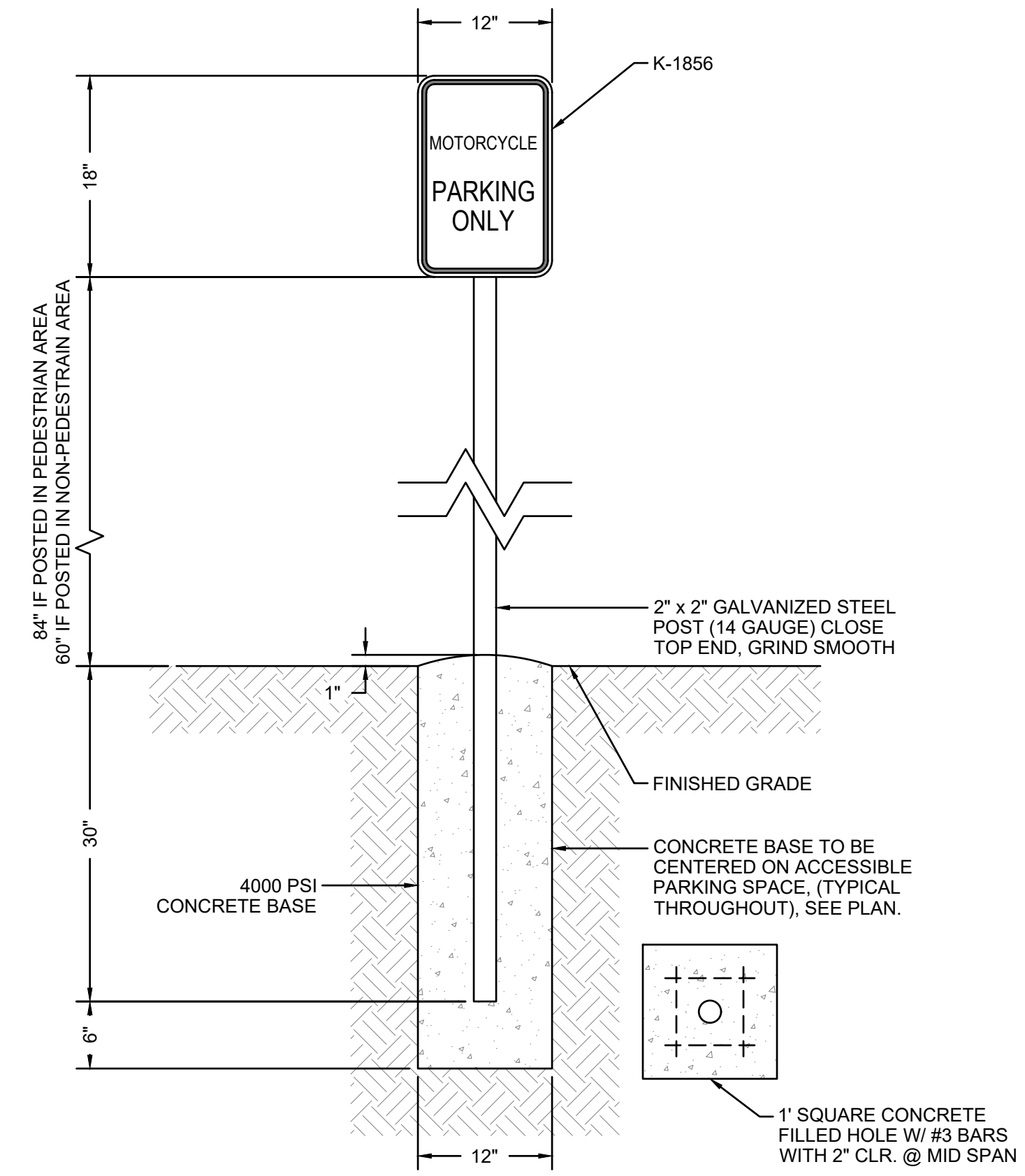
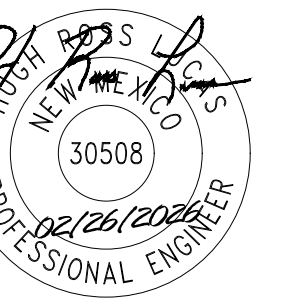
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2002 RICHARD JONES RD - SUITE B200  
NASHVILLE, TENNESSEE 37215  
INFO@FULMERLUCAS.COM - (615) 346-3770



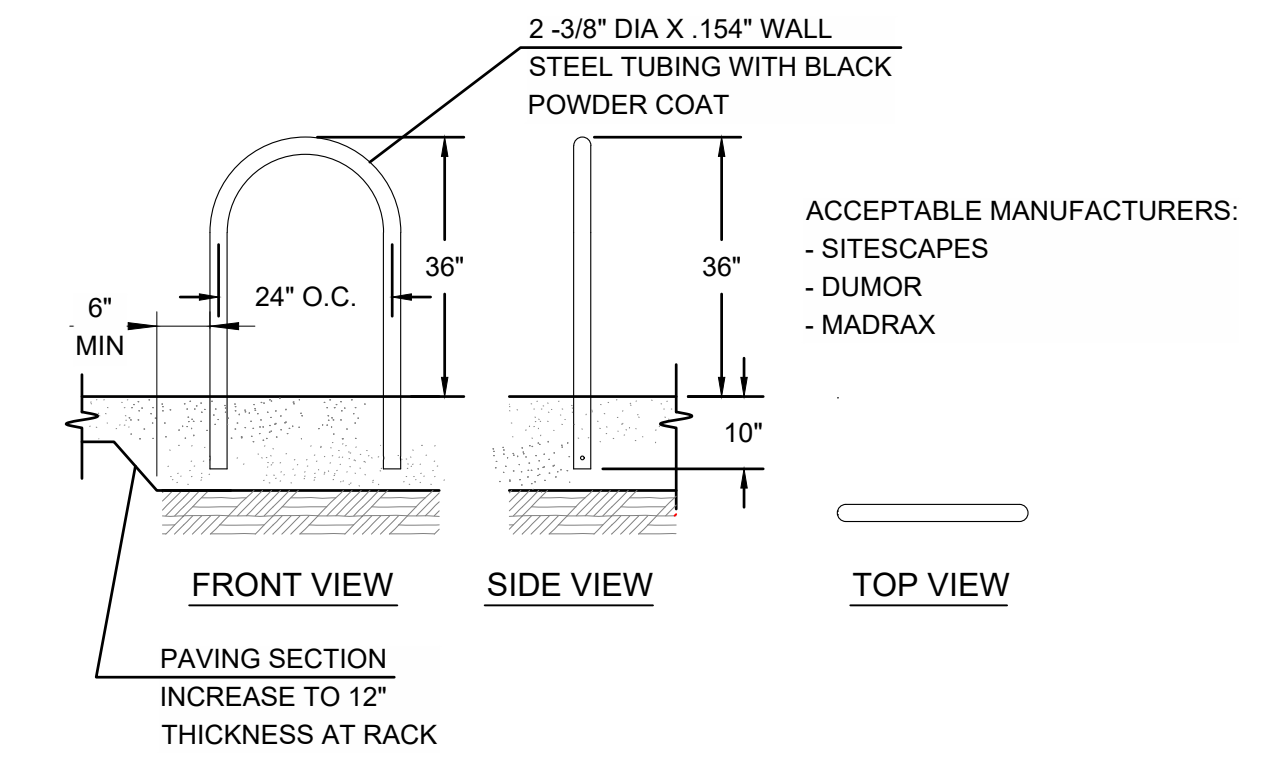
SITE DEVELOPMENT PLANS FOR:  
**BENAVIDES**  
1125 SNOW VISTA BLVD SW  
ALBUQUERQUE, NEW MEXICO 87121

DATE	DESCRIPTION
10/08/2025	CONCEPTUAL SITE PLAN
JAF	FIRE PLAN
10/24/2025	STORMWATER INITIAL SUBMITTAL
JAF	12/12/2025
JAF	01/19/2026
JAF	01/20/2026
JAF	02/10/2026
JAF	02/26/2026

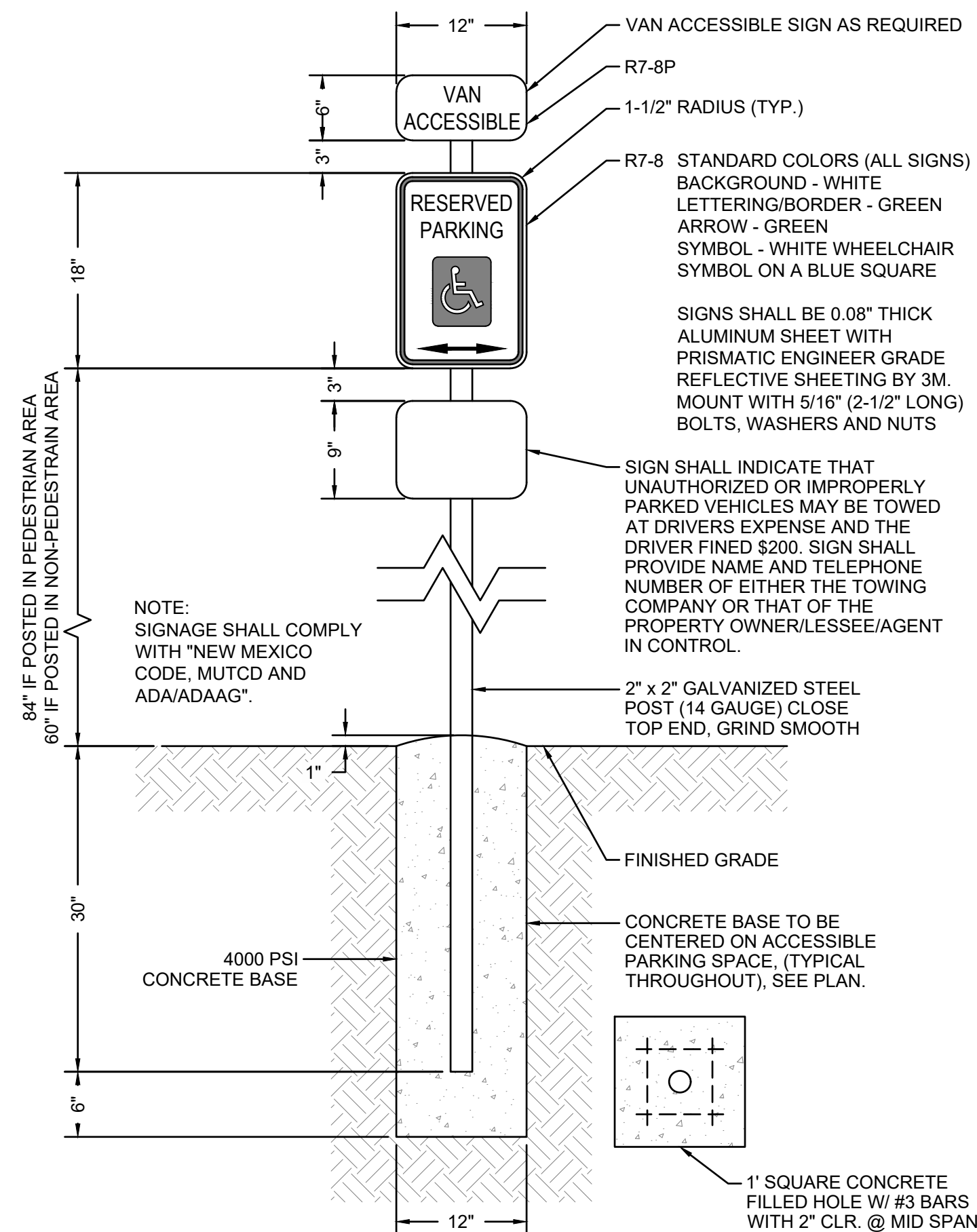
**SITE DETAILS**  
**C4.0**



**MOTORCYCLE PARKING SIGN**  
NOT TO SCALE



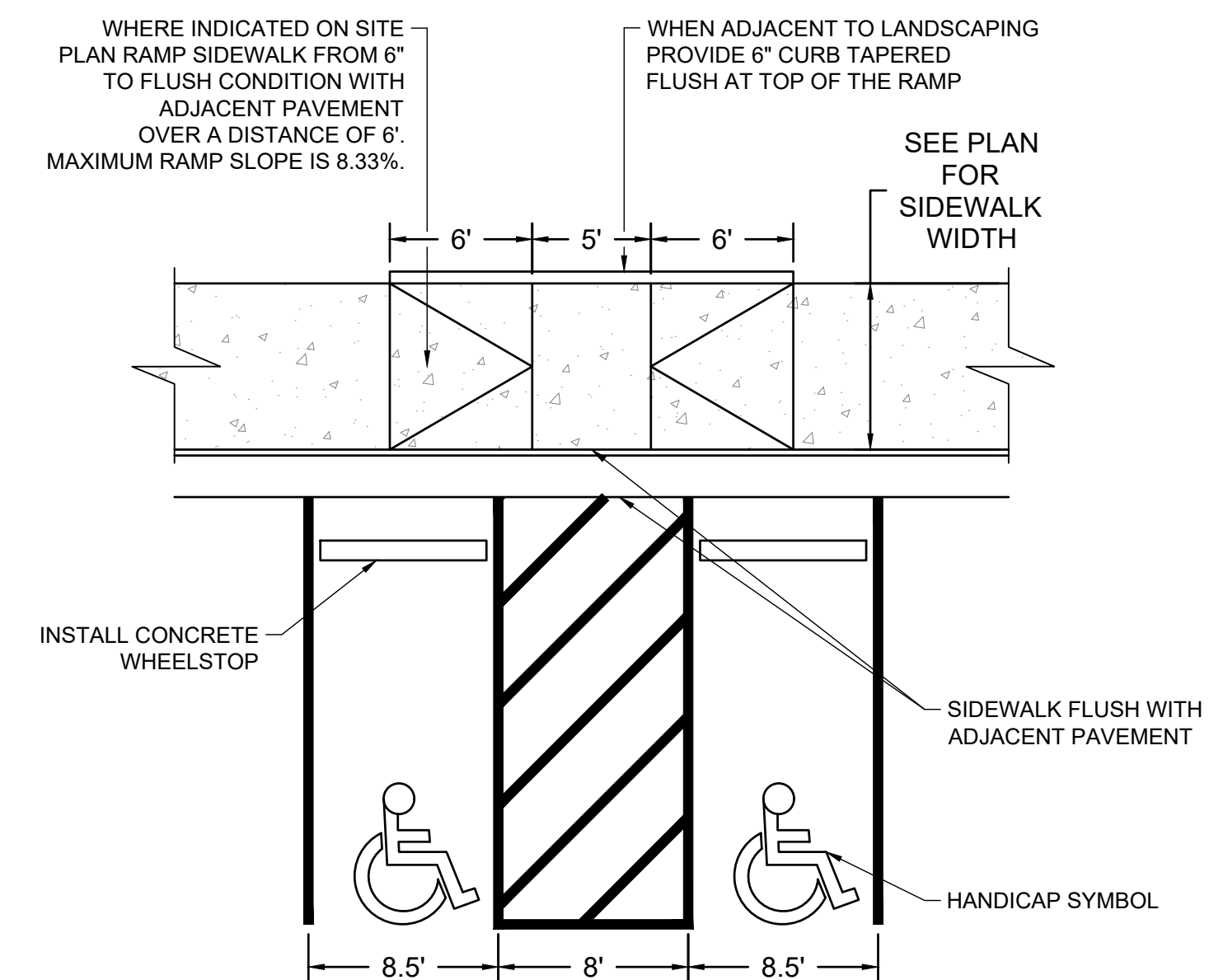
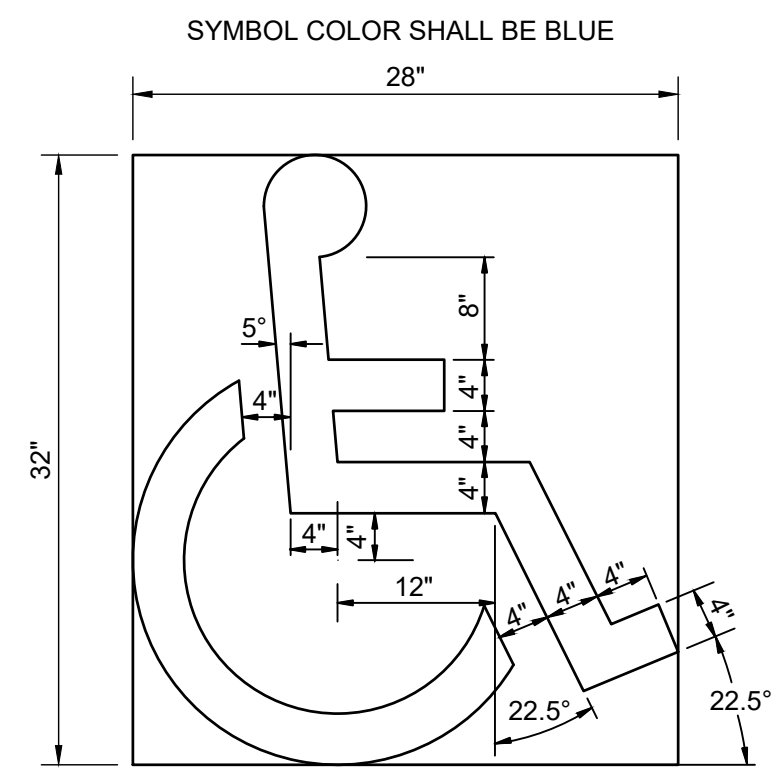
**BIKE RACK DETAIL**  
NOT TO SCALE



