

VICINITY MAP M-10-Z
NOT TO SCALE

DRAINAGE

LEGAL: Tract A, Westgate Heights
AREA: 4.555 acres (198,410 SF) PRECIPITATION ZONE: 1
BENCHMARK: City of Albuquerque Station '5-M10' being a brass cap
ELEV= 5042.77 (NAVD 1988)
SURVEYOR: Harris Surveying, Inc. dated December 2009
FLOOD HAZARD: From FEMA Panel 336, this site is identified as being within Zone 'X' which is located outside the 100-year floodplain

EXISTING CONDITIONS: The existing church site was developed in 1981 and includes a 9,500 SF sanctuary building along with two other smaller buildings, associated paved parking, and landscaping. Two existing retention ponds are located at the northwest corner and eastern end of the site. The two abutting public streets are both higher than the retention pond areas. Runoff in Basin A drains to the pond shown in the northwest corner of the site. Basin B drains to the northeast and runoff passes through a group of 3" square weep holes in a block wall on its way to the eastern retention pond. Basin C surface flows to the same retention pond. No runoff discharges from the site located in Zone 1.

BASIN	ACRES	'A'	'B'	'C'	'D'	Q(EXISTING)
A	1.791	0	32	44	24	1.791 x 2.96 = 5.3
B	0.937	0	9	73	18	0.937 x 3.07 = 2.9
C	1.827	0	5	5	90	1.827 x 4.18 = 7.6
						Total Q = 15.8 CFS

PROPOSED IMPROVEMENTS: The proposed improvements include a 10,000 SF church building along with additional paved parking. The proposed additional parking, located in the NW half of the site, is within Basins A & B with no improvements proposed in Basin C.

FIRST FLUSH: The first flush volume is calculated using the impervious areas within Basins A & B only. It is based on 0.44" rainfall less the 0.1" initial abstraction giving $V = [(1.791)(.74) + (0.937)(.85)](43560)(0.34/12) = 2,618$ CF. The enlarged pond at the NW corner of the site provides 2,800 CF storage volume at 0.6' depth.

DRAINAGE APPROACH: The site drainage will continue to follow historic flow paths, but increased impervious area will require additional onsite storage volume. The pond design is based on the 100-year 6-hour volume as site discharge is allowed at 0.1 CFS/acre. The storm water pond in the northwest corner of the site will discharge to the east via a 4" drain line. The flow rate will vary with depth as determined by the Orifice equation. The maximum flow rate when $H=1.1'$ is as follows:

$$Q = K \times A \times (2gh)^{1/2} = (0.6)(0.0873)(8.42) = 0.44 \text{ CFS} \quad [<0.45 \text{ CFS}]$$

BASIN	AREA (SF)	'A'	'B'	'C'	'D'	V(DEVELOPED)
A	78,005	0	12	14	74	(78005)(0.1398) = 10,905 CF
B	40,804	0	9	6	85	(40804)(0.1496) = 6,104 CF
C	79,584	0	5	5	90	(79584)(0.1547) = 12,310 CF

POND	ELEV	AREA	VOL(CF)
NW	55	4,137	0
	56	5,900	5,018
	57	7,670	11,800 [$>10,905$ CF]

EAST - EXISTING	ELEV	AREA	VOL(CF)
	45	300	0
	46	560	430
	47	880	1150
	48	1400	2290
	49	1930	3955
	50	3790	6815
	51	5810	11615
	52	8040	18540 [$>18,414$ CF]

4" drain line is proposed to discharge storm water to Summerfield Place SW into the back of an existing storm drain inlet. A 3" by 3" reducer will be located at the inlet end to control discharge to the allowable 0.1 CFS/acre based on a maximum water depth of 52-48.1 = 3.9' 4" DISCHARGE USED SMM 10/29/14
 $Q = K \times A \times (2gh)^{1/2} = (0.6)(0.049)(15.8) = 0.46 \text{ CFS}$
Developed runoff will surface flow to the storm water basins at the NW and NE corners of the site per historic conditions. The proposed improvements will increase site runoff, but by enlarging the onsite detention pond, the impact to downstream drainage facilities will be minimized.

DRAINAGE CERTIFICATION

I, SCOTT M MCGEE, NMPE 10519, OF THE FIRM SCOTT M MCGEE PE, LLC, HEREBY CERTIFY THAT THIS SITE HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/29/14. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY DAVID R. VIGIL, NMPS 8911, OF THE FIRM CONSTRUCTION SURVEY TECHNOLOGIES, INC. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 1/13/16 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

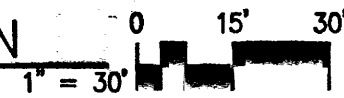
THE RECORD INFORMATION SHOWN HEREON IS NOT NECESSARILY COMPLETE AND IS ONLY INTENDED TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING/DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT ACCURACY VERIFICATION BEFORE USING IT FOR ANY PURPOSE.

Scott M McGee 1/14/16

SCOTT M MCGEE, NMPE 10519



GRADING AND DRAINAGE PLAN



LEGEND

- RD = ROOF DRAIN
- FF= 5062.0 = FINISH FLOOR ELEVATION
- INV = INVERT
- EXISTING CONTOUR
- PROPOSED CONTOUR
- FLOW ARROW
- BASIN A DRAINAGE BASIN ID
- DRAINAGE BASIN BOUNDARY
- SPOT ELEVATION
- x 60.66 AS-BUILT ELEVATION

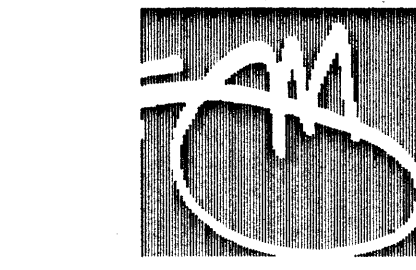
KEYED NOTES

- NEW ASPHALT PAVING TO BE FLUSH WITH SIDEWALK ELEVATION AROUND BUILDING PERIMETER.
- NEW LANDSCAPE MEDIAN AREAS WITH FINISH GRADE DEPRESSED 2'-4" BELOW ADJACENT ASPHALT ELEVATION.
- NEW CURB OPENINGS TO ALLOW RUNOFF TO ENTER/EXIT MEDIANS.
- NEW ACCESSIBLE PARKING SPACE AND ACCESSWAY TO NOT EXCEED 2% SLOPE IN ANY DIRECTION.
- NEW TRENCH DRAIN (6) LOCATED AT ROOF DRAIN OUTLETS TO DISCHARGE TO PLANTER. PROVIDE 8" WIDE BY 6" HIGH CURB OPENING ON OPPOSITE SIDE OF PLANTER FOR OVERFLOW.
- BUILD NEW 32 LF 6" PVC DRAIN LINE TO CONNECT TO EXISTING CATCH BASIN ON SUMMERFIELD PLACE PER COA STD DWG NO 2237. INVERT AT CATCH BASIN = 47.30 AND INLET INV = 47.94. INST. FALL 3" BY 6" REDUCER AT INLET END SMM 10/29/14

S. O. 19 : NOTICE TO CONTRACTORS

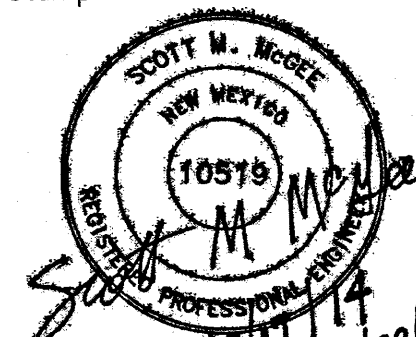
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R/W.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1990, (NM ONE CALL "811") FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		



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Stamp



Consultant

Client

Archdiocese of Santa Fe
4000 St. Joseph Pl. N.W.
Albuquerque, NM 87120

Revisions

No.	Date	Description

Issue Date: SEPTEMBER 4, 2014

Project No. JMZ 032013

Doc. Phase: 100% CDS

FOR PERMIT AND FOR CONSTRUCTION

Drawn By: CB

Checked By: SMM

Principal: SMM

Signed: _____

Date: _____

License No. _____

Project Name

Santuario
San Martin De Porres
8301 Camino San Martin SW
Westgate Heights
Albuquerque, NM 87121

Sheet Title

GRADING AND DRAINAGE PLAN

Sheet Number

C-101

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NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	63°52'48"	S 79°44'36" E	60.00	66.99	63.48
C2	30°48'28"	S 83°41'23" V	60.00	32.26	31.87
C3	31°42'00"	N 65°03'23" V	617.53	341.66	337.32
C4	90°00'00"	N 04°12'23" V	25.00	39.27	35.36
C5	49°42'54"	N 65°39'04" E	344.33	298.77	289.49
C6	90°14'25"	S 44°21'56" E	25.00	39.37	35.43

SITE DATA

LEGAL: TRACT A, WESTGATE HEIGHTS
ADDRESS: 8301 CAMINO SAN MARTIN

SITE AREA: 4.555 ACRES (195,410 SF)

ZONING: SU-1 FOR CHURCH & RELATED FACILITIES

BENCHMARK: CITY OF ALBUQUERQUE STATION
5-MO BEING A BRASS CAP
ELEV= 5042.71 (NAVD 1988)

PARKING CALCULATIONS

NEW FELLOWSHIP HALL BUILDING
REQUIRED: 1 SPACE FOR EACH 4 SEATS
UNCONCENTRATED SEATING
461 SEATS / 4 = 115 SPACES
PARKING PROVIDED: 133 SPACES
ADA PARKING REQUIRED: 8 SPACES
ADA PARKING PROVIDED: 8 SPACES
MOTORCYCLE PARKING REQUIRED: 4 SPACES
MOTORCYCLE PARKING PROVIDED: 4 SPACES
BICYCLE PARKING REQUIRED: 4 SPACES
BICYCLE PARKING PROVIDED: 7

FUTURE OFFICE BUILDING
ONE SPACE PER 200 SF NET LEASABLE AREA:
9,000 GROSS SQUARE FEET
PARKING REQUIRED: 15 SPACES
PARKING PROVIDED: 15 SPACES
ADA PARKING REQUIRED: 1 SPACE
ADA PARKING PROVIDED: 1 SPACE
MOTORCYCLE PARKING REQUIRED: 1 SPACE
MOTORCYCLE PARKING PROVIDED: 1 SPACE
BICYCLE PARKING REQUIRED: 1 SPACE
BICYCLE PARKING PROVIDED: 2 SPACE

EXISTING SANCTUARY
1 SPACE FOR EACH 4 SEATS IN MAIN SANCTUARY
(EA: 30 INCH OF PEP SPACE IS CONSIDERED
ONE SEAT) 675 LF OF BENCH
675/2.5 = 270 SEATS
270/4 = 67.5 OR 68 SPACES
PARKING REQUIRED: 68 SPACES
PARKING PROVIDED: 68 SPACES
ADA PARKING REQUIRED: 4 SPACES
ADA PARKING PROVIDED: 4 SPACES
MOTORCYCLE PARKING REQUIRED: 3 SPACE
MOTORCYCLE PARKING PROVIDED: 3 SPACES
BICYCLE PARKING REQUIRED: 3 SPACE
BICYCLE PARKING PROVIDED: 5 SPACES

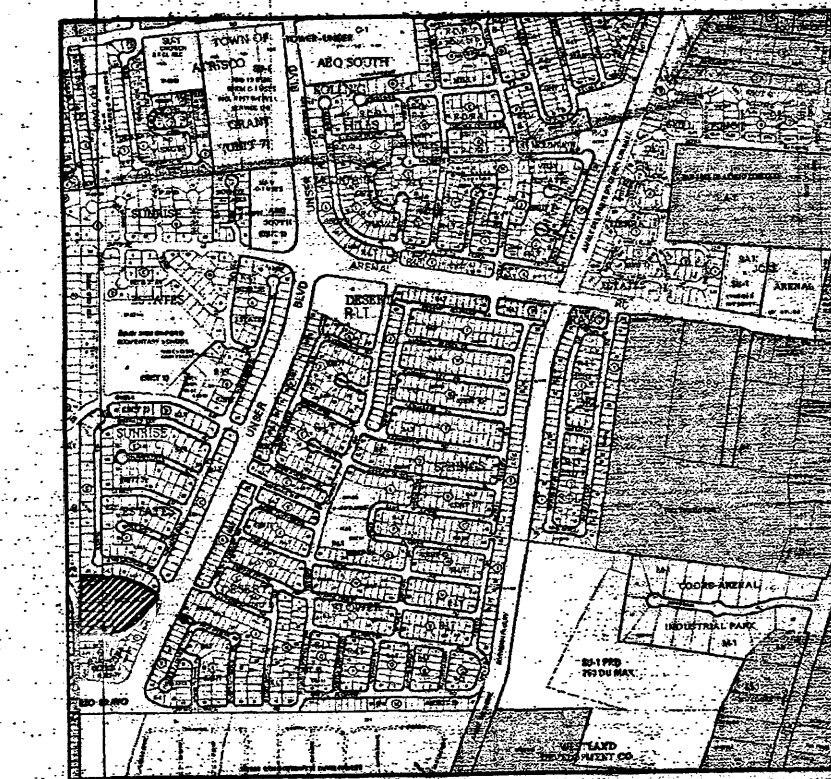
TOTAL SITE PARKING
PARKING REQUIRED: 200 SPACES
PARKING PROVIDED: 216 SPACES
ADA PARKING REQUIRED: 13 SPACES
ADA PARKING PROVIDED: 13 SPACES
MOTORCYCLE PARKING REQUIRED: 8 SPACES
MOTORCYCLE PARKING PROVIDED: 8 SPACES
BICYCLE PARKING REQUIRED: 11 SPACES
BICYCLE PARKING PROVIDED: 14 SPACES

KEYED NOTES

- NEW 6" CONCRETE SIDEWALK.
- NEW STANDARD CONCRETE DRIVE PAD, PER COA STANDARD DETAIL 2425.
- FUTURE 3,000 G.S.F. BUILDING, N.C.
- NEW EXTERIOR LIGHT POLE, SEE DETAIL 15/AS-501.
- NEW WHEELCHAIR RAMP W/ MAX. SLOPE OF 1:12 SEE DETAIL 10/AS-501.
- NEW CONCRETE CURB & GUTTER, SEE DETAIL 14/AS-501.
- NEW ASPHALT PAVING, SEE DETAIL 12/AS-501.
- NEW MOTORCYCLE PARKING SPACE & SIGN, SEE DETAIL 1/AS-501. MOTORCYCLE PARKING SPACES FOR EACH BUILDING ON THE SITE SHALL BE LOCATED TO COMPLY WITH 14-16-3-11(C).
- EXISTING LIGHT POLES TO REMAIN.
- EXISTING FREE STANDING SIGNAGE TO BE REMOVED ONTO SUBJECT PROPERTY.
- NEW 4" WIDE THERMOPLASTIC CROSSWALK STRIPING.
- NEW 4" WIDE PAVEMENT MARKING.
- NEW LANDSCAPE ISLAND.
- NEW TURN-DOWN CONCRETE SIDEWALK, SEE DETAIL 13/AS-501.
- DESIGNATED PARISHIONER DROP/ PICK-UP AREA.
- NEW DUMPSTER, SEE DETAIL 2/AS-501.
- NEW BIKE RACK, SEE DETAIL 1/AS-501.
- EXISTING 6' IN HEIGHT CMU WALL.
- NEW STOP SIGN, SEE DETAIL 6/AS-501.
- NEW ACCESSIBLE PARKING SIGN, SEE DETAIL 8/AS-501 & 9/AS-501.
- NEW ACCESSIBLE PARKING SPACE, SEE DETAIL 5/AS-501.
- EXISTING ACCESSIBLE PARKING SPACE.
- EXISTING STORAGE STRUCTURE.
- NEW DESIGN OF EXISTING DETENTION POND, SEE GRADING AND DRAINAGE SHEET CG-101.
- EXISTING DETENTION POND.
- EXISTING CMU WALL, HEIGHT VARIES FROM 9' TO 6' IN HEIGHT (BROWN STUCCO).
- EXISTING 6' IN HEIGHT WROUGHT IRON FENCE.
- NEW TREE WELL & LANDSCAPE AREA SEE DETAIL 5/AS-501.