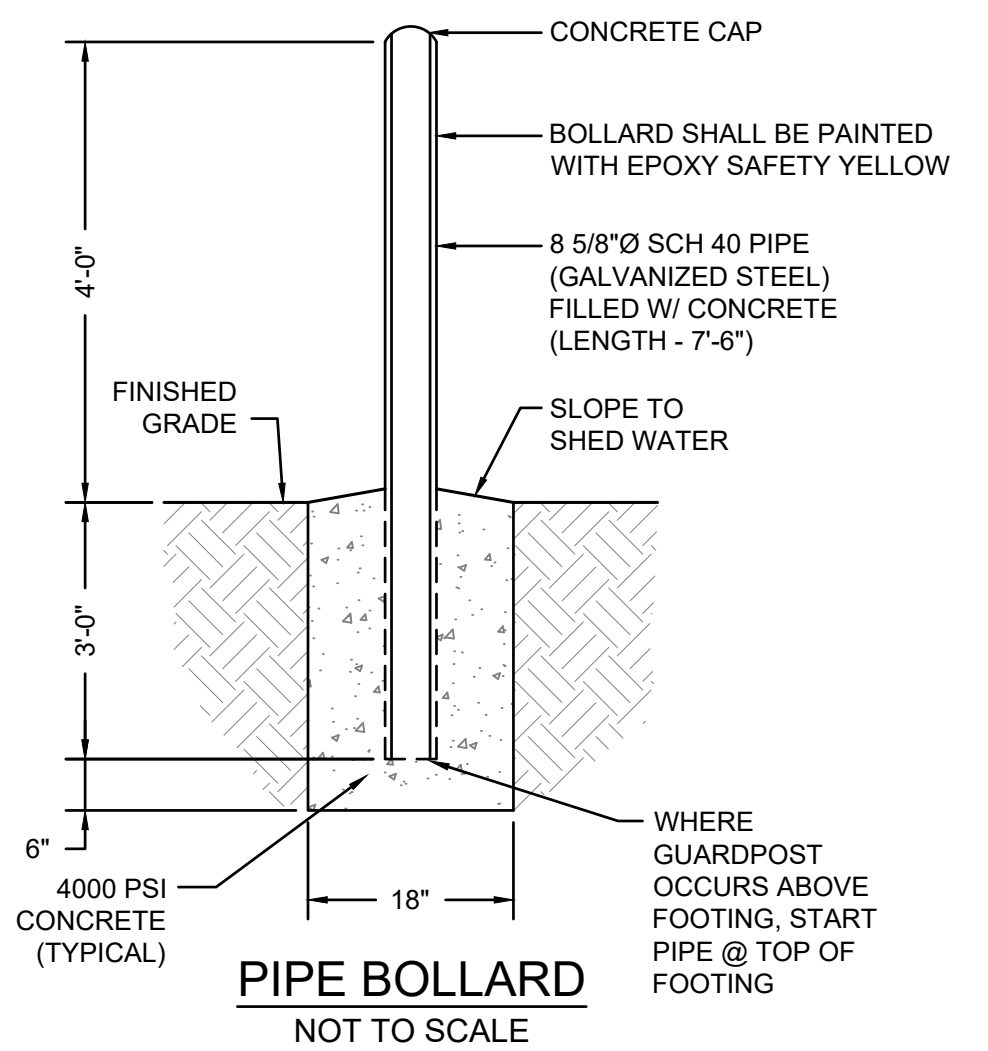
**EXTERIOR ACCESSIBLE PARKING SIGN & SYMBOL**  
NOT TO SCALE

**NOTES:**

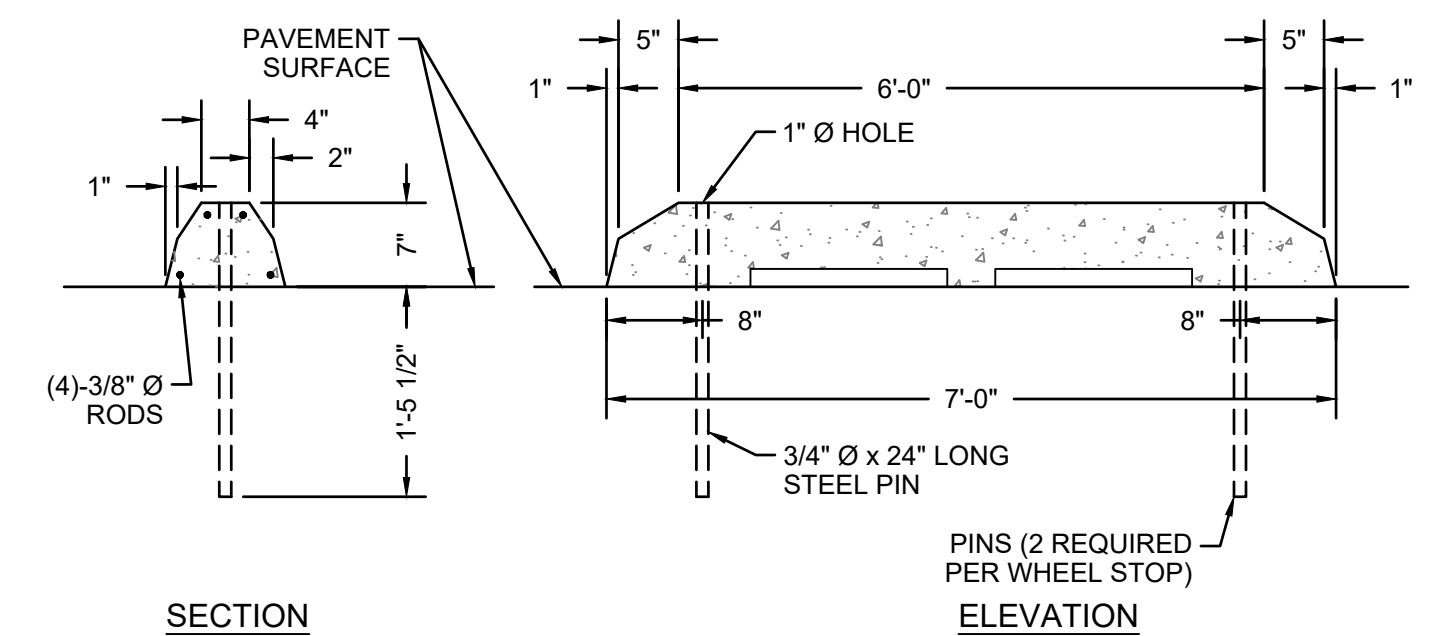
- ALL WORK PERFORMED BY THE CONTRACTOR SHALL COMPLY THE PERTINENT PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT.
- CROSS SLOPE OF THE RAMP SHALL NOT EXCEED 1:50.
- SURFACE TEXTURE OF THE RAMP SHALL BE STABLE, FIRM AND SLIP RESISTANT. THE SURFACE SHALL BE COARSE BROOMED FINISH TRANSVERSE TO THE SLOPE OF THE RAMP.
- MAXIMUM SLOPE OF 2% IN ANY DIRECTION WITHIN ADA PARKING SPACES.
- REFER TO SITE PLAN FOR EXACT LAYOUT.



**ADA PARKING DETAILS**  
NOT TO SCALE



**PIPE BOLLARD**  
NOT TO SCALE



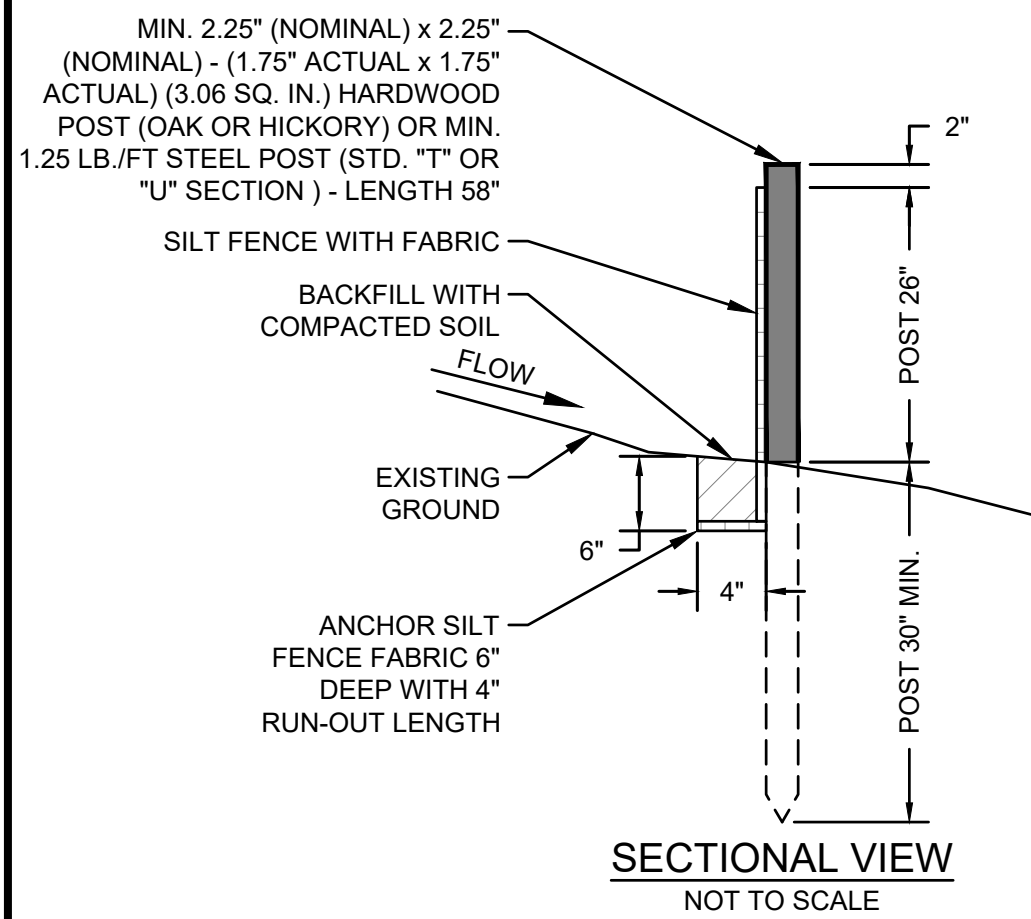
- NOTES:**
- RECESS PINS BELOW TOP OF WHEEL STOP 1/2".

**CONCRETE WHEELSTOP**  
NOT TO SCALE

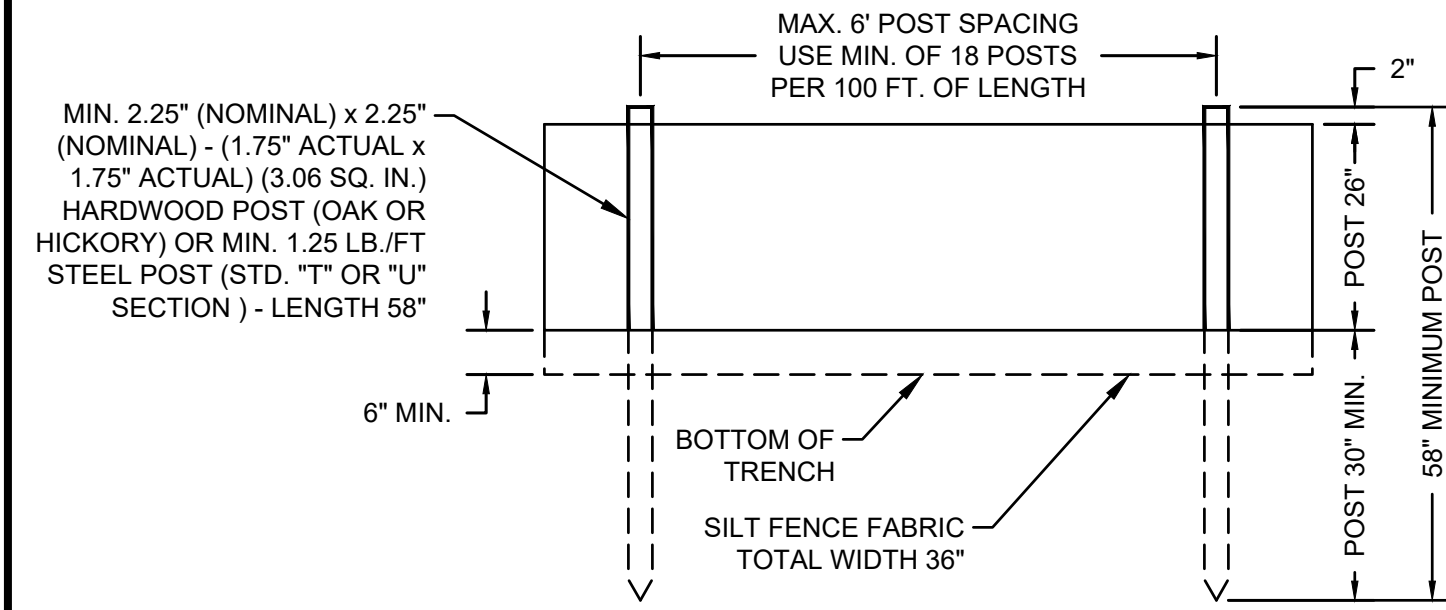
DATE	DESCRIPTION
10/08/2025	CONCEPTUAL SITE PLAN
JAF	CONCEPTUAL SITE PLAN
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JAF	FIRE PLAN
12/12/2025	STORMWATER INITIAL SUBMITTAL
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JAF	PERMIT RESUBMITTAL
02/10/2026	SITE PLAN SUBMITTAL
JAF	SITE PLAN SUBMITTAL
02/26/2026	HYDROLOGY RESUBMITTAL
JAF	HYDROLOGY RESUBMITTAL

**NOTES**

- WHERE WIRE BACKING IS REQUIRED, WIRE SHALL BE A MINIMUM OF 32" IN WIDTH AND SHALL HAVE A MINIMUM OF 6 LINE WIRES WITH 12" STAY SPACING.
- WHERE WIRE BACKING IS REQUIRED, MIDDLE AND VERTICAL WIRES SHALL BE 12 1/2 GAUGE MIN.
- WHERE WIRE BACKING IS REQUIRED, TOP AND BOTTOM WIRES SHALL BE 10 GAUGE MIN.

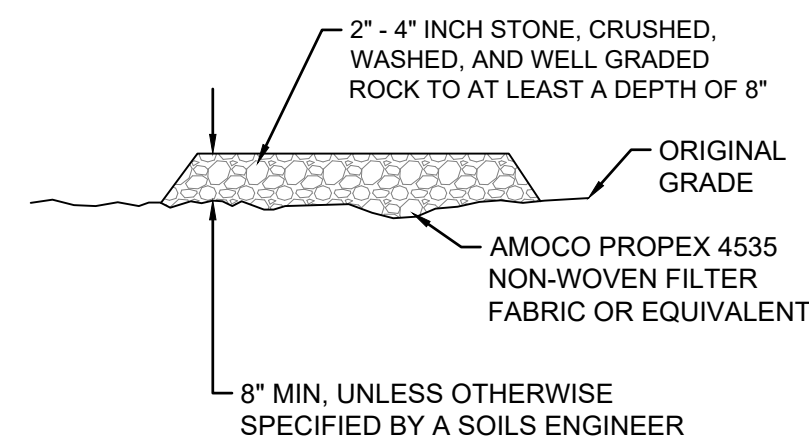


**SECTIONAL VIEW**  
NOT TO SCALE

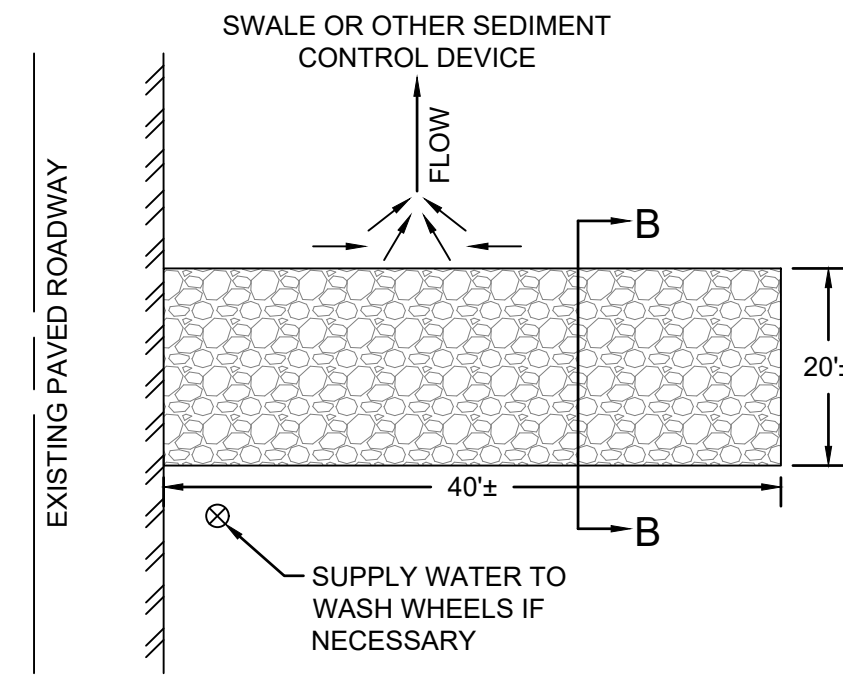


**PLAN VIEW**  
NOT TO SCALE

**SILT FENCE**  
NOT TO SCALE



**SECTION B-B**  
NOT TO SCALE

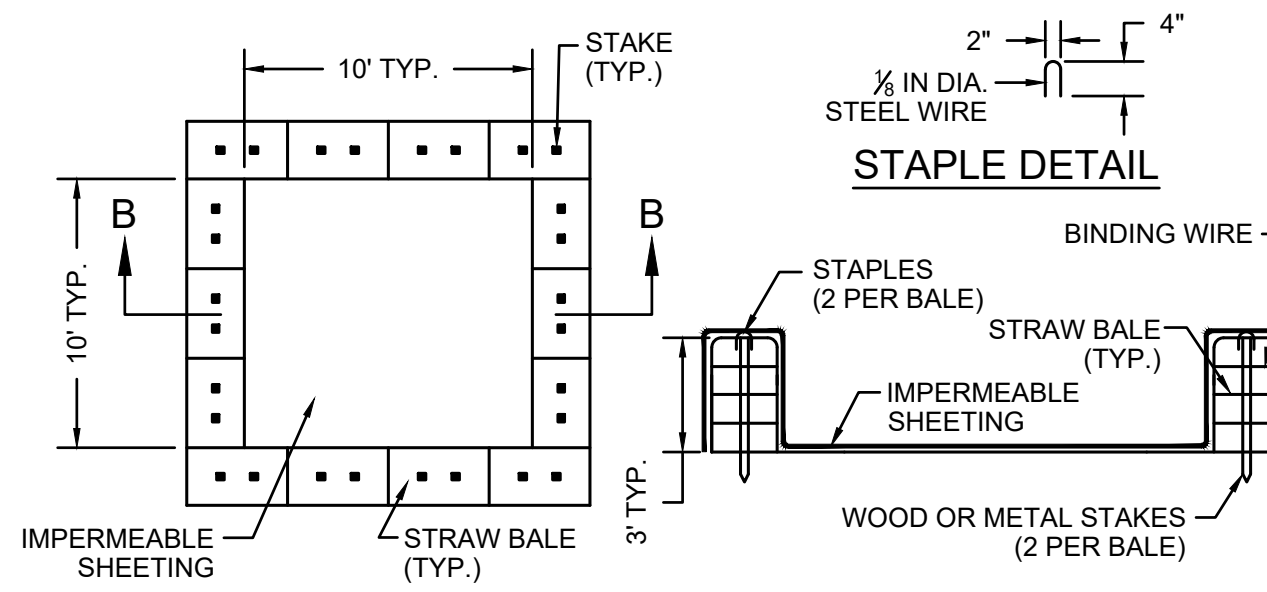


**PLAN VIEW**  
NOT TO SCALE

**STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE

**CONSTRUCTION SPECIFICATIONS**

- LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
- SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER AND SOLIDS AND MAINTAIN AT LEAST 4 INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE 10 FEET X 10 FEET X 3 FEET DEEP.
- PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
- PROVIDE A SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.
- KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G. RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. PRIOR TO FORECASTED RAINSTORMS, REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.