GENERAL NOTES

- ALL WHEELCHAIR RAMPS IN THE CITY RIGHT OF WAY SHALL HAVE A MAXIMUM SLOPE OF 1:12 AND MUST HAVE A DETECTABLE MARKING SURFACE CONSISTING OF RAISED, TRUNCATED DOMES.
- EXACT LOCATION OF SITE LIGHTING WILL BE DETERMINED BY PHOTO-METRIC STUDY, DURING CONSTRUCTION DOCUMENT PHASE. THE LOCATION OF SITE LIGHTING SHALL BE COORDINATED WITH THE LANDSCAPE PLAN AND GRADING & DRAINAGE PLAN TO AVOID CONFLICTS WITH SHADE TREES AND STORM WATER FLOWS.
- ALL ROOF & GROUND MOUNTED EQUIPMENT TO BE SCREENED, PER 14-16-3-18(C)(6) ANY STRUCTURAL FEATURES USED TO SCREEN EQUIPMENT SHALL MATCH THE PREDOMINANT MATERIALS AND COLORS USED IN THE BUILDING.
- IT IS THE APPLICANT'S OBLIGATION TO DETERMINE IF EXISTING UTILITY EASEMENTS OR RIGHTS-OF-WAY ARE LOCATED ON OR ADJACENT TO THE PROPERTY AND TO ABIDE BY ANY CONDITIONS OR TERMS OF THE EASEMENTS OR AGREEMENTS.
- ALL SCREENING AND VEGETATION SURROUNDING GROUND MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSE.
- AREA LIGHTING SHALL COMPLY WITH 14-16-3-9 OF THE ZONING CODE.
- EPC DELEGATES APPROVAL OF THE FUTURE OFFICE BUILDING TO THE DRB, PER THE DESIGN STANDARDS ON SHEET 8 (G-002).
- EXTERIOR LIGHTING FIXTURES SHALL RELATE STYLISTICALLY TO THE ARCHITECTURE OF THE ADJACENT BUILDINGS.
- CONTROLLED, DIRECTIONAL LIGHTING SHALL BE USED TO HIGHLIGHT PUBLIC SPACES AND WALKWAYS.
- FIXTURE STYLE AND DESIGN SHALL BE COMPATIBLE AND CONSISTENT.
- EXISTING WROUGHT IRON FENCE IN COA RIGHT-OF-WAY TO BE RELOCATED DURING



VICINITY MAP M-10-Z
NOT TO SCALE

INDEX OF DRAWINGS

1.	AS-101	SITE PLAN FOR BUILDING PERMIT
2.	AS-501	SITE PLAN DETAILS
3.	L-100	PROPOSED LANDSCAPE PLAN
4.	L-101	DEMOLITION & EXISTING LANDSCAPE PLAN
5.	CG-102	PRELIMINARY UTILITY PLAN
6.	CG-101	PRELIMINARY GRADING PLAN
7.	A-201	BUILDING ELEVATIONS
8.	G-002	DESIGN STANDARDS

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Santuario de San Martin de Porres
8301 Camino San Martin
Westgate Heights
Albuquerque, New Mexico

Project Number
Drawn By
Checked
Issue Date

JANUARY 25, 2010
**SITE PLAN
FOR
BUILDING PERMIT**

Scale: AS SHOWN

AS-101

SHEET 1 OF 2

PROJECT NUMBER: 1008137

Application Number: 100RB-70095

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated Feb. 18, 2010, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN - SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division

Water Utility Department

Christine Santoral

Parks and Recreation Department

Bradley A. Bingham

City Engineer

Sue B. Bingham

Solid Waste Management

DRB Chairperson, Planning Department

4/7/10

03-31-10

Date

03/31/10

Date

3/31/10

Date

3/31/10

Date

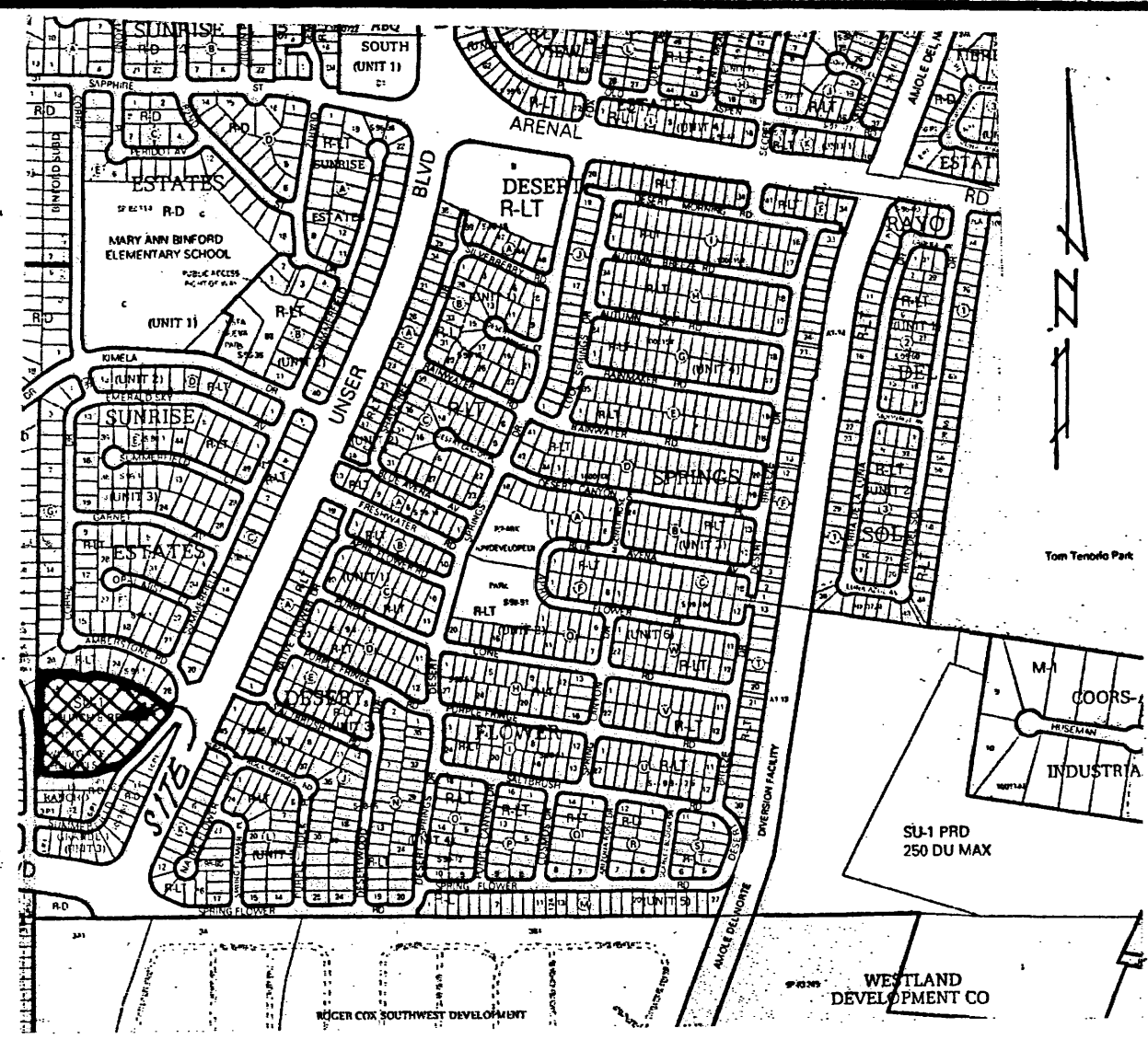
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Date

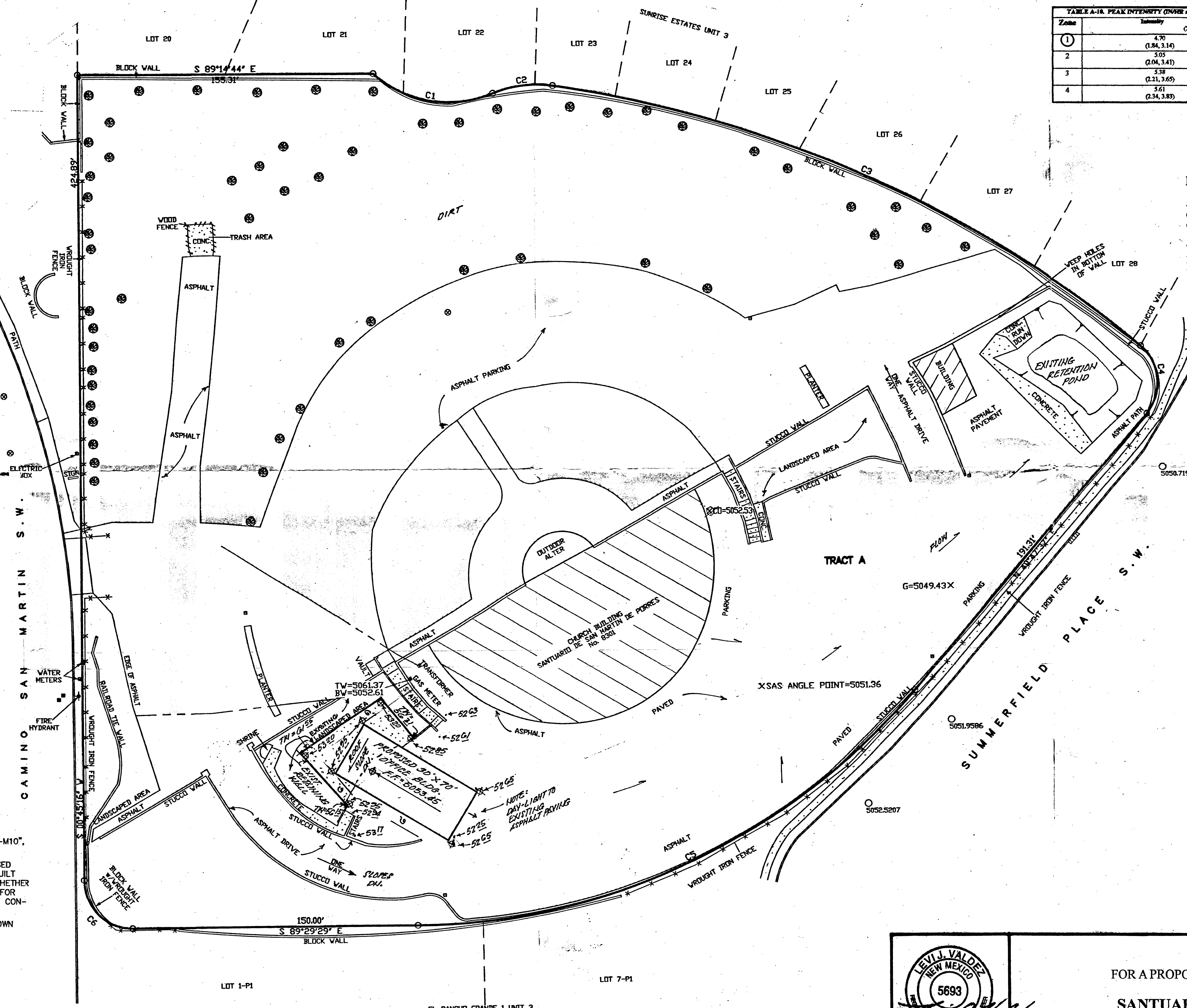
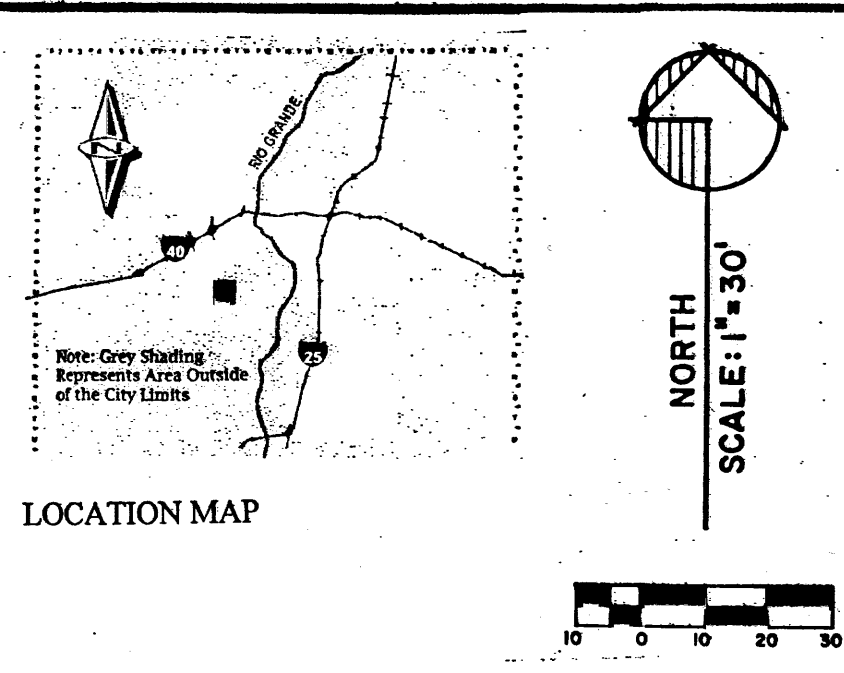
4/7/10

Date

CONCEPTUAL SITE PLAN
1" = 30'



VICINITY MAP M-10-Z



- EROSION CONTROL MEASURES:**
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:
- 1) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
 - 2) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
 - 3) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.
- CONSTRUCTION NOTES:**
- 1) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
 - 2) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
 - 3) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 - 4) ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

- GENERAL NOTES:**
- 1) NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
 - 2) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

- LEGEND:**
- TOP OF CURB ELEVATION = H/A
 - CURB FLOWLINE ELEVATION = H/A
 - EXISTING SPOT ELEVATION = *
 - EXISTING CONTOUR ELEVATION = -
 - PROPOSED SPOT ELEVATION = +
 - PROPOSED CONTOUR ELEVATION = -
 - PROPOSED OR EXISTING CONCRETE SURFACE =
 - EXISTING FENCE LINE = *

- GENERAL NOTES:**
- 1: CONTOUR INTERVAL IS ONE (1) FOOT.
 - 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "5-M10", HAVING AN ELEVATION OF 5042.769, NAVD 1988
 - 3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
 - 5: THIS IS NOT A BOUNDARY SURVEY. BEARINGS AND DISTANCES SHOWN HEREON ARE FOR REFERENCE ONLY.