**PLAN**      **SECTION B-B**

NOTE: CAN BE TWO STACKED BALES OR PARTIALLY EXCAVATED TO REACH 3 FT DEPTH.

**WASHOUT STRUCTURE WITH STRAW BALES**

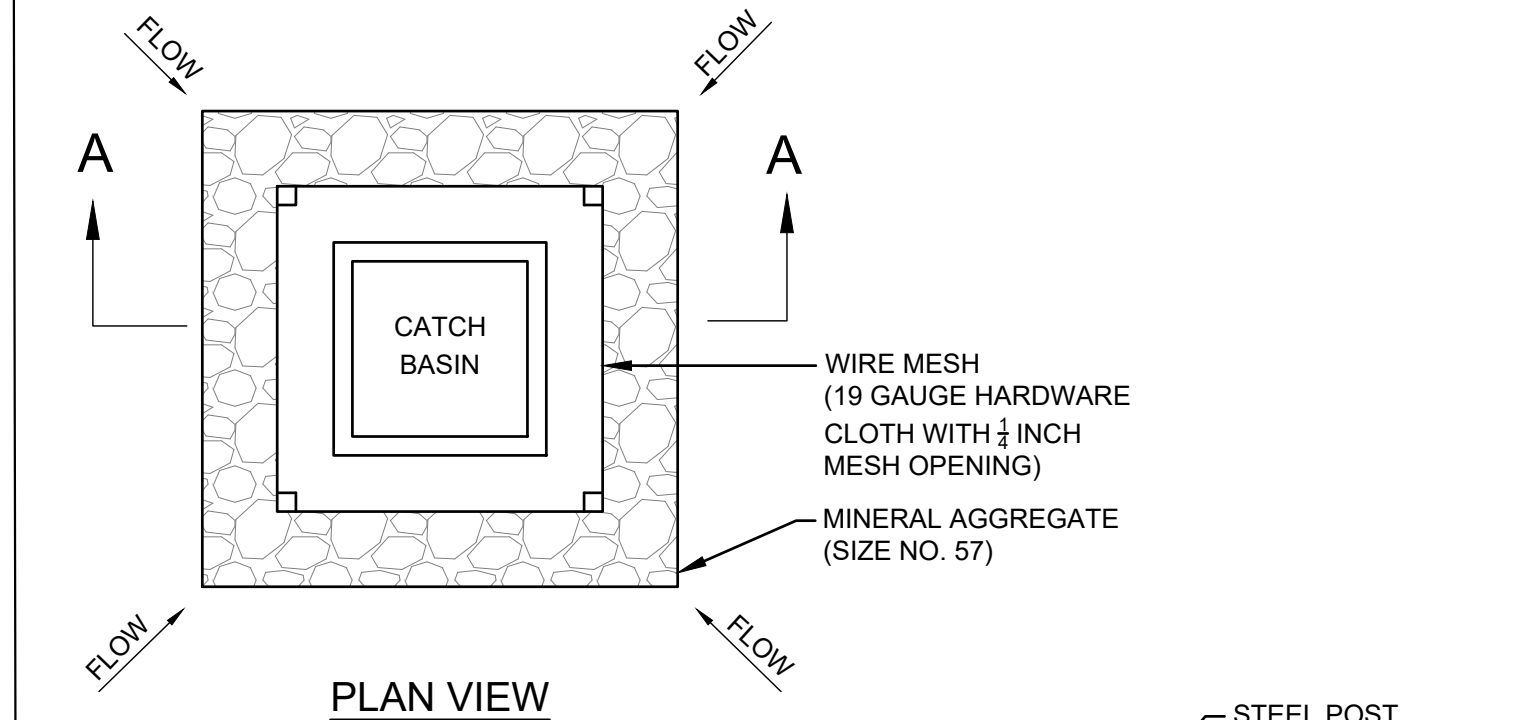
**CONCRETE WASHOUT**  
NOT TO SCALE

**CONSTRUCTION SPECIFICATIONS**

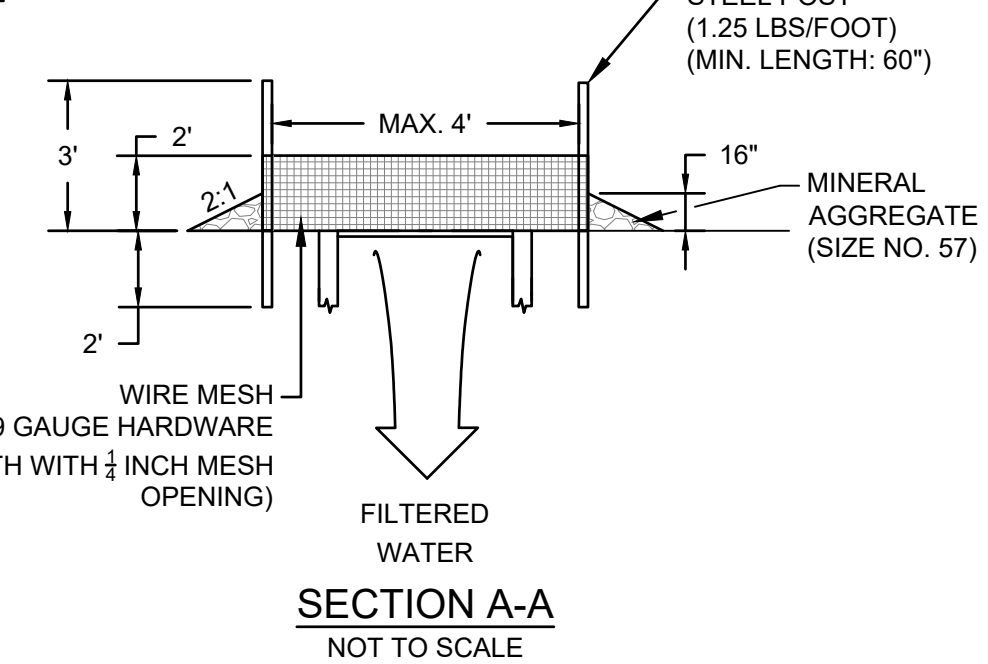
- UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE INLET.
- DRIVE 5-FOOT STEEL POSTS 2 FEET INTO THE GROUND SURROUNDING THE INLET. SPACE POSTS EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4 FEET APART.
- SURROUND THE POSTS WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POSTS AT THE TOP, MIDDLE, AND BOTTOM. PLACING A 2-FOOT FLAP OF THE WIRE MESH UNDER THE GRAVEL FOR ANCHORING IS RECOMMENDED.
- PLACE CLEAN GRAVEL (#57 STONE) ON A 2:1 SLOPE WITH A HEIGHT OF 16 INCHES AROUND THE WIRE, AND SMOOTH TO AN EVEN GRADE.
- ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT, AND ESTABLISH FINAL GRADING ELEVATIONS.
- COMPACT THE AREA PROPERLY AND STABILIZE IT WITH GROUND COVER.

**MAINTENANCE AND INSPECTION POINTS**

- SEDIMENT SHOULD NOT BE ALLOWED TO WASH INTO THE INLET. IT SHOULD BE REMOVED FROM THE INLET PROTECTION AND DISPOSED OF AND STABILIZED SO THAT IT WILL NOT ENTER THE INLET AGAIN. REMOVE SEDIMENT FROM THE DEPOSITION AREAS WHEN HALF THE HEIGHT OF THE STORAGE AREA HAS BEEN FILLED.
- CHECK MEASURE FOR DAMAGE OR EVIDENCE OF EROSION AND BYPASSING AROUND THE INLET PROTECTION. IF INLETS ARE IN SERIES, RUNOFF THAT BYPASSES AN UPGRADING INLET CAN OVERWHELM A DOWNGRADING INLET PROTECTION DEVICE. SAND BAGS, DIVERSIONS, OR OTHER METHODS SHOULD BE USED TO DIRECT RUNOFF INTO STORM DRAIN INLETS.
- WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN PERMANENTLY STABILIZED, ALL MATERIALS AND ANY SEDIMENT SHOULD BE REMOVED, AND EITHER SALVAGED OR DISPOSED OF PROPERLY. THE DISTURBED AREA SHOULD BE BROUGHT TO PROPER GRADE, THEN SMOOTHED AND COMPACTED. APPROPRIATELY STABILIZE ALL DISTURBED AREAS AROUND THE INLET.



**PLAN VIEW**  
NOT TO SCALE

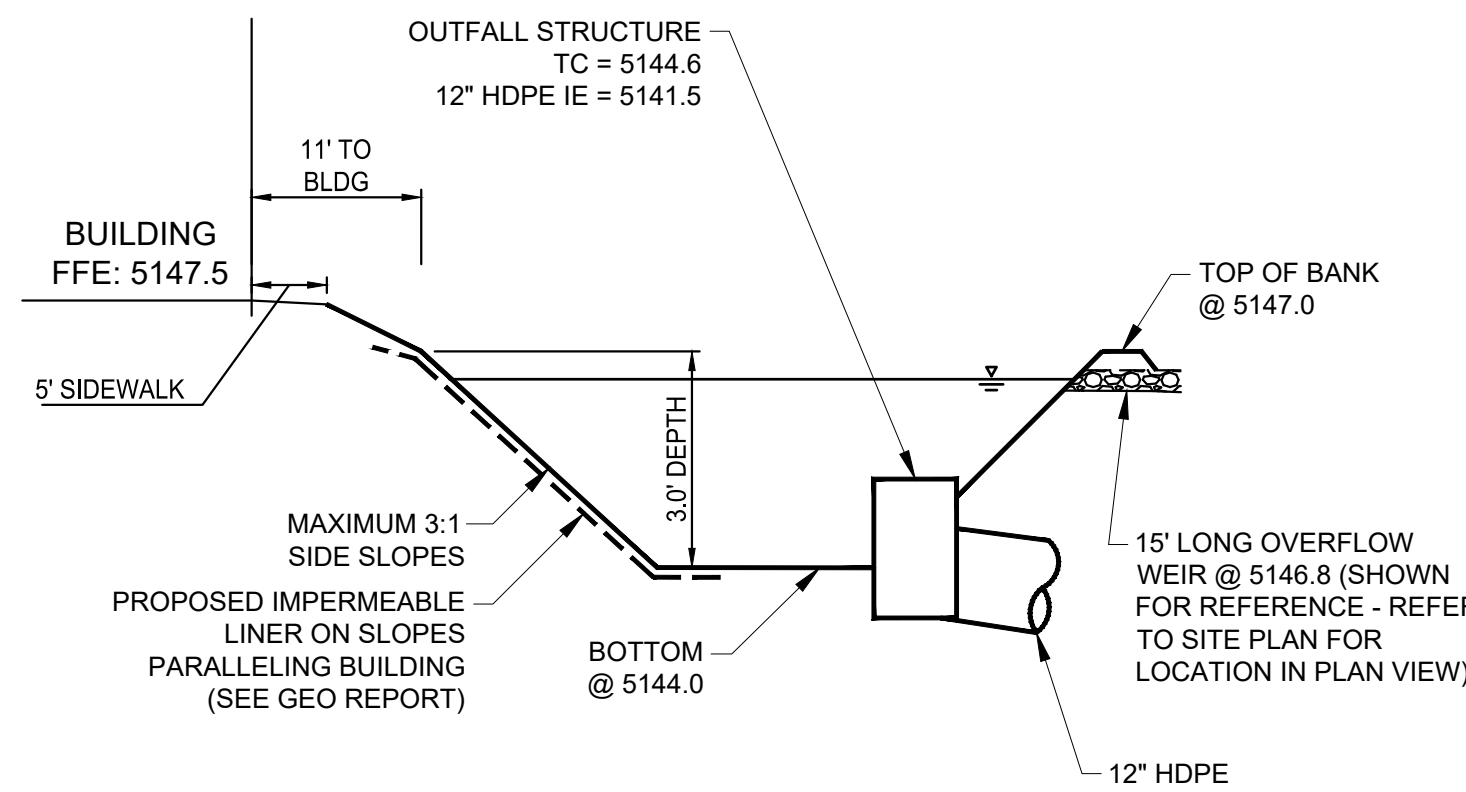


**SECTION A-A**  
NOT TO SCALE

**INLET PROTECTION (PRE-PAVED AREAS)**  
NOT TO SCALE

STAGE/STORAGE TABLE			
STAGE	ELEV	CONTOUR AREA (SF)	STORAGE VOLUME (CF)
0	5144.0	432	0
1.0	5145.0	778	597
3.0	5147.0	1,713	3,027

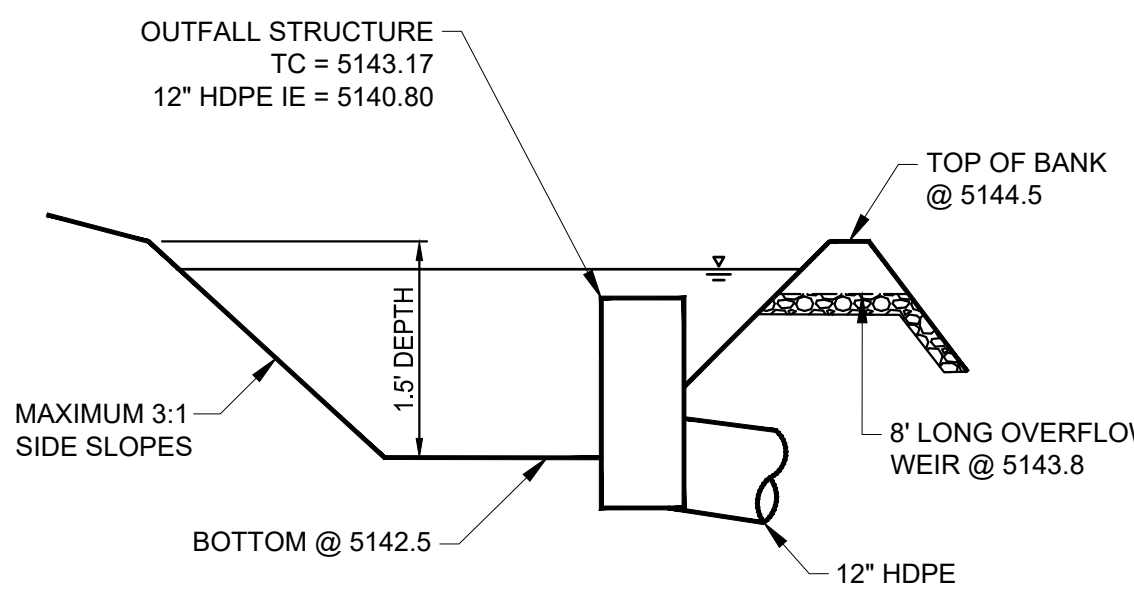
10-YR PEAK STAGE = 5144.5  
 100-YR PEAK STAGE = 5144.62  
 WQU VOLUME = 301.6 CF  
 WQU STAGE = ±5144.6



**DETENTION POND #1 DETAILS**  
NOT TO SCALE

STAGE/STORAGE TABLE			
STAGE	ELEV	CONTOUR AREA (SF)	STORAGE VOLUME (CF)
0	5142.5	167	0
0.67	5143.2	376	177
2.0	5144.5	837	964

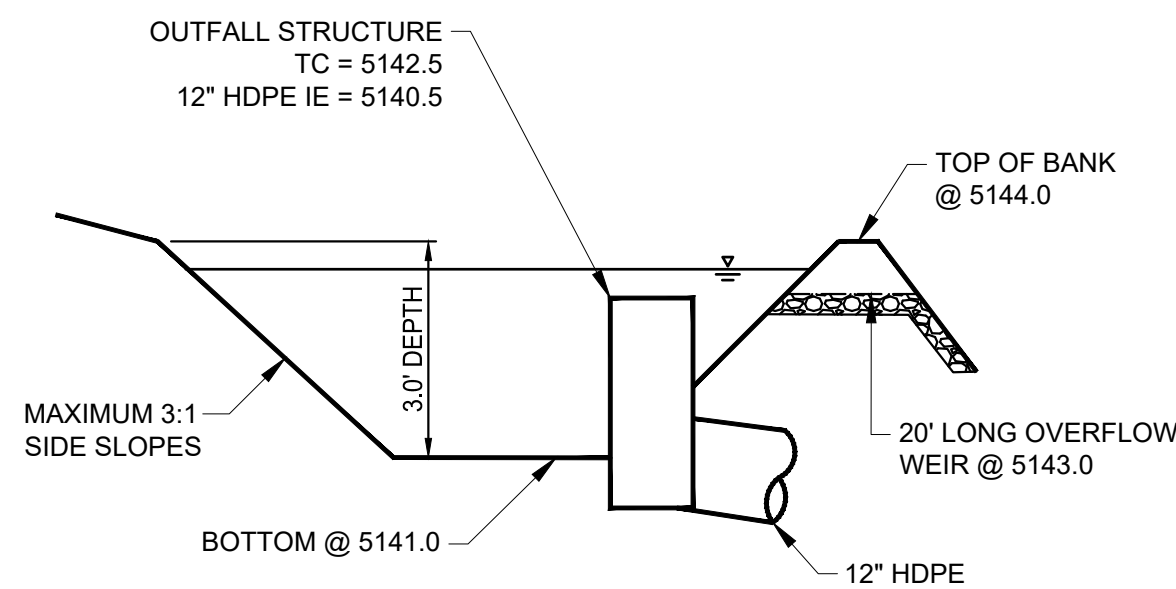
10-YR PEAK STAGE = 5143.0  
 100-YR PEAK STAGE = 5143.2  
 WQU VOLUME = 171.1 CF  
 WQU STAGE = ±5143.2



**DETENTION POND #2 DETAILS**  
NOT TO SCALE

STAGE/STORAGE TABLE			
STAGE	ELEV	CONTOUR AREA (SF)	STORAGE VOLUME (CF)
0	5141.0	217	0
1.5	5142.5	572	571
3.0	5144.0	1,057	1,774

10-YR PEAK STAGE = 5142.4  
 100-YR PEAK STAGE = 5142.5  
 WQ VOLUME = 450.8 CF  
 WQ STAGE = 5142.5



**DETENTION POND #3 DETAILS**  
NOT TO SCALE

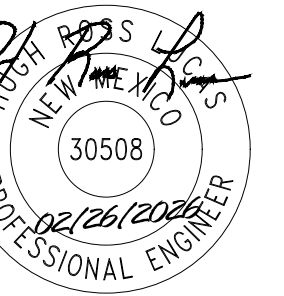
City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
 DATE: 3/4/2026  
 BY: [Signature]  
 HydroTrans # M09D036

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCES, OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUIRING CORRECTIONS FOR ERRORS OR OMISSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS, SUCH AS APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.

THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.

**FULMER LUCAS**

2002 RICHARD JONES RD - SUITE B200  
 NASHVILLE, TENNESSEE 37215  
 INFO@FULMERLUCAS.COM - (615) 346-3770

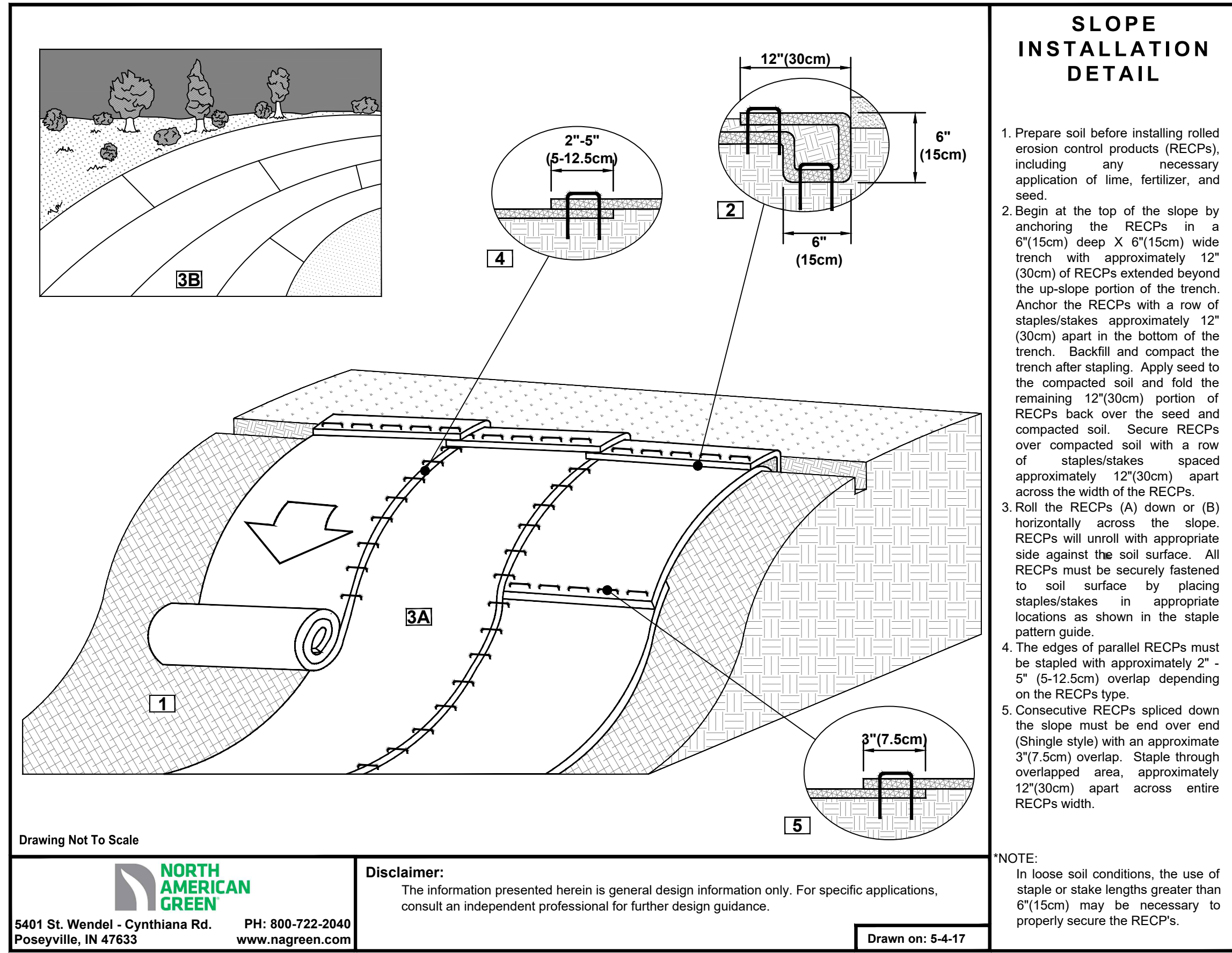


SITE DEVELOPMENT PLANS FOR:  
**BENAVIDES**  
 1125 SNOW VISTA BLVD SW  
 ALBUQUERQUE, NEW MEXICO 87121

DATE	DESCRIPTION
10/09/2025	CONCEPTUAL SITE PLAN
JAF	
10/24/2025	FIRE 1 PLAN
JAF	
12/12/2025	STORMWATER INITIAL SUBMITTAL
JAF	
01/19/2026	STORMWATER RESUBMITTAL
JAF	
01/20/2026	PERMIT RESUBMITTAL
JAF	
02/10/2026	SITE PLAN SUBMITTAL
JAF	
02/26/2026	HYDROLOGY RESUBMITTAL
JAF	

**SITE DETAILS**

**C4.2**



**SLOPE INSTALLATION DETAIL**

1. Prepare soil before installing rolled erosion control products (RECPs), including any necessary application of lime, fertilizer, and seed.
2. Begin at the top of the slope by anchoring the RECPs in a 6"(15cm) deep X 6"(15cm) wide trench with approximately 12" (30cm) of RECPs extended beyond the up-slope portion of the trench. Anchor the RECPs with a row of staples/stakes approximately 12" (30cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to the compacted soil and fold the remaining 12"(30cm) portion of RECPs back over the seed and compacted soil. Secure RECPs over compacted soil with a row of staples/stakes spaced approximately 12"(30cm) apart across the width of the RECPs.
3. Roll the RECPs (A) down or (B) horizontally across the slope. RECPs will unroll with appropriate side against the soil surface. All RECPs must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide.
4. The edges of parallel RECPs must be stapled with approximately 2" - 5" (5-12.5cm) overlap depending on the RECPs type.
5. Consecutive RECPs spliced down the slope must be end over end (Shingle style) with an approximate 3"(7.5cm) overlap. Staple through overlapped area, approximately 12"(30cm) apart across entire RECPs width.

**NOTE:** In loose soil conditions, the use of staple or stake lengths greater than 6"(15cm) may be necessary to properly secure the RECPs.

Drawing Not To Scale  
**NORTH AMERICAN GREEN**  
 5401 St. Wendel - Cynthia Rd. Poseyville, IN 47653  
 PH: 800-722-2040  
 www.nagreen.com  
 Drawn on: 5-4-17

**Disclaimer:** The information presented herein is general design information only. For specific applications, consult an independent professional for further design guidance.

**NOTE:** INSTALLATION AND MAINTENANCE SHALL MEET THE REQUIREMENTS OF THE TENNESSEE EROSION & SEDIMENT CONTROL HANDBOOK, TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, LATEST EDITION.

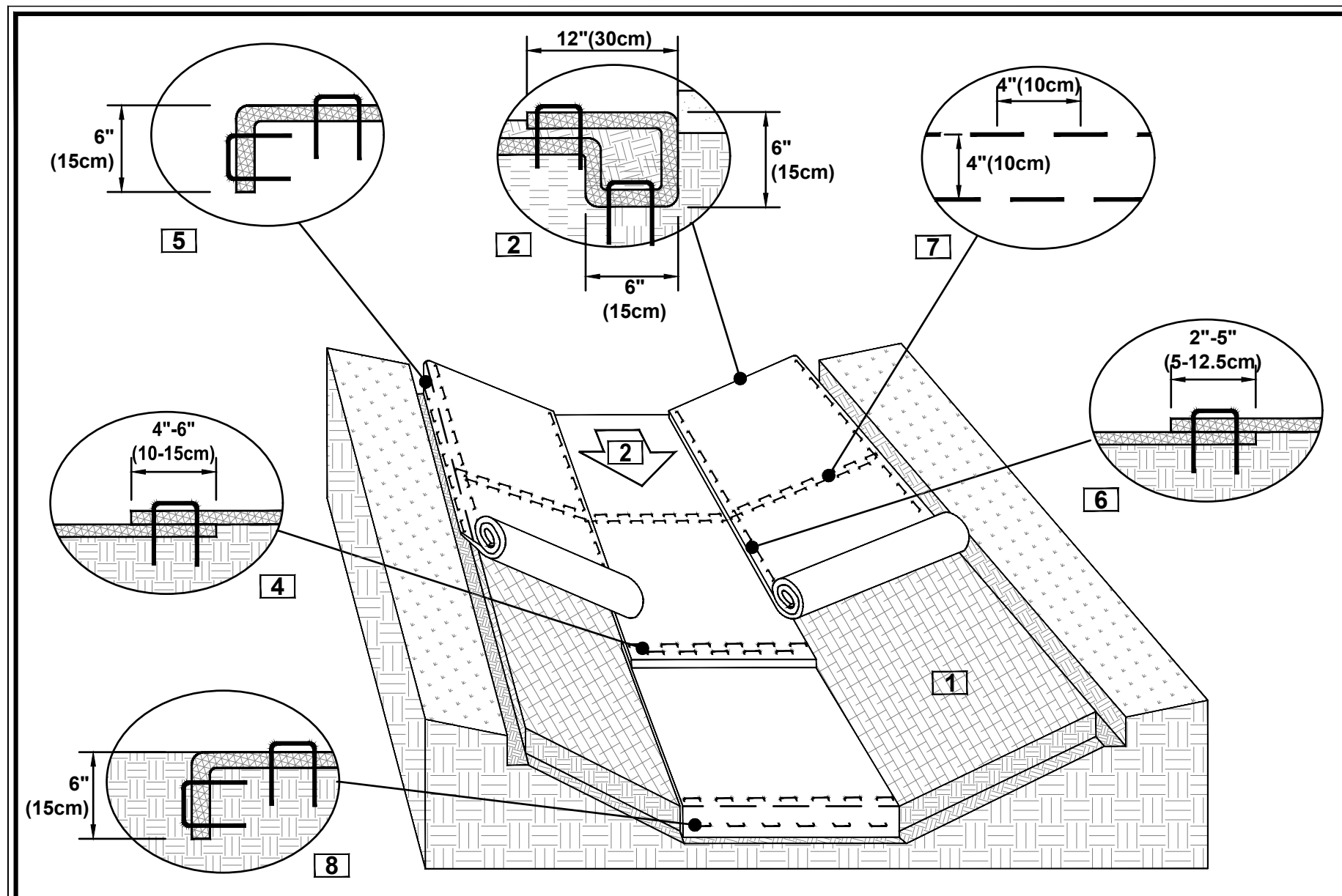
**EROSION CONTROL BLANKET (SLOPE INSTALLATION)**  
 NOT TO SCALE

**CONSTRUCTION SPECIFICATIONS**

1. EVEN IF PROPERLY DESIGNED, IF NOT PROPERLY INSTALLED, EROSION CONTROL BLANKETS WILL LIKELY NOT FUNCTION AS DESIRED. PROPER INSTALLATION IS IMPERATIVE. EVEN IF PROPERLY INSTALLED, IF NOT PROPERLY TIMED AND NOURISHED, VEGETATION WILL LIKELY NOT GROW AS DESIRED. PROPER SEED/VEGETATION SELECTION IS ALSO IMPERATIVE. GRADE THE SURFACE OF INSTALLATION AREAS SO THAT THE GROUND IS SMOOTH AND SOIL LOOSE. WHEN SEEDING PRIOR TO INSTALLATION, FOLLOW THE STEPS FOR SEED BED PREPARATION, SOIL AMENDMENTS, AND SEEDING. ALL GULLIES, RILLS, AND ANY OTHER DISTURBED AREAS MUST BE FINE GRADED PRIOR TO INSTALLATION. SPREAD SEED BEFORE BLANKET INSTALLATION. (IMPORTANT: REMOVE ALL LARGE ROCKS, DIRT CLODS, STUMPS, ROOTS, GRASS CLUMPS, TRASH, AND OTHER OBSTRUCTIONS FROM THE SOIL SURFACE TO ALLOW FOR DIRECT CONTACT BETWEEN THE SOIL SURFACE AND THE BLANKET.) TERMINAL ANCHOR TRENCHES ARE REQUIRED AT BLANKET END. TERMINAL ANCHOR TRENCHES SHOULD BE A MINIMUM OF 12 INCHES IN DEPTH AND 6 INCHES IN WIDTH.
2. **INSTALLATION FOR SLOPES:** PLACE THE BLANKET 2-3 FEET OVER THE TOP OF THE SLOPE AND INTO AN EXCAVATED END TRENCH MEASURING APPROXIMATELY 12 INCHES DEEP BY 6 INCHES WIDE. PIN THE BLANKET AT 1 FOOT INTERVALS ALONG THE BOTTOM OF THE TRENCH, BACKFILL, AND COMPACT. UNROLL THE BLANKET DOWN (OR ALONG) THE SLOPE MAINTAINING DIRECT CONTACT BETWEEN THE SOIL AND THE BLANKET. OVERLAP ADJACENT ROLLS A MINIMUM OF 3 INCHES. PIN THE BLANKET TO THE GROUND USING STAPLES OR PINS IN A 3 FOOT CENTER-TO-CENTER PATTERN OR AS RECOMMENDED BY MANUFACTURER.
3. **ANCHORING DEVICES:** 11 GAUGE, AT LEAST 6 INCHES LENGTH BY 1 INCH WIDTH, STAPLES OR 12 INCH MINIMUM LENGTH WOODEN STAKES ARE RECOMMENDED FOR ANCHORING THE BLANKET TO THE GROUND. DRIVE STAPLES OR PINS SO THAT THE TOP OF THE STAPLE OR PIN IS FLUSH WITH THE GROUND SURFACE. ANCHOR EACH BLANKET EVERY 3 FEET ALONG ITS CENTER. LONGITUDINAL OVERLAPS MUST BE SUFFICIENT TO ACCOMMODATE A ROW OF ANCHORS AND UNIFORM ALONG THE ENTIRE LENGTH OF OVERLAP AND ANCHORED EVERY 3 FEET ALONG THE OVERLAP LENGTH. ROLL ENDS MAY BE SPLICED BY OVERLAPPING 1 FOOT (IN THE DIRECTION OF WATER FLOW), WITH THE UPSTREAM/UPSLOPE MAT PLACED ON TOP OF THE DOWNSTREAM/DOWNSLOPE BLANKET. THIS OVERLAP SHOULD BE ANCHORED AT 1 FOOT SPACING ACROSS THE BLANKET. WHEN INSTALLING MULTIPLE WIDTH MATS HEAT SEAMED IN THE FACTORY, ALL FACTORY SEAMS AND FIELD OVERLAPS SHOULD BE SIMILARLY ANCHORED.

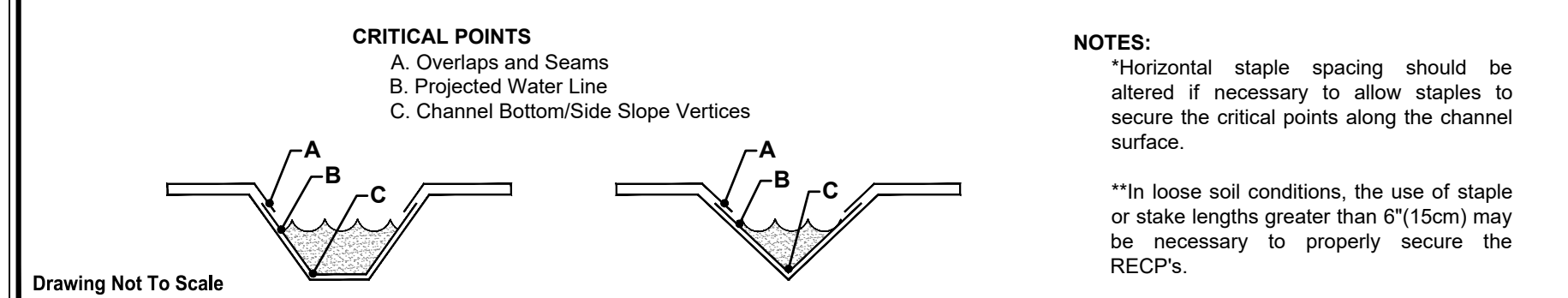
**MAINTENANCE AND INSPECTION POINTS**

1. GOOD CONTACT WITH THE GROUND MUST BE MAINTAINED, AND EROSION MUST NOT OCCUR BENEATH THE BLANKET.
2. ANY AREAS OF THE BLANKET THAT ARE DAMAGED OR NOT IN CLOSE CONTACT WITH THE GROUND SHALL BE REPAIRED AND STAPLED.
3. IF EROSION OCCURS DUE TO POORLY CONTROLLED DRAINAGE, THE PROBLEM SHALL BE FIXED AND THE ERODED AREA REPAIRED.
4. MONITOR AND REPAIR THE BLANKET AS NECESSARY UNTIL GROUND COVER IS ESTABLISHED. INSPECTIONS SHOULD INCLUDE WALKING ACROSS THE SLOPE TO CHECK FOR EROSION GULLIES THAT CAN BE FELT RATHER THAN SEEN.



**CHANNEL INSTALLATION DETAIL**

1. Prepare soil before installing rolled erosion control products (RECPs), including any necessary application of lime, fertilizer, and seed.
2. Begin at the top of the channel by anchoring the RECPs in a 6"(15cm) deep X 6"(15cm) wide trench with approximately 12"(30cm) of RECPs extended beyond the up-slope portion of the trench. Use ShoreMax mat at the channel/culvert outlet as supplemental soil protection as needed. Anchor the RECPs with a row of staples/stakes approximately 12"(30cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to the compacted soil and fold the remaining 12"(30cm) portion of RECPs back over the seed and compacted soil. Secure RECPs over compacted soil with a row of staples/stakes spaced approximately 12" apart across the width of the RECPs.
3. Roll center RECPs in direction of water flow in bottom of channel. RECPs will unroll with appropriate side against the soil surface. All RECPs must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide.
4. Place consecutive RECPs end-over-end (Shingle style) with a 4"-6" overlap. Use a double row of staples staggered 4" apart and 4" on center to secure RECPs.
5. Full length edge of RECPs at top of side slopes must be anchored with a row of staples/stakes approximately 12"(30cm) apart in a 6"(15cm) deep X 6"(15cm) wide trench. Backfill and compact the trench after stapling.
6. Adjacent RECPs must be overlapped approximately 2"-5" (5-12.5cm) (Depending on RECPs type) and stapled.
7. In high flow channel applications a staple check slot is recommended at 30 to 40 foot (9-12m) intervals. Use a double row of staples staggered 4"(10cm) apart and 4"(10cm) on center over entire width of the channel.
8. The terminal end of the RECPs must be anchored with a row of staples/stakes approximately 12" (30cm) apart in a 6"(15cm) deep X 6"(15cm) wide trench. Backfill and compact the trench after stapling.