Legal Description:

Tract "A", WESTGATE HEIGHTS, to the city of Albuquerque, Bernalillo County, New Mexico, (Zone Map "M-10-Z").

NOTE: Reference is hereby made to the approved Grading and Drainage Plan for Santuario de San Martin de Porres Catholic Church, located at 8301 Camino San Martin, WestGate Heights, Albuquerque, New Mexico, that was prepared for the "Site Development Plan for Building Permit", (Project Number 1008137, Application Number: 10DRB-70095), approved by the Environmental Planning Commission, (E.P.C.), dated February 18, 2010).

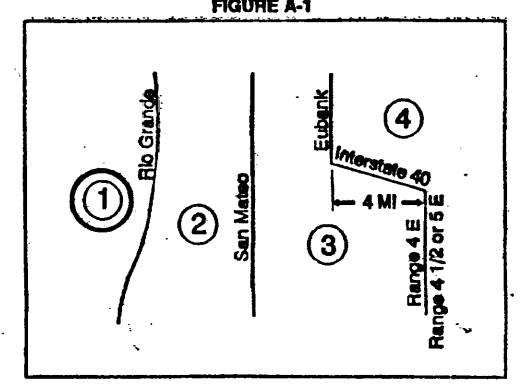


TABLE A-1. PRECIPITATION ZONES

ZONE	LOCATION
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eastman, North of Interstate 40; and between San Mateo and the East boundary of Range 4 East; South of Interstate 40
4	East of Eastman, North of Interstate 40; and East of the East boundary of Range 4 East, South of Interstate 40

TABLE A-1A. PEAK INTENSITY (INCHES AT 1-HOUR)

Zone	Intensity	100-YR (2-YR, 10-YR)
1	4.70	(0.84, 3.14)
2	3.03	(0.04, 3.41)
3	5.38	(2.31, 3.65)
4	3.61	(2.34, 3.83)

TABLE A-4. LAND TREATMENTS

Treatment	Land Condition
A	Soil unaccompanied by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundwater and infiltration capacity. Croplands, Irrigated lawns.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil unaccompanied by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil unaccompanied by human activity. Minimal vegetation. Unimproved parking, roads, trails. Most vacant lots. Canebrake or rock on plateau (desert landscape). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds, and shrubs, and soil unaccompanied by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

TABLE A-5. PEAK DISCHARGE (cfs/acre)

Zone	Treatment	100-YR (2-YR, 10-YR)
1	A	1.29 (0.00, 0.24)
2	B	2.03 (0.33, 0.76)
3	C	2.87 (0.47, 1.49)
4	D	4.37 (1.69, 2.89)

Drainage Comments:

As shown on the Vicinity Map hereon, the subject site is located near the Northwest corner of Unser Blvd. S.W. and Gibson Blvd. S.W. in the City of Albuquerque, Bernalillo County, New Mexico, (Zone Atlas Map "M-10-Z").

The subject site 1.) is presently an developed church property, the proposed plan as show hereon is to construct a 30' x 70' administration building and associated improvements thereon, 2.) does not contribute flows to adjacent properties, 3.) does not accept flows from adjacent properties, 4.) is not located within a designated floodplain, (reference F.E.M.A. Firm Panel 336 of 825), 5.) is to discharge the minimal new developed flows into the existing retention pond sized for the existing church development.

ZONE: ONE (1) AREA = 0.06 acre
PRECIPITATION: 360 = 2.20 in.
1440 = 2.66 in.
10day = 3.67 in.

EXCESS PRECIPITATION: PEAK DISCHARGE:

TREATMENT	EXCESS PRECIPITATION	PEAK DISCHARGE
TREATMENT A	0.44 in.	1.29 cfs/ac.
TREATMENT B	0.67 in.	2.03 cfs/ac.
TREATMENT C	0.99 in.	2.87 cfs/ac.
TREATMENT D	1.97 in.	4.37 cfs/ac.

EXISTING CONDITIONS: PROPOSED CONDITIONS:

TREATMENT	EXISTING CONDITIONS	PROPOSED CONDITIONS
TREATMENT A	0.00 ac.	0.00 ac.
TREATMENT B	0.00 ac.	0.00 ac.
TREATMENT C	0.03 ac.	0.00 ac.
TREATMENT D	0.03 ac.	0.06 ac.

EXISTING EXCESS PRECIPITATION:

Weighted E = $(0.44 \times 0.00) + (0.67 \times 0.00) + (0.99 \times 0.03) + (1.97 \times 0.03) = 1.50$ in
 $V_{100-360} = (1.50 \times 0.06) / 12 = 0.00750$ ac-ft = 326.7 cf

EXISTING PEAK DISCHARGE:

$Q_{100} = (1.29 \times 0.00) + (2.03 \times 0.00) + (2.87 \times 0.03) + (4.37 \times 0.03) = 0.22$ cfs

PROPOSED EXCESS PRECIPITATION:

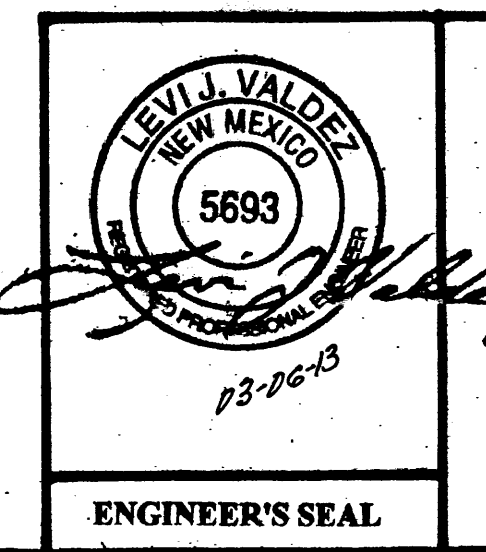
Weighted E = $(0.44 \times 0.00) + (0.67 \times 0.00) + (0.99 \times 0.00) + (1.97 \times 0.06) = 1.97$ in
 $V_{100-360} = (1.97 \times 0.06) / 12.0 = 0.00985$ ac-ft = 429.1 cf
 $V_{100-1440} = (0.01) + (0.06 \times 2.66 - 2.20) / 12 = 0.01230$ ac-ft = 535.8 cf
 $V_{100-10day} = (0.01) + (0.06 \times 3.67 - 2.20) / 12 = 0.01735$ ac-ft = 755.8 cf

PROPOSED PEAK DISCHARGE:

$Q_{100} = (1.29 \times 0.00) + (2.03 \times 0.00) + (2.87 \times 0.00) + (4.37 \times 0.06) = 0.26$ cfs

INCREASE: (INSIGNIFICANT)

$V_{100} = 429.1 - 326.7 = 102.4$ c.f.
 $Q_{100} = 0.26$ cfs - 0.22 cfs = 0.04 cfs



A DRAINAGE PLAN
FOR A PROPOSED 30' X 70' ADMINISTRATIVE BUILDING
FOR
SANTUARIO de SAN MARTIN DE PORRES
CATHOLIC CHURCH
(8301 CAMINO SAN MARTIN, S.W.)
ALBUQUERQUE, NEW MEXICO
DECEMBER, 2012

NUMBER	DELTA	ANGLE	CHORD	DIRECTION	RADIUS	ARC LENG	CHORD LENGTH
C1	63°52'40"	S 79°46'36" E	60.00		66.89	63.48	
C2	30°48'28"	S 83°41'23" W	60.00		32.26	31.87	
C3	31°42'00"	N 65°03'23" W	617.53		341.66	337.32	
C4	90°00'00"	N 04°12'23" W	25.00		39.27	35.36	
C5	49°42'54"	N 65°39'04" E	344.33		298.77	289.49	
C6	90°14'25"	S 44°21'56" E	25.00		39.37	35.43	

DRAINAGE NOTES

LEGAL: Tract A, Westgate Heights

AREA: 4.555 acres (198,410 sf)

BENCHMARK: City of Albuquerque Station 5-M10 being a brass cap
ELEV= 5042.77 (NAVD 1988)

SURVEYOR: Harris Surveying, Inc. dated December 2009

FLOOD HAZARD: From FEMA Panel 336, this site is identified as being within Zone 'X' which is located outside the 100-year floodplain

EXISTING CONDITIONS: The existing church site was developed in 1981 and includes a 9,500 sf sanctuary building along with a 650 sf garage, associated paved parking and landscaping. Two existing retention ponds are located at the northwest corner and eastern end of the site. The two abutting public streets are both higher than the retention pond areas. Approximately 1/3 of the site currently drains to the northwest pond area while almost 2/3 drains to the eastern pond near Summerfield Place SW.

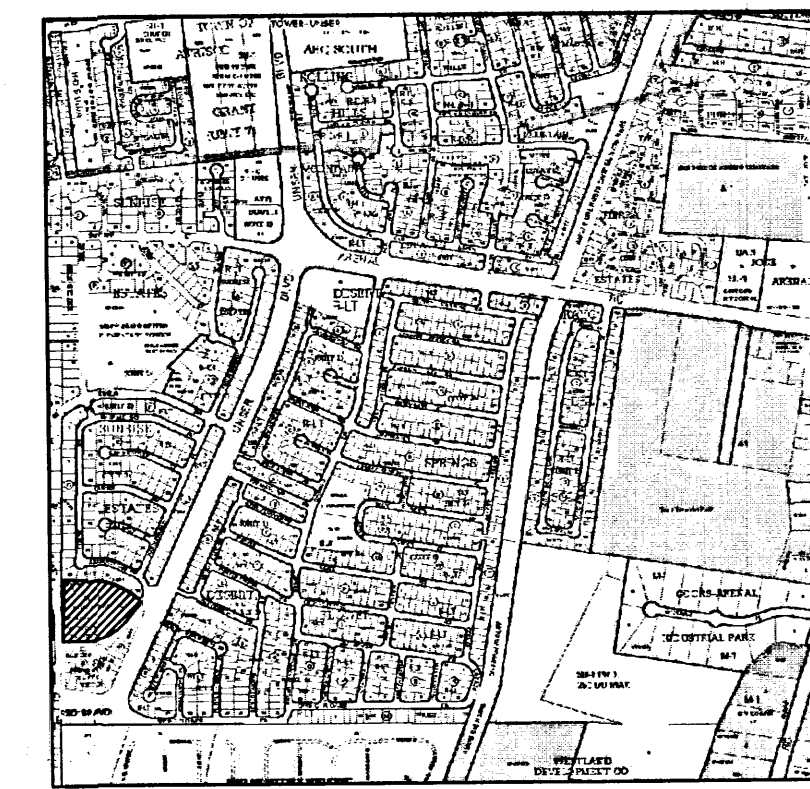
PROPOSED IMPROVEMENTS: The proposed improvements include a 9,500 sf multi-purpose building along with additional paved parking. The proposed additional parking, located in the NW half of the site, will be more formalized than the current dirt overflow parking area.

DRAINAGE APPROACH: The proposed drainage plan will continue to follow historic flow paths, but increased impervious area will require additional onsite storage volume. Current City Hydrology requirements for retention pond design is based on the 100-year 10-day volume. The storm water pond in the northwest corner of the site will be designed to overflow to the east. A drainage swale will carry excess flow to the pond at the east side of the site. A small pump is proposed to discharge storm water to Summerfield Place SW where it will be intercepted by the existing public storm drain system.

The 100-year 10-day runoff volume exceeds the pond capacity by 17,000 cubic feet. The pump discharge rate (Q= 0.21 cfs) will then result in a required time which is less than 24 hours to drain this excess runoff volume.

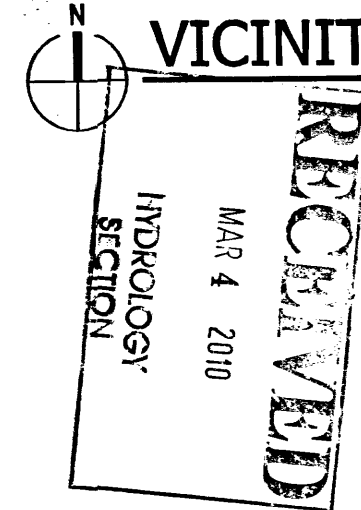
Time = 17,000/(0.21)(60)(60) = 22.5 hours (Time is less than 24 hours - OK)

The proposed improvements will increase site runoff, but by enlarging the onsite retention pond, the impact to downstream drainage facilities will be minimized.



VICINITY MAP M-10-Z

NOT TO SCALE



Santuario de San Martin de Porres
8301 Camino San Martin
Westgate Heights
Albuquerque, New Mexico

LEGEND

- BOG = BACK OF CURB
- TA = TOP OF ASPHALT
- DI = DRAINAGE INLET
- RO = RUSSIAN OLIVE
- FL = FLOW LINE
- EA = EDGE OF ASPHALT
- WV = WATER VALVE
- SASMH = SANITARY SEWER MANHOLE
- TP = TOP OF PVC PIPE
- CLM = CENTERLINE MONUMENT
- INV = INVERT
- G = GROUND
- EXISTING CONTOUR
- PROPOSED CONTOUR
- FLOW ARROW
- ROOF DRAIN
- DRAINAGE BASIN BOUNDARY