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**EROSION CONTROL BLANKET (CHANNEL INSTALLATION)**  
 NOT TO SCALE

**FULMER LUCAS**  
 2002 RICHARD JONES RD - SUITE B200  
 NASHVILLE, TENNESSEE 37215  
 INFO@FULMERLUCAS.COM - (615) 345-3770



SITE DEVELOPMENT PLANS FOR:  
**BENAVIDES**  
 1125 SNOW VISTA BLVD SW  
 ALBUQUERQUE, NEW MEXICO 87121

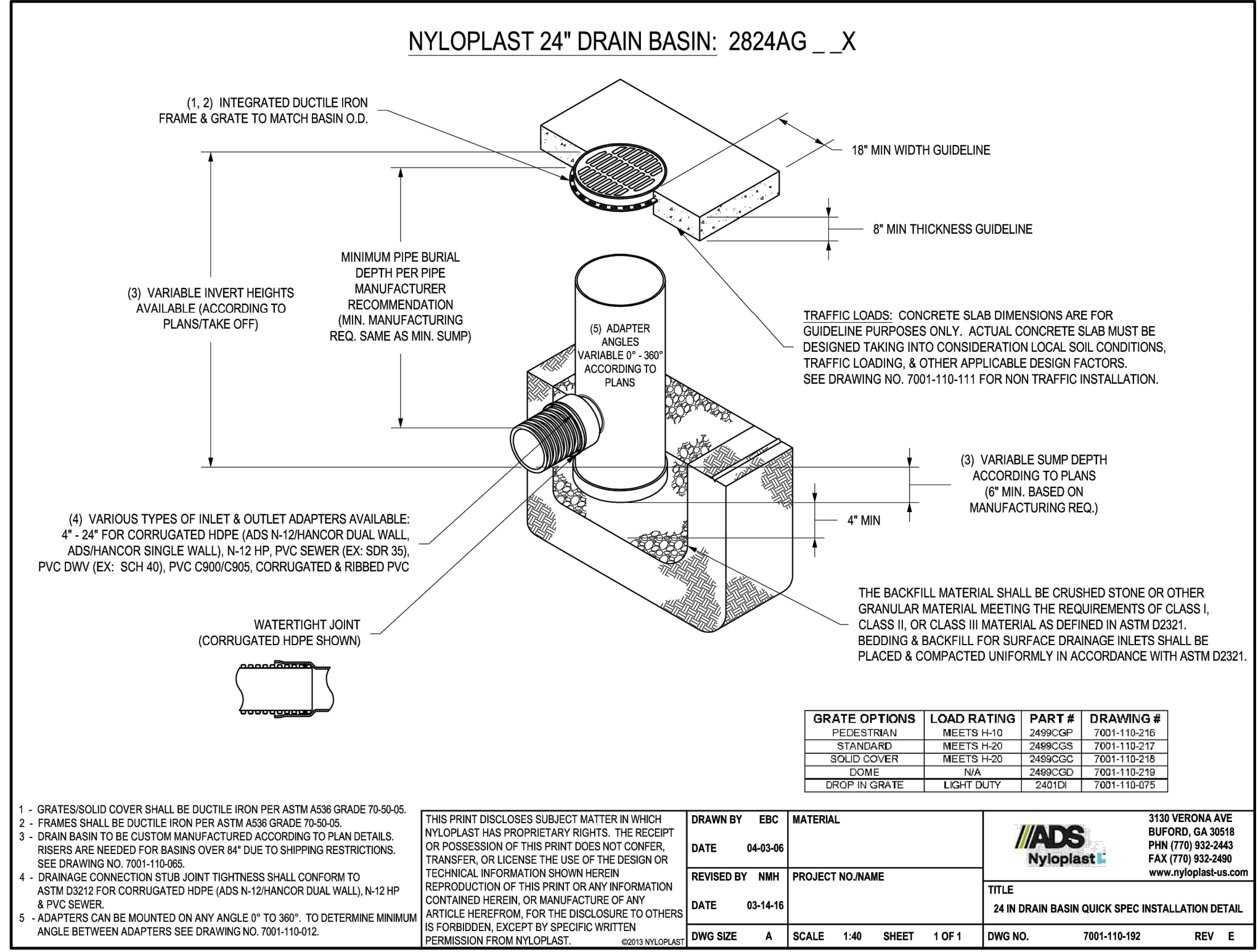
**AMAFCA GENERAL CONSTRUCTION NOTES:**

1. AMAFCA'S PROJECT MANAGER SHALL BE NOTIFIED BY EMAIL AT LICENSING@AMAFCA.ORG OR BY PHONE AT (505) 884-2215 AT LEAST TEN (10) DAYS PRIOR TO START OF ANY WORK.
2. AMAFCA'S PROJECT MANAGER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY CONCRETE INSTALLATION TO ALLOW FOR INSPECTION OF THE REBAR AND SUBSURFACE PREPARATION.
3. AMAFCA'S PROJECT MANAGER SHALL BE NOTIFIED BY EMAIL AT LICENSING@AMAFCA.ORG OR BY PHONE AT (505) 884-2215 AT LEAST TEN (10) DAYS PRIOR TO REQUEST FOR FINAL INSPECTION OF THE WORK WITHIN THE AMAFCA RIGHT-OF-WAY OR EASEMENT.
4. NO WORK WILL BE PERFORMED IN THE AMAFCA RIGHT-OF-WAY OR EASEMENT BETWEEN MAY 15 AND OCTOBER 15 WITHOUT PRIOR WRITTEN AUTHORIZATION FROM AMAFCA.
5. ALL SUBGRADE, BACKFILL AND EMBANKMENT SHALL BE COMPACTED TO 95% (±2% OF OPTIMUM MOISTURE PER ASTM D-1557) WITHIN THE AMAFCA RIGHT-OF-WAY OR EASEMENT. TESTING REPORTS SHALL BE PROVIDED TO AMAFCA AT THE FINAL INSPECTION.
6. CERTIFIED AS-BUILT PLANS SHALL BE SUBMITTED TO AMAFCA FOR ANY CONSTRUCTION WITHIN THE AMAFCA RIGHT-OF-WAY OR EASEMENT BEFORE FINAL WRITTEN ACCEPTANCE OR ACKNOWLEDGEMENT OF THE PROJECT.
7. ALL DISTURBED GROUND AREAS SHALL BE REVEGETATED IN ACCORDANCE WITH AMAFCA SUPPLEMENTAL TECHNICAL SPECIFICATION 632, AS CURRENTLY UPDATED.
8. ANY EXISTING SURVEY CONTROL MONUMENTS THAT ARE DISTURBED OR DAMAGED AS A RESULT OF THE CONSTRUCTION OR MAINTENANCE ACTIVITIES, SHALL BE REPLACED BY A LICENSED SURVEYOR IN NEW MEXICO AT THE LICENSEE'S EXPENSE. AMAFCA SHALL BE NOTIFIED AT LEAST TWO DAYS (48 HOURS) PRIOR TO ANY MONUMENT PLACEMENT.
9. THE LICENSEE AND/OR THEIR CONTRACTOR SHALL MAINTAIN OR REPAIR ALL AMAFCA INFRASTRUCTURE INCLUDING BUT NOT LIMITED TO FENCING, GATES, SIGNAGE, AND ALL OTHER FACILITIES. ALL REPAIRS WILL BE PERFORMED TO RETURN FACILITIES TO ORIGINAL OR AMAFCA-APPROVED CONDITION.
10. THE MAXIMUM WHEEL LOAD ALLOWED IN THE AMAFCA CHANNEL SHALL BE TWELVE THOUSAND (12,000) POUNDS.
11. NO TRACKED VEHICLES WILL BE ALLOWED IN AMAFCA HARD-LINED OR CONCRETE CHANNEL WITHOUT WRITTEN PERMISSION FROM AMAFCA.
12. CRANES OPERATING WITH OUTRIGGERS IN THE CHANNEL SHALL LIMIT THE OUTRIGGER FOOTPRINT LOAD AREA TO LESS THAN TWELVE THOUSAND (12,000) POUNDS.
13. DUST SUPPRESSION SHALL BE MAINTAINED SEVEN (7) DAYS A WEEK DURING CONSTRUCTION ACTIVITY. DURING PERIODS OF CONSTRUCTION INACTIVITY, THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN DUST CONTROL MEASURES.
14. THE LICENSEE AND/OR THEIR CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE TRACK-OUT REDUCTION MEASURES AND CLEAN UP ANY TRACK-OUT OF MATERIAL. THE CONTRACTOR SHALL CLEAN UP ANY SOIL DEPOSITS OR SPILLS ON ALL PAVED ROADS ALONG HAUL ROUTES.
15. THE LICENSEE AND/OR THEIR CONTRACTOR ARE RESPONSIBLE FOR ALL TRAFFIC AND PEDESTRIAN CONTROL.
16. AT THE END OF EACH WORKDAY AND DURING TIMES OF CONSTRUCTION INACTIVITY, THE CONTRACTOR SHALL ENSURE ALL ACCESS GATES TO THE FACILITY ARE CLOSED AND LOCKED.
17. THE LICENSEE AND/OR THEIR CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRASH AND DEBRIS REMOVAL IN THE AREA OF THE CONSTRUCTION ACTIVITY. ALL GRAFFITI WILL BE REMOVED OR APPROPRIATELY COVERED UP WITHIN ONE DAY (24 HOURS).
18. ANY FINES IMPOSED AGAINST AMAFCA DUE TO THE CONTRACTOR'S ACTIVITIES THAT VIOLATE THE CONDITIONS OF ANY REQUIRED FUGITIVE OR AMAFCA'S PROGRAMMATIC DUST PERMIT SHALL BE REIMBURSED BY THE LICENSEE AND/OR THEIR CONTRACTOR.
19. ANY FINES LEVIED AGAINST THE CONTRACTOR DUE TO ITS ACTIVITIES THAT VIOLATE ANY LOCAL STATUTES OR REQUIREMENTS SHALL BE PAID BY THE LICENSEE AND/OR THEIR CONTRACTOR.
20. IF AMAFCA IS FINED AS BEING THE LANDOWNER OF THE PROPERTY, DUE TO THE CONTRACTOR'S ACTIVITIES, THE CONTRACTOR OR THE LICENSEE SHALL REIMBURSE AMAFCA FOR ALL COSTS ASSOCIATED WITH PAYMENT OF THE FINE BY AMAFCA.
21. AT THE SUBSTANTIAL COMPLETION OF THE PROJECT, THE LICENSEE'S CONTRACTOR SHALL RESTORE TO CONDITIONS AS BEFORE CONSTRUCTION OR IMPROVE TO AMAFCA'S REQUIREMENT THE MAINTENANCE ACCESS ROADS IMPACTED BY THE PROJECT INCLUDING ALL NECESSARY GRADING AND TOP DRESSING OF THE ROAD BASE OR GRAVEL MATERIAL AT THE DIRECTION OF AUTHORIZED AMAFCA PERSONNEL. ANY CONCRETE, ASPHALT OR OTHER DEBRIS FOUND WITHIN THE CONSTRUCTION AREA WILL BE TRANSPORTED OFF SITE AND APPROPRIATELY DISPOSED OF BY THE LICENSEE'S CONTRACTOR AT NO COST TO AMAFCA.

THE TEMPORARY CONSTRUCTION AND ACCESS LICENSE IS SUBJECT TO THE EPA NPDES MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4) PERMIT NMR04A000 REQUIREMENTS AS LISTED BELOW, IF APPLICABLE:

1. THE CONTRACTOR SHALL SUBMIT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR APPROVAL BY AMAFCA BEFORE THE NOTICE OF INTENT (NOI) IS SUBMITTED TO EPA, IF AND ONLY IF, THE CONTRACTOR IS USING ANY AMAFCA FACILITY AS A BEST MANAGEMENT PRACTICE (BMP) OR IF A BMP WILL INHIBIT THE FUNCTION OF AN AMAFCA FACILITY.
2. THE CONTRACTOR SHALL IMPLEMENT AN EROSION AND SEDIMENT CONTROL PROGRAM TO MINIMIZE SEDIMENT ENTERING AMAFCA'S FACILITIES.
3. THE CONTRACTOR SHALL PROVIDE SWPPP INSPECTION AND ENFORCEMENT OF CONTROL MEASURES DURING CONSTRUCTION. COPIES OF ALL THE SWPPP INSPECTION REPORTS WILL BE SUBMITTED TO AMAFCA AS PART OF THE FINAL INSPECTION.
4. ANY FINES LEVIED AGAINST CONTRACTOR DUE TO ANY ACTIVITIES THAT VIOLATE CONDITIONS OF THE AMAFCA MS4 PERMIT NMR04A000 SHALL BE PAID BY THE CONTRACTOR AND/OR THE LICENSEE.
5. IF AMAFCA IS FINED AS OWNER, DUE TO THE CONTRACTOR'S ACTIVITIES, THE LICENSEE AND/OR THEIR CONTRACTOR SHALL REIMBURSE AMAFCA FOR ALL COSTS ASSOCIATED WITH PAYMENT OF THE FINE BY AMAFCA.

THESE CONDITIONS ARE INCLUDED AND ARE MADE A PART OF THE AGREEMENT BY MUTUAL UNDERSTANDING OF BOTH PARTIES.



GRATE OPTIONS	LOAD RATING	PART #	DRAWING #
PEDESTAL	MEETS H-10	2499C-CP	7001-110-2-16
STAIRCASE	MEETS H-10	2499C-CP	7001-110-2-17
SOLID COVER	MEETS H-10	2499C-CP	7001-110-2-18
DOMES	N/A	2499C-CP	7001-110-2-19
DROP IN CURB	LEIGHT QUITY	2501C	7001-110-2-20

3120 VERONA AVE  
 BUFFORD, GA 30518  
 PH: (770) 933-2443  
 FAX: (770) 933-3496  
 www.nyloplast.com

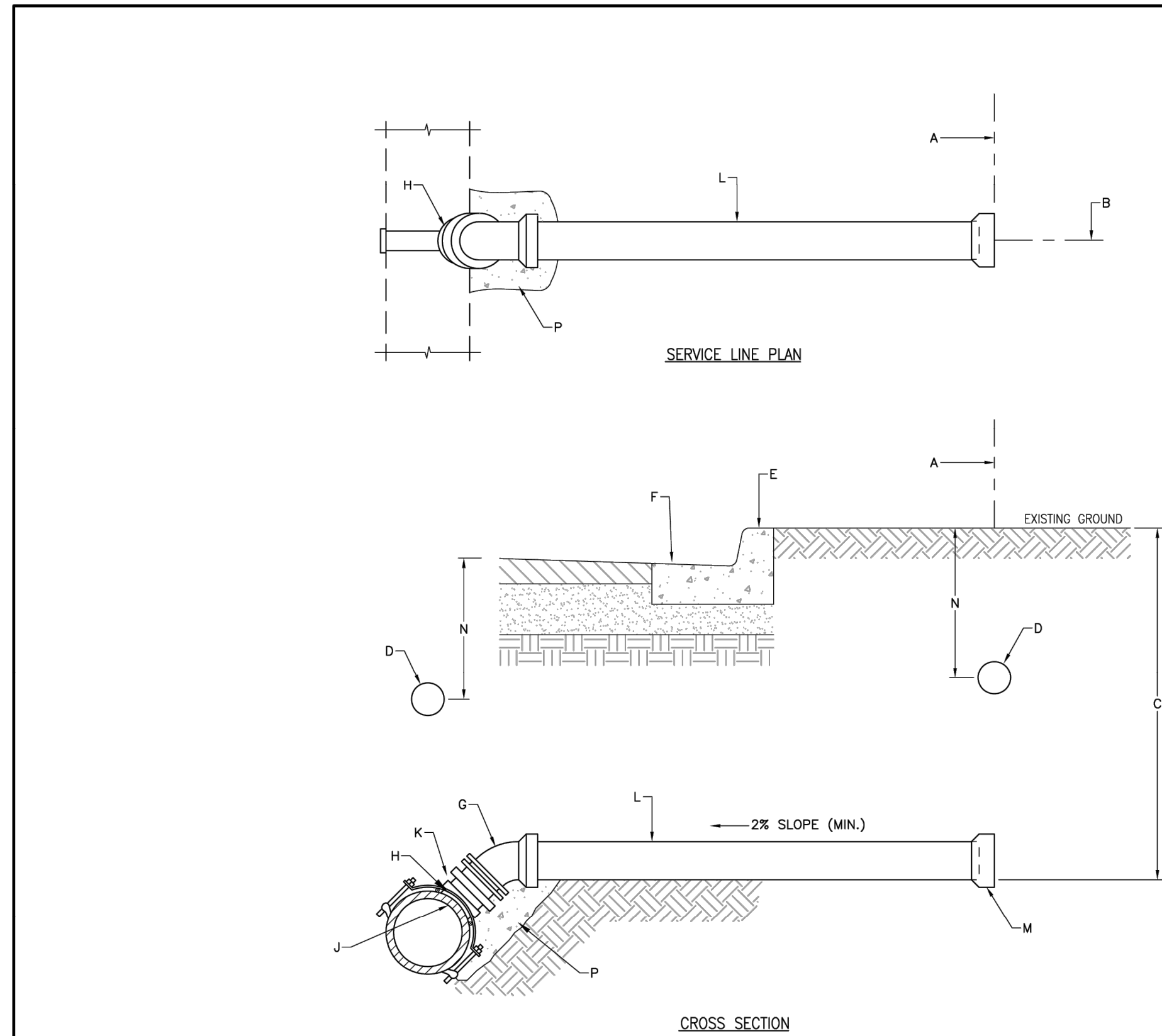
**ADSS**  
 Nyloplast

24 IN DRAIN BASIN QUICK SPEC INSTALLATION DETAIL  
 DWG NO. 7001-110-192 REV E

DATE	DESCRIPTION
10/08/2025	CONCEPTUAL SITE PLAN
10/24/2025	FIRE PLAN
12/12/2025	STORMWATER INITIAL SUBMITTAL
01/19/2026	STORMWATER RESUBMITTAL
01/09/2026	PERMIT RESUBMITTAL
02/10/2026	SITE PLAN SUBMITTAL
02/26/2026	HYDROLOGY RESUBMITTAL

**SITE DETAILS**

**C4.3**



**GENERAL NOTES**

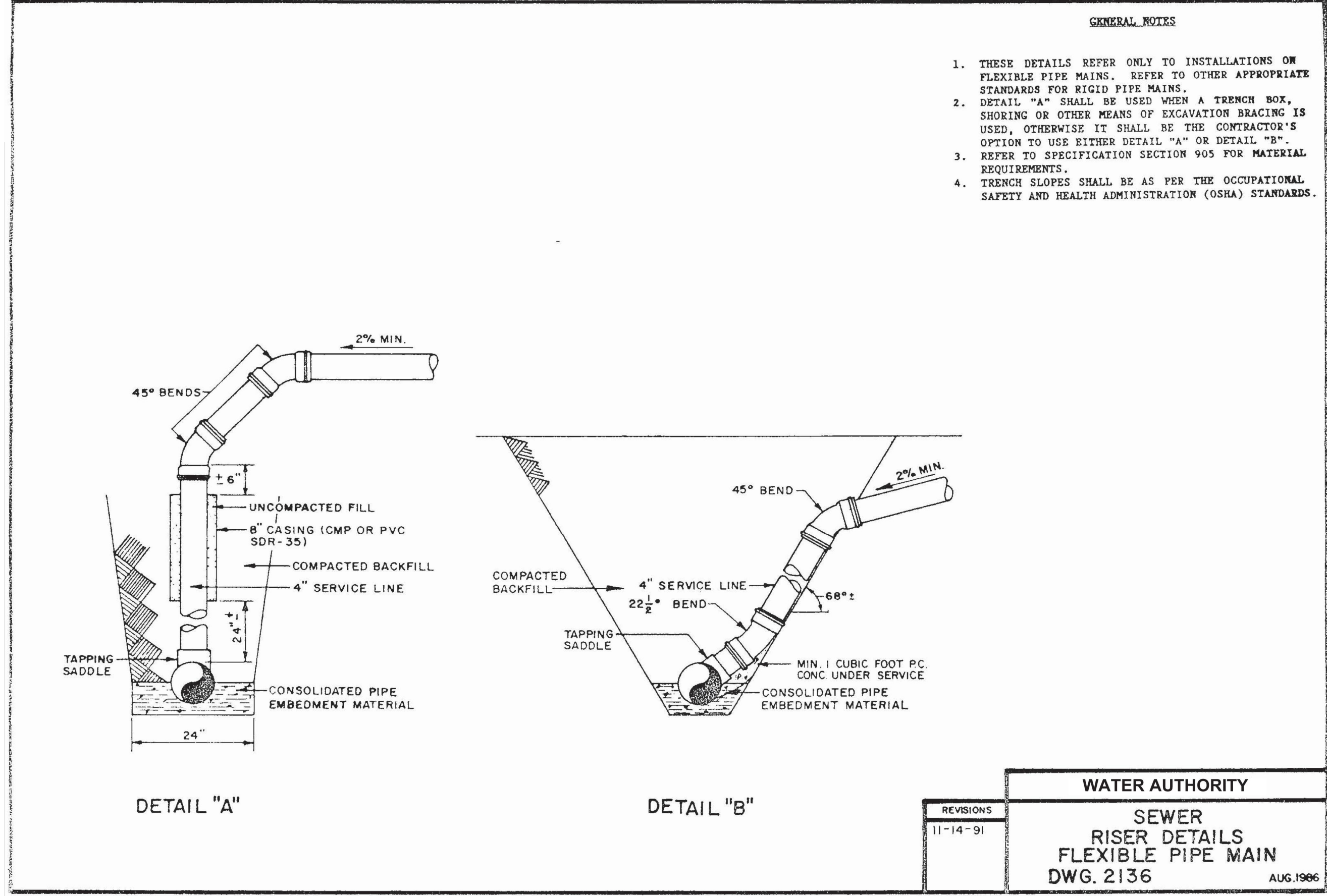
- ALL SERVICE LINES SHALL CONFORM TO THE PLUMBING CODE OF THE CITY OF ALBUQUERQUE.
- THE SANITARY SEWER SERVICE LATERAL IS CONSIDERED PRIVATE FROM THE MAIN LINE INCLUDING THE SERVICE TEE TO THE PROPERTY LINE AND BEYOND. ALL MAINTENANCE AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE PROPERTY OWNER FOR WHICH IT IS PROVIDING THE SERVICE.

**CONSTRUCTION NOTES**

- RIGHT-OF-WAY LINE.
- CENTER LINE OF SERVICE LINE.
- MINIMUM OF 4' TO 6' FROM INVERT TO TOP OF CURB AT RIGHT-OF-WAY LINE. MINIMUM DEPTH WILL DEPEND ON THE DEPTH OF THE MAIN SEWER LINE, THE MINIMUM SERVICE LINE SLOPE, THE DEPTH OF THE LOT BEING SERVED, LOCATION OF THE HOUSE ON THE LOT, AND THE GRADE OF THE LOT.
- ELECTRONIC MARKER DEVICE (EMD). SEE STANDARD SPECIFICATION SECTION 170.
- STAMP OR CHISEL PIPE DIAMETER, AND "S" ON TOP OF CURB OVER LOCATION OF SERVICE LINE, MINIMUM 1/4" DEEP.
- CURB & GUTTER.
- 22.5' OR 45' BEND.
- CORE DRILL.
- SERVICE LINE SHALL NOT PROTRUDE INTO SEWER MAIN.
- SANITARY SEWER TAPPING TEE PER WATER AUTHORITY APPROVED PRODUCTS LIST. DO NOT OVER TIGHTEN SADDLE BOLTS WHICH WOULD PREVENT FREE PASSAGE OF REQUIRED MANDREL. IN-LINE WYE CONNECTIONS ARE ALSO ACCEPTABLE FOR NEW CONSTRUCTION.
- SERVICE LINE AND NEW SERVICE CONNECTIONS TO EXISTING SEWER MAINS.
- PLUG OR CAP UNTIL LATERAL IS PLACED IN SERVICE.
- DEPTH PLACEMENT PER SECTION 170, AND MANUFACTURER'S RECOMMENDATIONS.
- BACKFILL UNDER SERVICE WITH MINIMUM 1 CUBIC FOOT OF CONCRETE.

REVISIONS	WATER AUTHORITY
JAN. 2013	SANITARY SEWER
JAN. 2016	SERVICE LINE DETAILS
	DWG. 2125
	MAY 2019

**SANITARY SEWER SERVICE LINE DETAILS**  
NOT TO SCALE



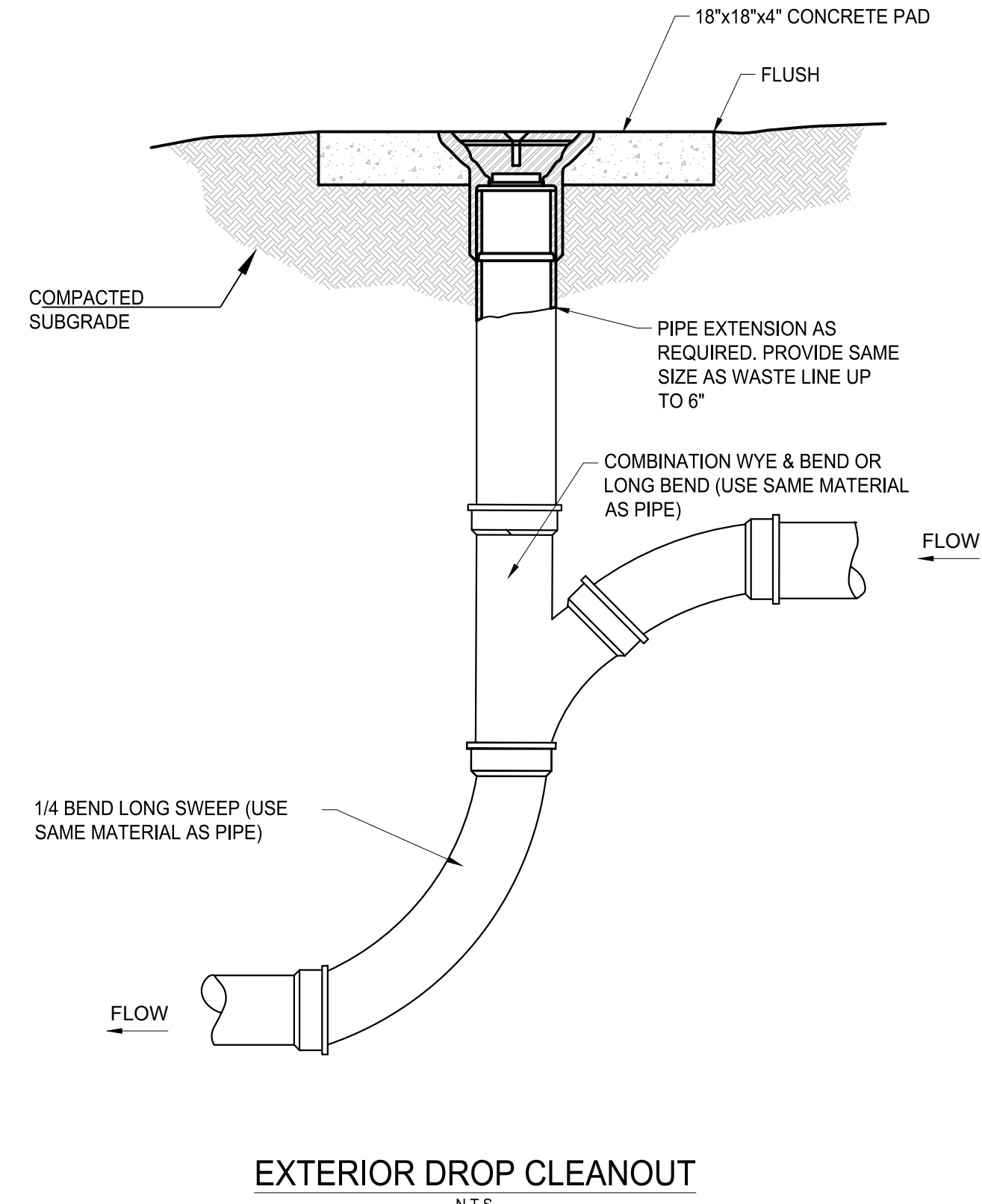
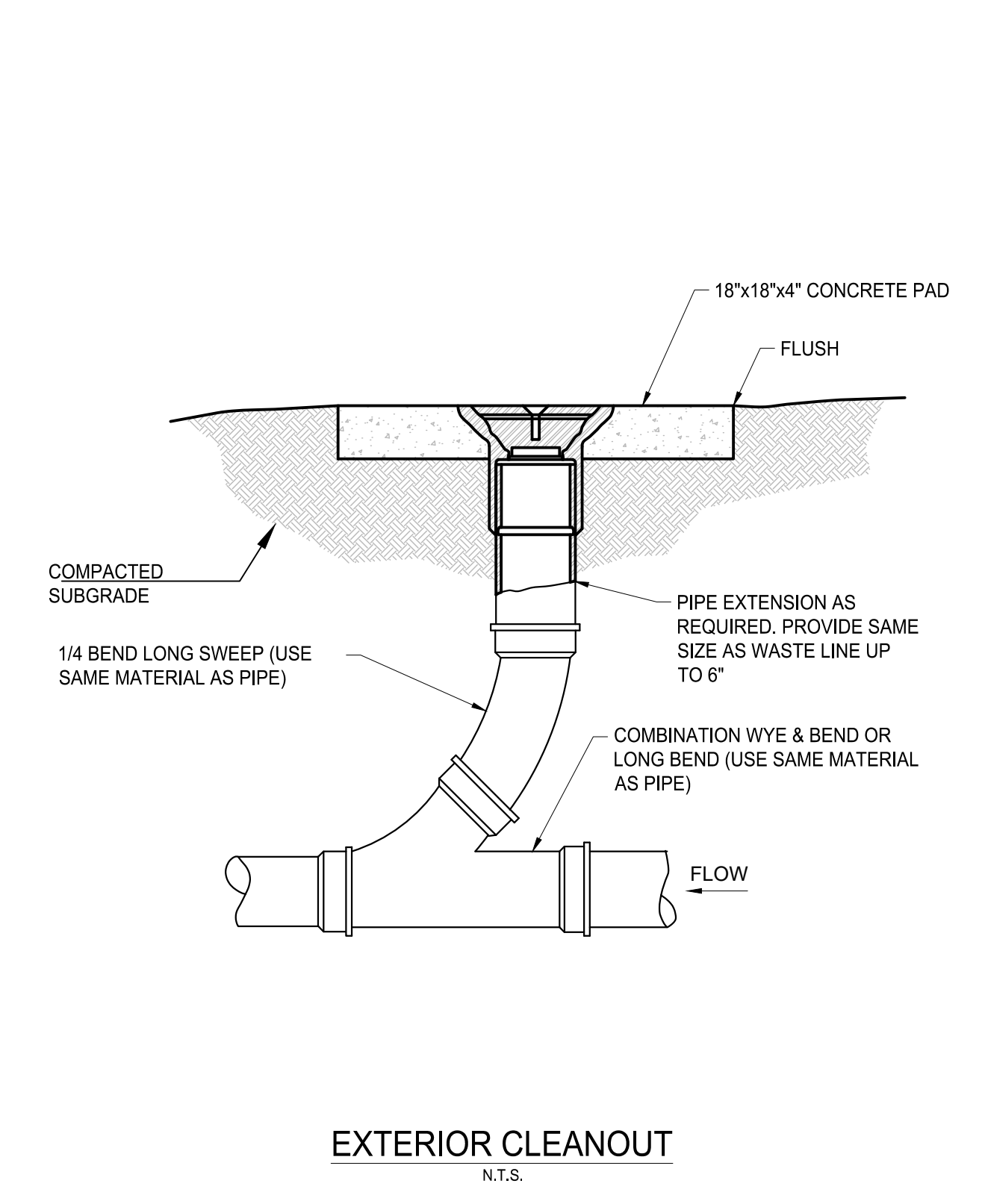
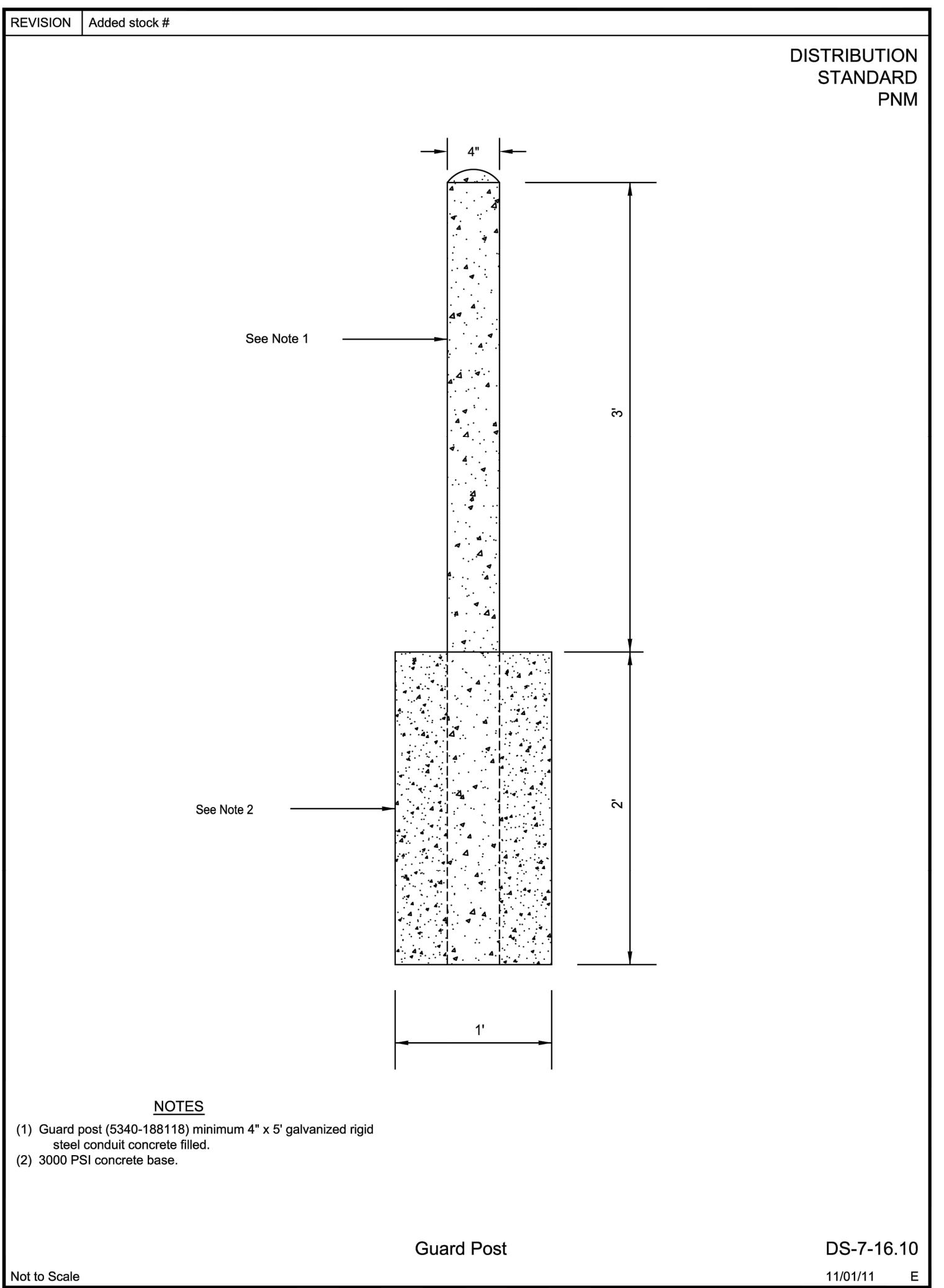
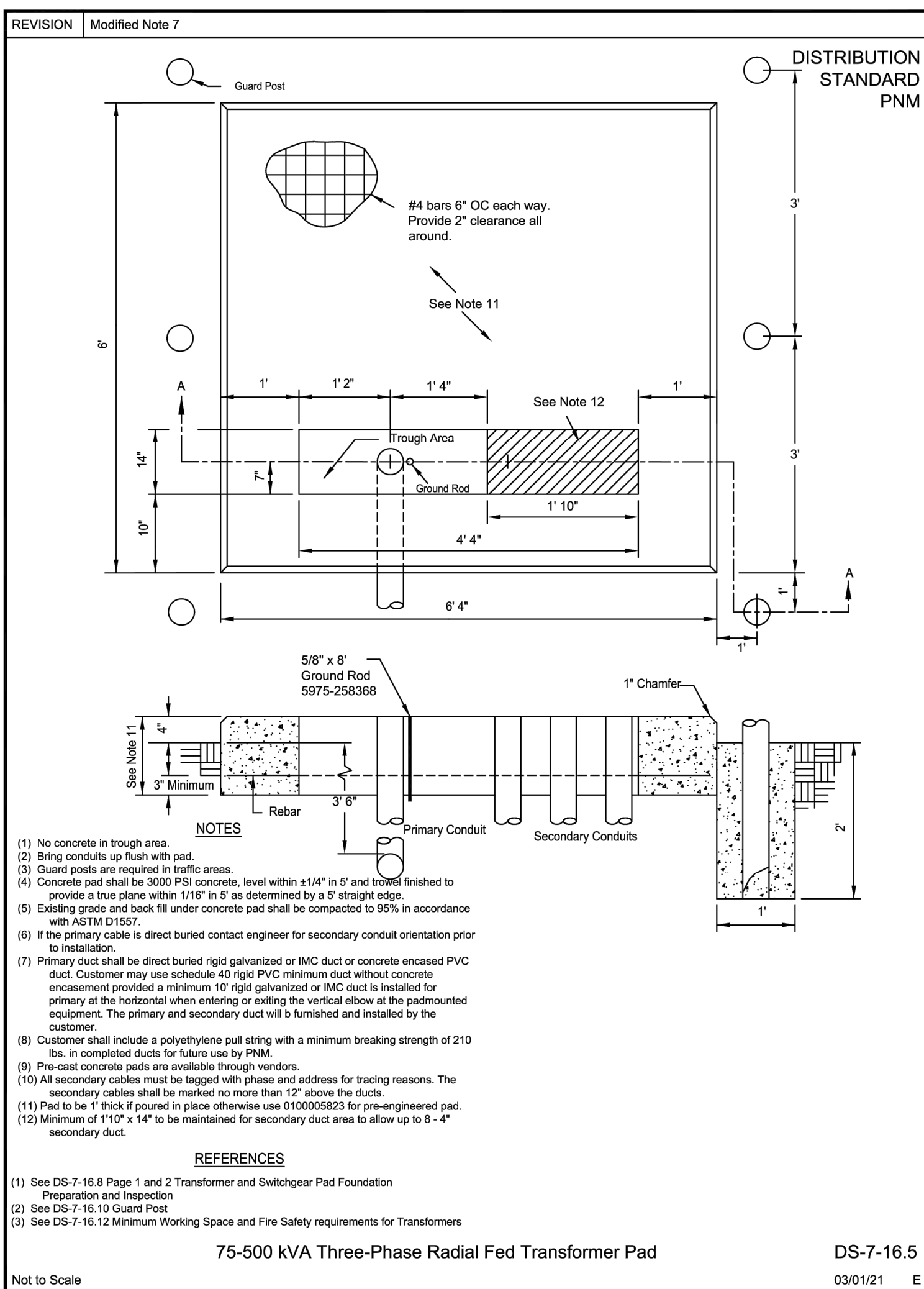
**GENERAL NOTES**

- THESE DETAILS REFER ONLY TO INSTALLATIONS ON FLEXIBLE PIPE MAINS. REFER TO OTHER APPROPRIATE STANDARDS FOR RIGID PIPE MAINS.
- DETAIL "A" SHALL BE USED WHEN A TRENCH BOX, SHORING OR OTHER MEANS OF EXCAVATION BRACING IS USED, OTHERWISE IT SHALL BE THE CONTRACTOR'S OPTION TO USE EITHER DETAIL "A" OR DETAIL "B".
- REFER TO SPECIFICATION SECTION 905 FOR MATERIAL REQUIREMENTS.
- TRENCH SLOPES SHALL BE AS PER THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS.