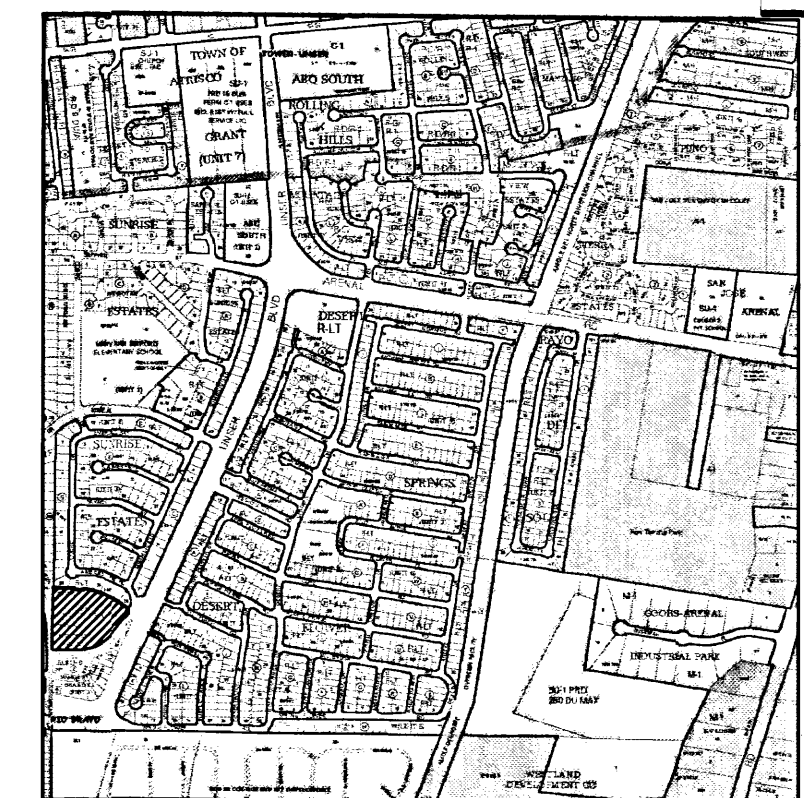
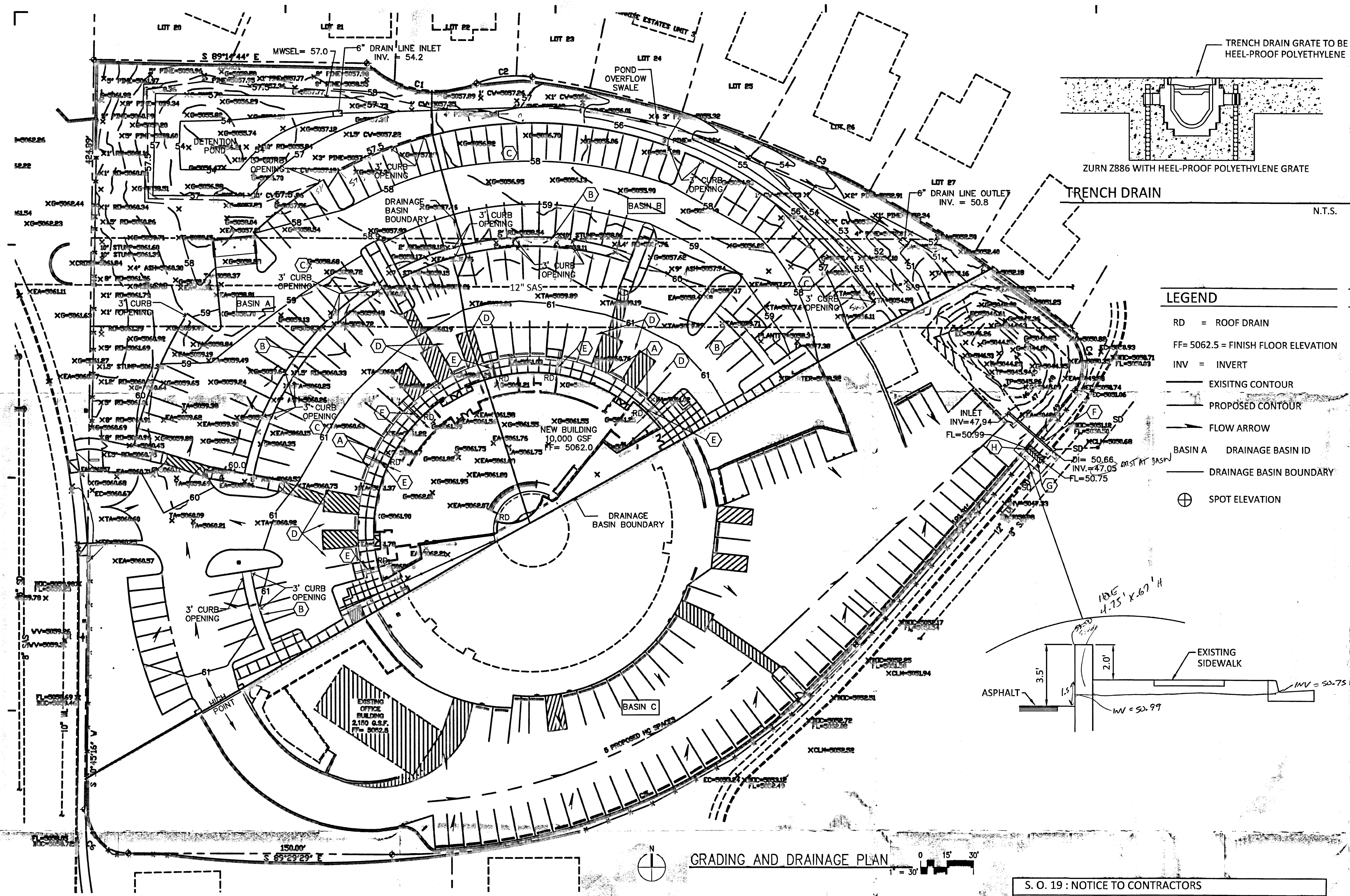
PRELIMINARY GRADING PLAN

1" = 30'

Scale: AS SHOWN

CG-101

SHEET 6 OF 8



VICINITY MAP M-10-Z
NOT TO SCALE

- LEGEND**
- RD = ROOF DRAIN
 - FF= 5062.5 = FINISH FLOOR ELEVATION
 - INV = INVERT
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - FLOW ARROW
 - BASIN A DRAINAGE BASIN ID
 - DRAINAGE BASIN BOUNDARY
 - SPOT ELEVATION

DRAINAGE

LEGAL: Tract A, Westgate Heights

AREA: 4.555 acres (198,410 SF) PRECIPITATION ZONE: 1

BENCHMARK: City of Albuquerque Station '5-M10' being a brass cap
ELEV= 5042.77 (NAVD 1988)

SURVEYOR: Harris Surveying, Inc. dated December 2009

FLOOD HAZARD: From FEMA Panel 336, this site is identified as being within Zone 'X' which is located outside the 100-year floodplain

EXISTING CONDITIONS: The existing church site was developed in 1981 and includes a 9,500 SF sanctuary building along with a 650 SF garage, and associated paved parking and landscaping. Two existing retention ponds are located at the northwest corner and eastern end of the site. The two abutting public streets are both higher than the retention pond areas. Runoff in Basin A drains to the pond shown in the northwest corner of the site. Basin B drains to the northeast and runoff passes through a group of 3" square weep holes in a block wall on its way to the eastern retention pond. Basin C surface flows to the same retention pond.

BASIN	ACRES	'A'	'B'	'C'	'D'	Q(EXISTING)
A	1.672	0	32	44	24	1.672 x 2.96= 4.95
B	0.865	0	9	73	18	0.865 x 3.07= 2.65
C	2.018	0	5	5	90	2.018 x 4.18= 8.43
Total Q = 16.0 CFS						

PROPOSED IMPROVEMENTS: The proposed improvements include a 10,000 SF church building along with additional paved parking. The proposed additional parking, located in the NW half of the site, is within Basins A & B with no improvements proposed in Basin C.

FIRST FLUSH: The first flush volume is calculated using the impervious areas within Basins A & B only. It is based on 0.44" rainfall less the 0.1" initial abstraction giving V= [(1.672)(.24)+(0.865)(.18)](43560)(0.34/12) = 687 CF
The proposed detention pond at the NW corner of the site provides 750 CF storage volume at 6" depth.