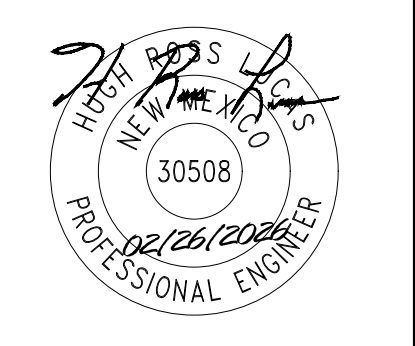
REVISIONS	WATER AUTHORITY
11-14-91	SEWER RISER DETAILS
	FLEXIBLE PIPE MAIN
	DWG. 2136
	AUG. 1996

**SEWER RISER DETAILS (FLEXIBLE PIPE MAIN)**  
NOT TO SCALE

**NOTE:**  
GC TO VERIFY RADIAL FED TRANSFORMER OR LOOP FED TRANSFORMER WITH PNC APPROVAL. IF LOOP FED REFER TO DETAIL DS-7-16.7.



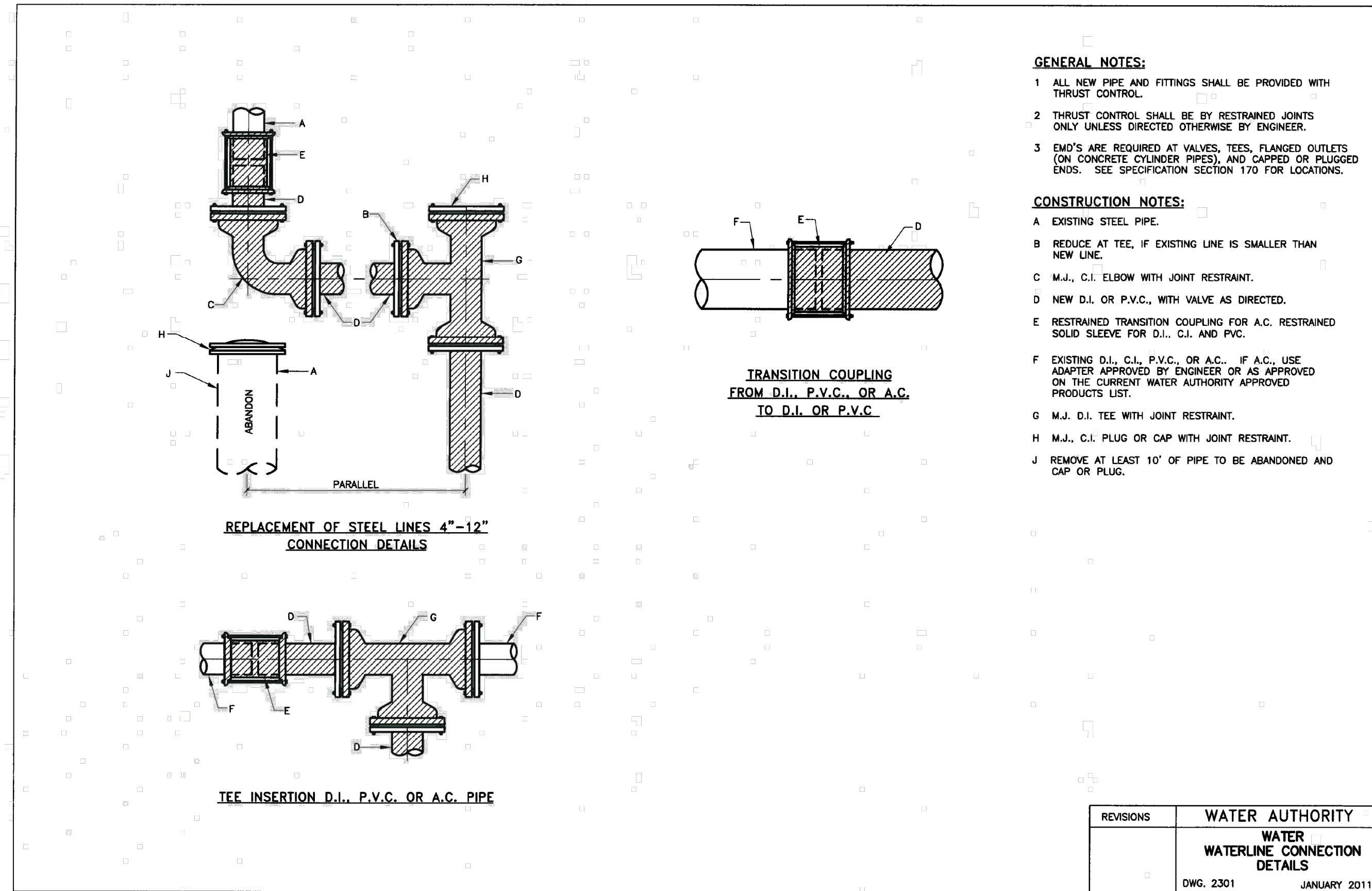
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2002 RICHARD JONES RD - SUITE B200  
NASHVILLE, TENNESSEE 37215  
INFO@FULMERLUCAS.COM - (615) 346-3770



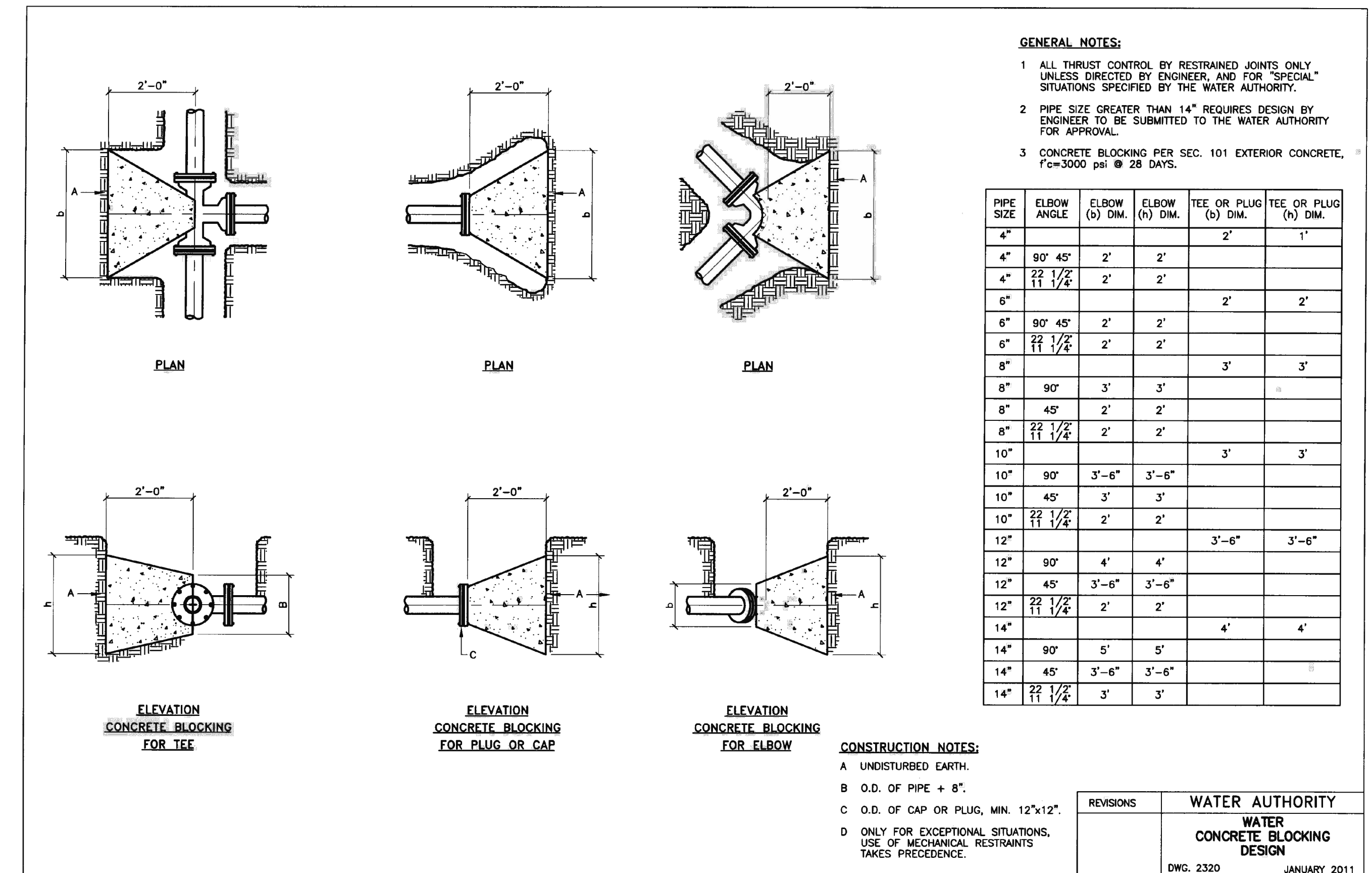
SITE DEVELOPMENT PLANS FOR:  
**BENAVIDES**  
1125 SNOW VISTA BLVD SW  
ALBUQUERQUE, NEW MEXICO 87121

DATE	DESCRIPTION
10/08/2025	CONCEPTUAL SITE PLAN
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01/19/2026	STORMWATER RESUBMITTAL
01/30/2026	PERMIT RESUBMITTAL
02/10/2026	SITE PLAN SUBMITTAL
02/26/2026	HYDROLOGY RESUBMITTAL

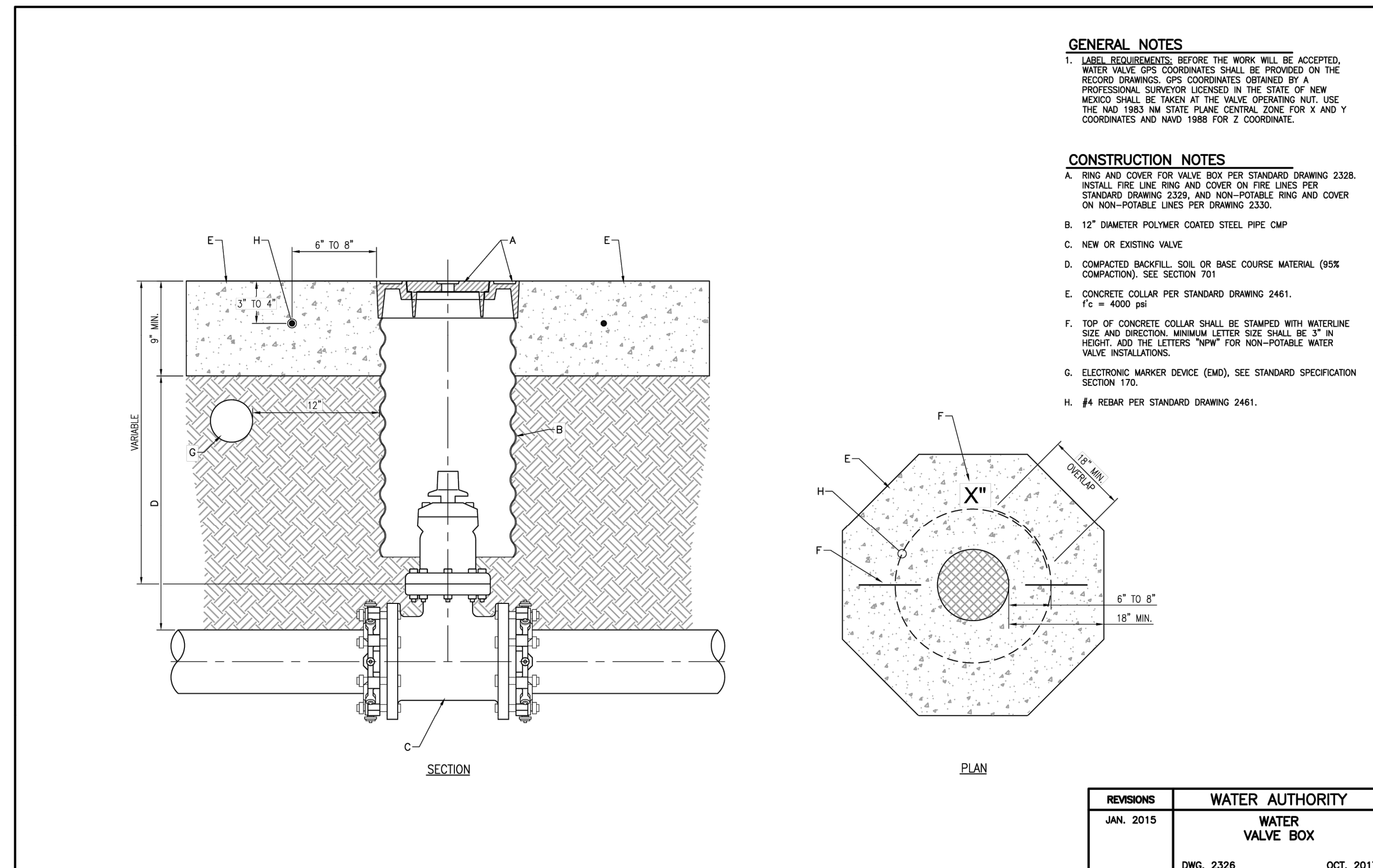
**SITE DETAILS**  
**C4.4**



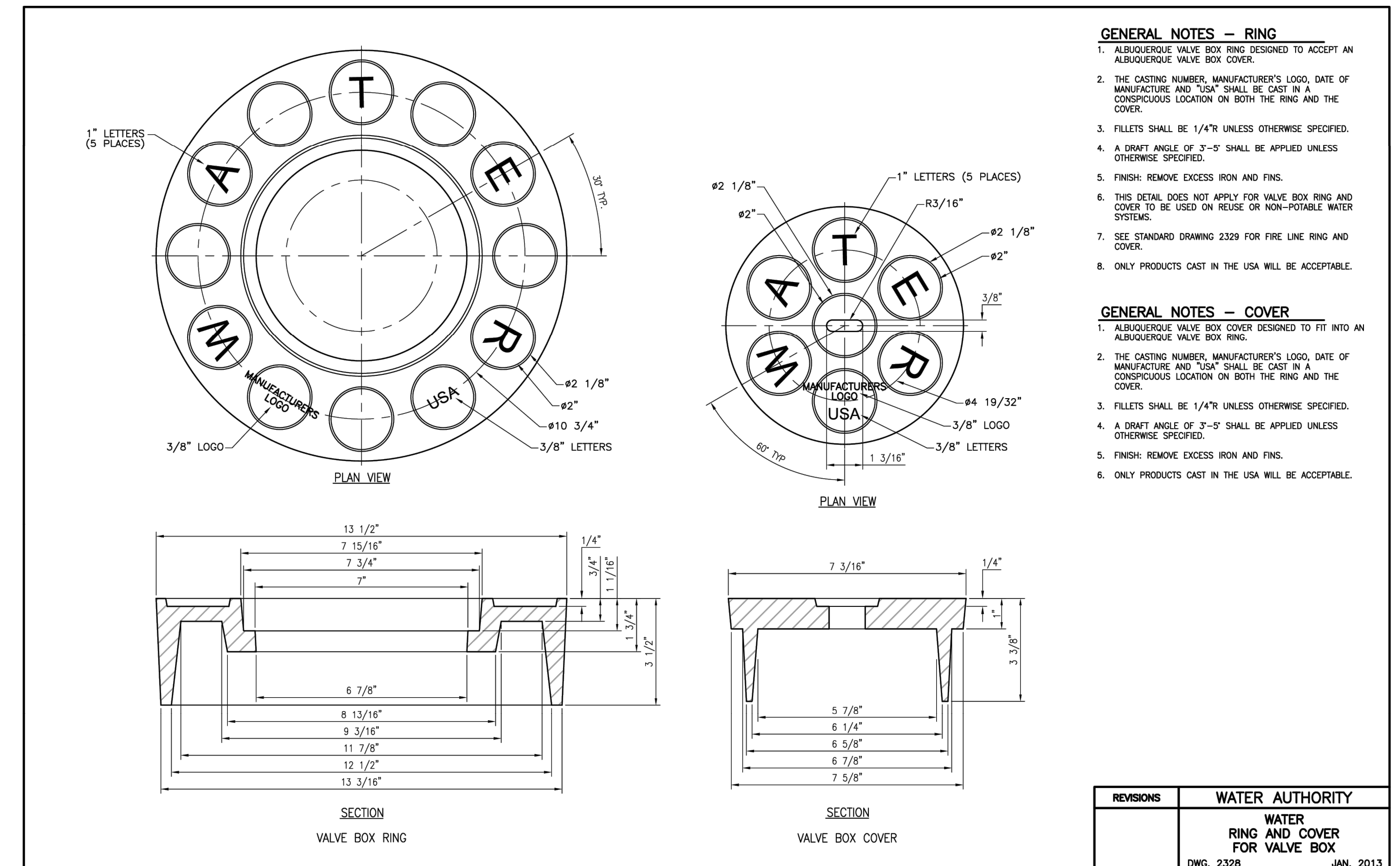
**WATERLINE CONNECTION LINE DETAILS**  
NOT TO SCALE



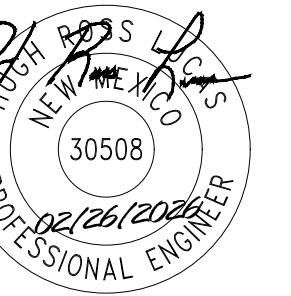
**WATER CONCRETE BLOCKING DETAIL**  
NOT TO SCALE



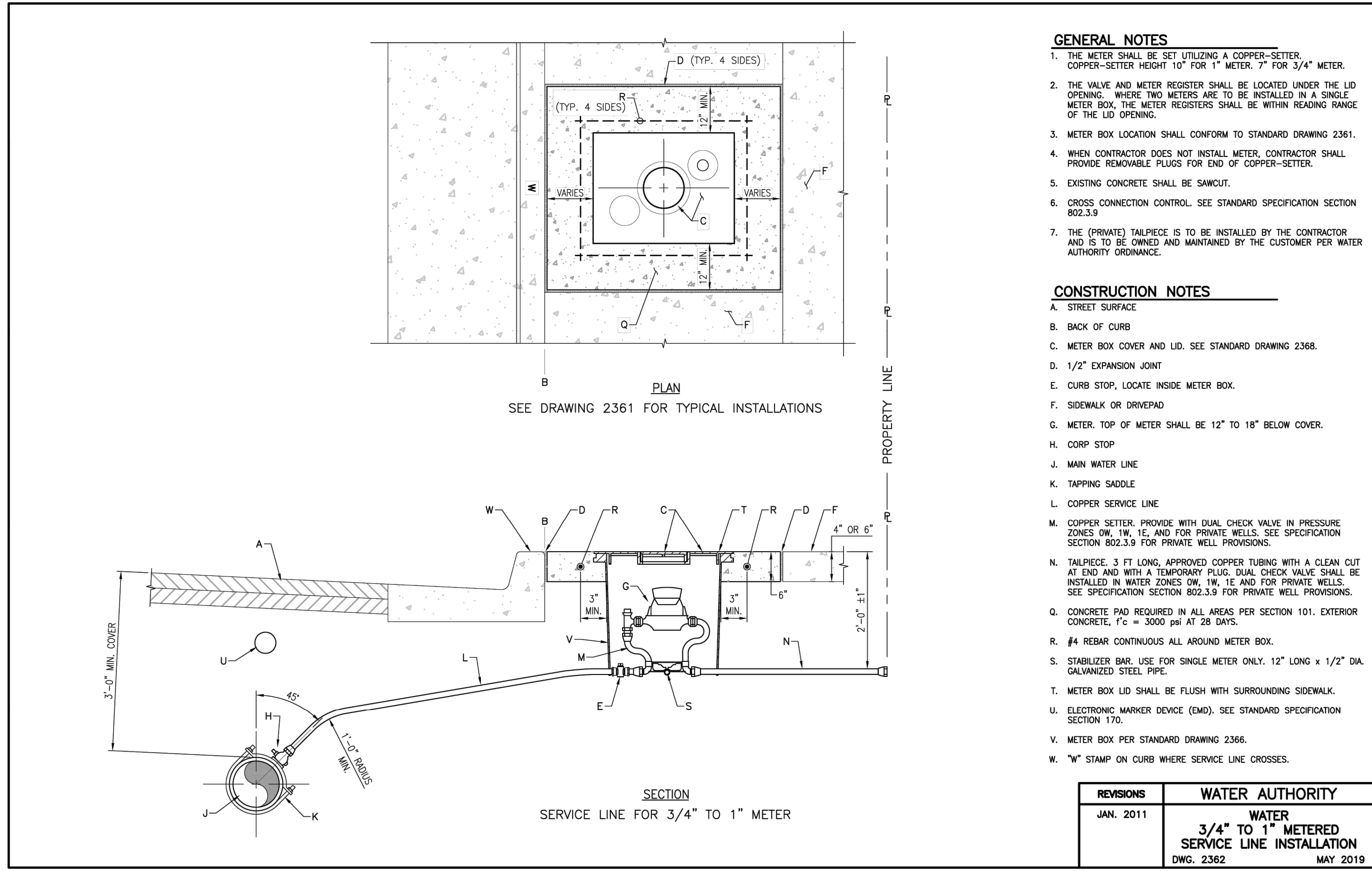
**WATER VALVE BOX**  
NOT TO SCALE



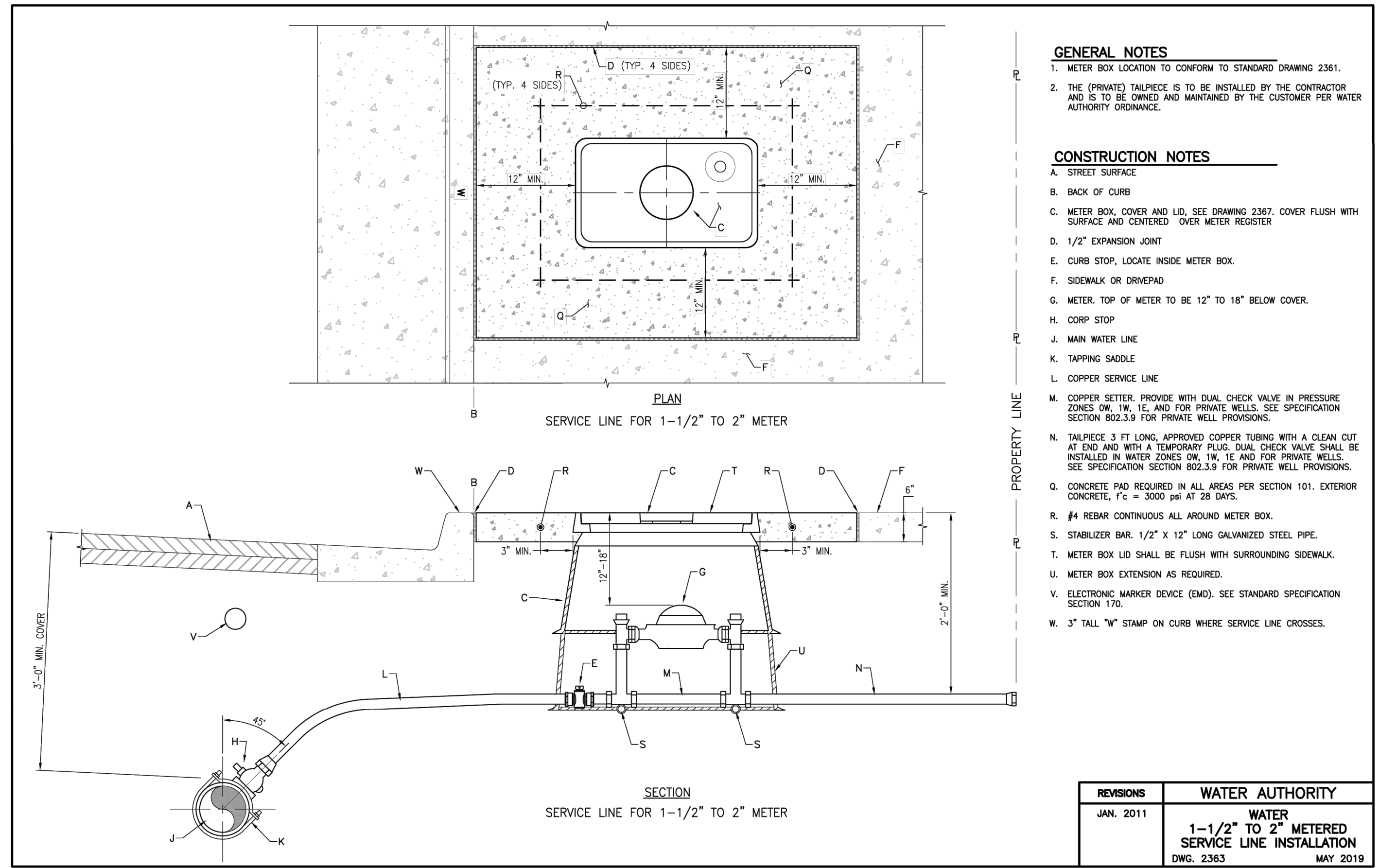
**WATER RING AND COVER FOR VALVE BOX**  
NOT TO SCALE



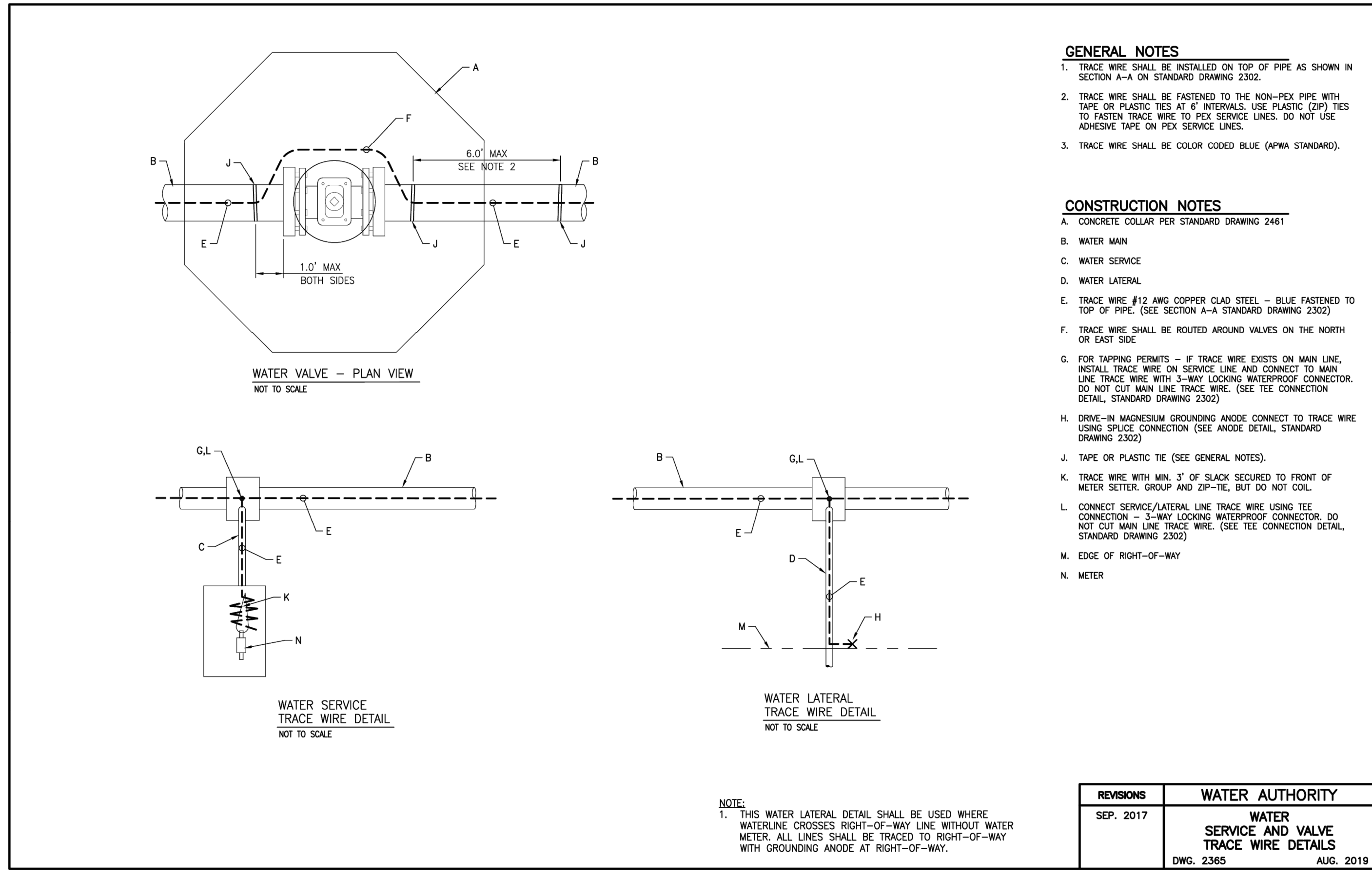
DATE	DESCRIPTION
10/08/2025	CONCEPTUAL SITE PLAN
JAF	FIRE PLAN
10/04/2025	STORMWATER INITIAL SUBMITTAL
JAF	12/2/2025
12/2/2025	STORMWATER RESUBMITTAL
JAF	01/19/2026
01/19/2026	PERMIT RESUBMITTAL
JAF	02/10/2026
02/10/2026	SITE PLAN SUBMITTAL
JAF	02/26/2026
02/26/2026	HYDROLOGY RESUBMITTAL



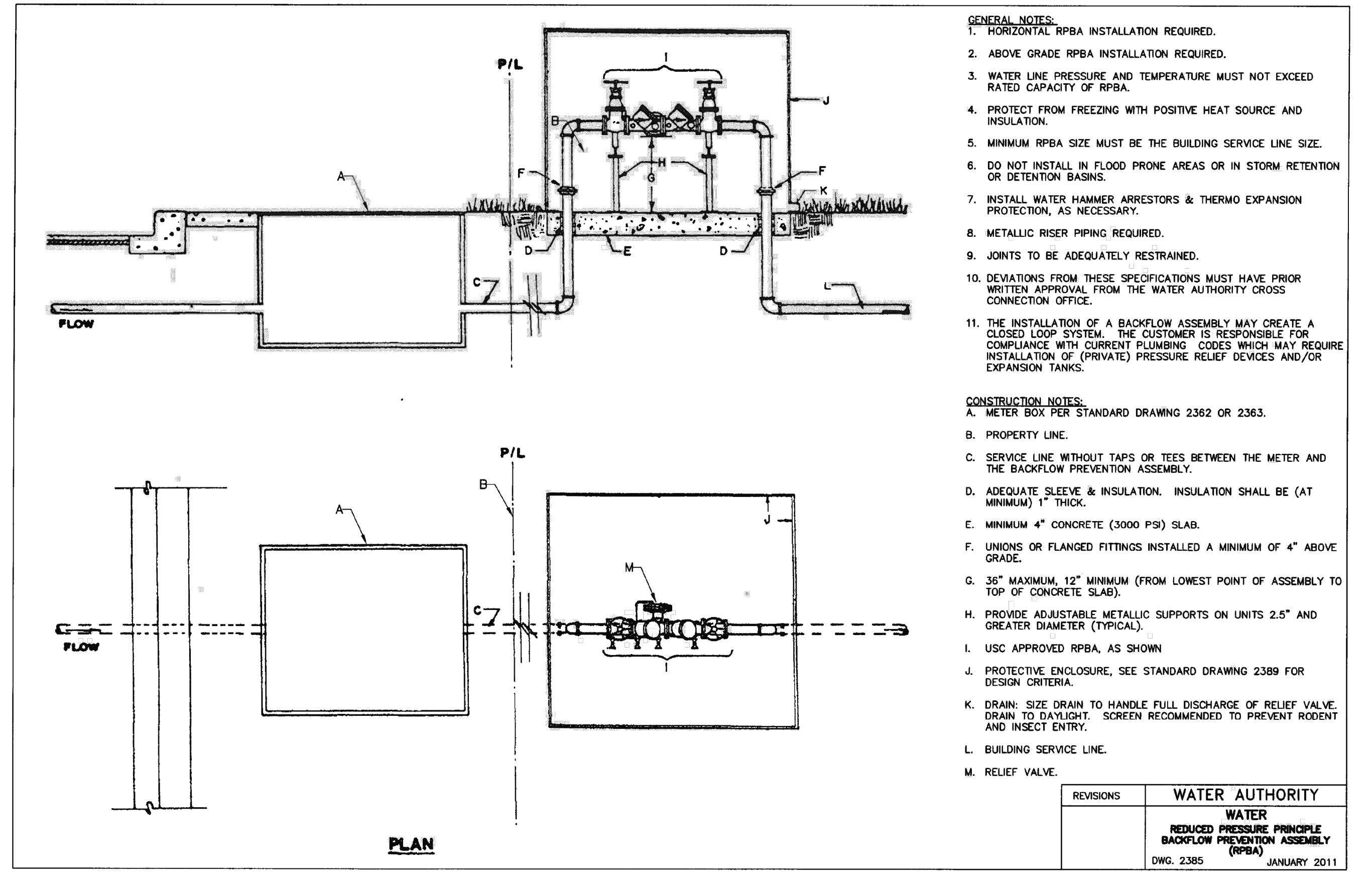
**WATER 3/4" TO 1" METERED SERVICE LINE INSTALLATION**  
NOT TO SCALE



**WATER 1-1/2" TO 2" METERED SERVICE LINE INSTALLATION**  
NOT TO SCALE

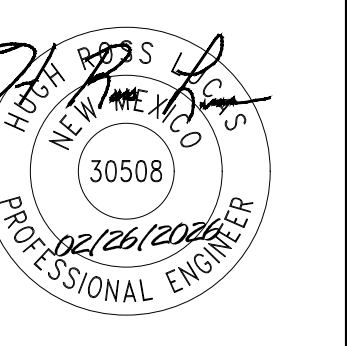


**WATER SERVICE AND VALVE TRACER WIRE DETAILS**  
NOT TO SCALE



**WATER REDUCED PRESSURE BACKFLOW ASSEMBLY**  
NOT TO SCALE

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2002 RICHARD JONES RD - SUITE B200  
NASHVILLE, TENNESSEE 37215  
INFO@FULMERLUCAS.COM - (615) 346-3770



SITE DEVELOPMENT PLANS FOR:  
**BENAVIDES**  
1125 SNOW VISTA BLVD SW  
ALBUQUERQUE, NEW MEXICO 87121

DATE	DESCRIPTION
10/08/2025	CONCEPTUAL SITE PLAN
10/24/2025	FIRE PLAN
12/12/2025	STORMWATER INITIAL SUBMITTAL
01/19/2026	STORMWATER RESUBMITTAL
01/30/2026	PERMIT RESUBMITTAL
02/10/2026	SITE PLAN SUBMITTAL
02/26/2026	HYDROLOGY RESUBMITTAL

SITE DETAILS

**C4.6**

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1084-35 BENAVIDES