DRAINAGE APPROACH: The proposed drainage plan will continue to follow historic flow paths, but increased impervious area will require additional onsite storage volume. The detention pond design is based on the 100-year 10-day volume. The storm water pond in the northwest corner of the site will be designed to discharge to the east. Both a 6" drain line and a surface drainage swale will carry flows to the pond at the east side of the site. The 6" drain line and the existing weep holes will act to limit discharge to the east pond: A 12" drain line is proposed to discharge storm water to Summerfield Place SW by discharging into the back of an existing storm drain inlet. For low flows the Manning capacity based on gravity flow will be:

Manning's: $Q = (1.49/.013) A x R^{2/3} x S^{1/2} = (114.6)(.7854)(.397)(.14) = 5.0$ CFS

As the water depth rises to 50.99 (the sidewalk culvert invert elevation), the capacity will increase based on pressure flow and approach the flow rate determined by the Orifice equation as follows:

$Q = K \times A \times (2gh)^{1/2} = (0.6)(0.7854)(12.815) = 6.0$ CFS

Sidewalk culvert capacity is 4.6 CFS each so total discharge will be limited to:
 $Q = (4.6)(2) + 6.0 = 15.2$ CFS (<16.0 CFS —OK) ✓

BASIN	ACRES	'A'	'B'	'C'	'D'	Q(DEVELOPED)
A	1.672	0	12	14	74	1.672x 3.88= 6.49
B	0.865	0	9	6	85	0.865x 4.07= 3.52
C	2.018	0	5	5	90	2.018x 4.18= 8.43
Total Q = 18.44 CFS						

Developed runoff will surface flow to the detention basins at the NW and NE corners of the site per historic conditions. The proposed improvements will increase site runoff, but by enlarging the onsite detention pond, the impact to downstream drainage facilities will be minimized.

- KEYED NOTES**
- NEW ASPHALT PAVING TO BE FLUSH WITH SIDEWALK ELEVATION AROUND BUILDING PERIMETER.
 - NEW LANDSCAPE MEDIAN AREAS WITH FINISH GRADE DEPRESSED 2-4" BELOW ADJACENT ASPHALT ELEVATION.
 - NEW CURB OPENINGS TO ALLOW RUNOFF TO ENTER/EXIT MEDIANS.
 - NEW ACCESSIBLE PARKING SPACE AND ACCESSWAY TO NOT EXCEED 2% SLOPE IN ANY DIRECTION.
 - NEW TRENCH DRAIN (6) LOCATED AT ROOF DRAIN OUTLETS TO DISCHARGE TO PLANTER. PROVIDE 8" WIDE BY 6" HIGH CURB OPENING ON OPPOSITE SIDE OF PLANTER FOR OVERFLOW.
 - BUILD NEW 32 LF 12" PVC DRAIN LINE TO CONNECT TO EXISTING CATCH BASIN ON SUMMERFIELD PLACE PER COA STD DWG NO 2237. INVERT AT CATCH BASIN = 47.30 AND INLET INV = 47.94.
 - BUILD 2 NEW 24" SIDEWALK CULVERTS FROM THE FACE OF CURB TO THE PROPERTY LINE (12 LF EACH), PER COA STD DWG NO 2236.
 - CUT RECTANGULAR HOLE IN EXISTING BLOCK WALL 4.75' WIDE BY 0.67' HIGH AT ELEVATION SHOWN FOR RUNOFF TO ENTER NEW SIDEWALK CULVERTS. INSTALL 2 3"x3"x1/2" STEEL ANGLES AT 5'6" LONG (ONE ON EACH SIDE), TO SUPPORT WALL ABOVE OPENING. SECURE ANGLES WITH 3 ANCHOR BOLTS AT 24" ON CENTER ON EACH SIDE OF WALL.

S. O. 19 : NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R/W.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1990, (NM ONE CALL "811") FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

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architecture | urbanism

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SCOTT M. MOORE
NEW MEXICO
10519
REGISTERED PROFESSIONAL ENGINEER
10/11/14

Consultant

Client

Archdiocese of Santa Fe
4000 St. Joseph Pl. N.W.
Albuquerque, NM 87120

Revisions

No.	Date	Description

Issue Date: SEPTEMBER 4, 2014

Project No. JNZ 032013

Doc. Phase: 100% CDS

FOR PERMIT AND FOR CONSTRUCTION

Drawn By: CB

Checked By: SMM

Principal: SMM

Signed: _____

Date: _____

License No. _____

Project Name

Santuario
San Martin De Porres
8301 Camino San Martin SW
Westgate Heights
Albuquerque, NM 87121

GRADING AND DRAINAGE PLAN

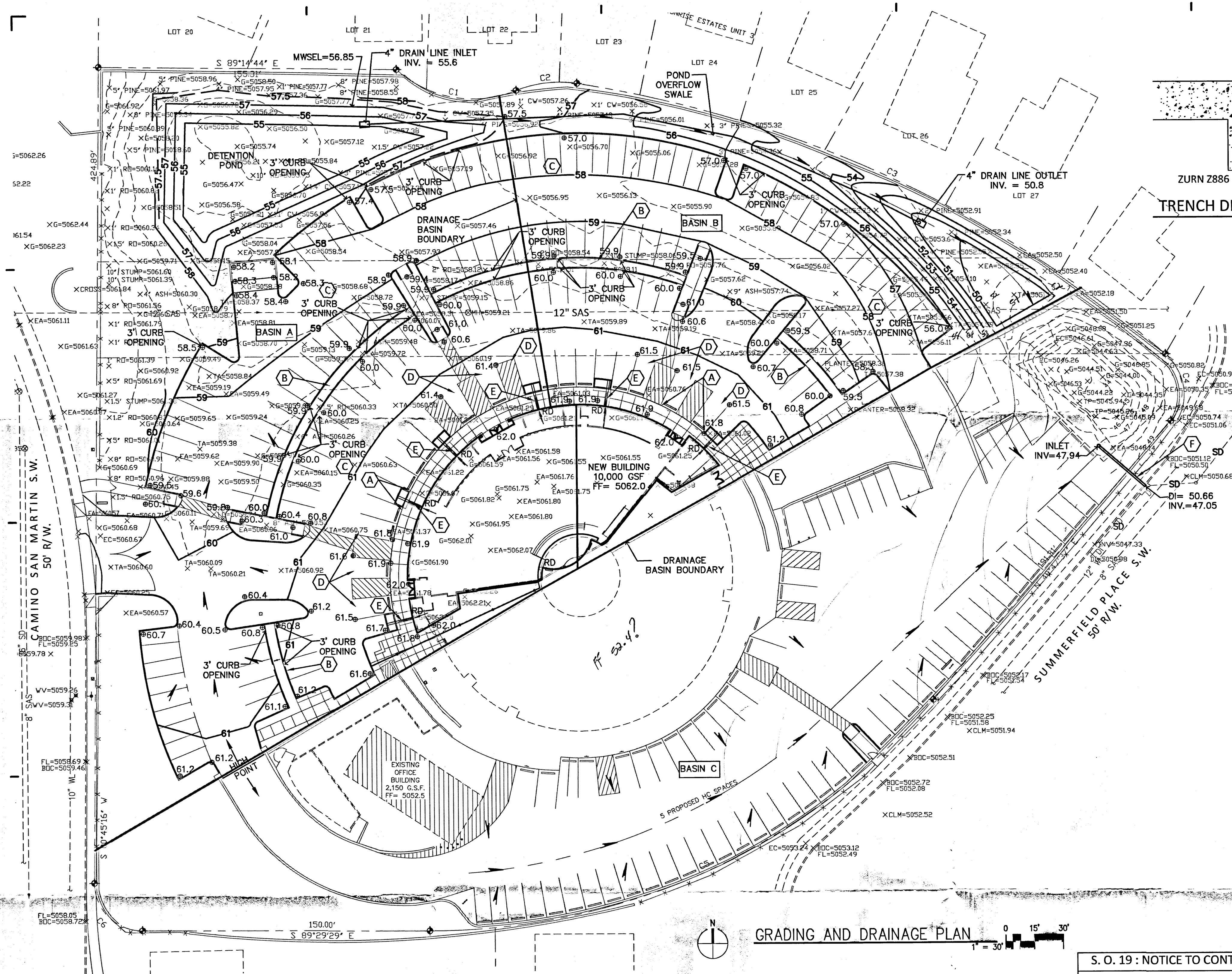
Sheet Title

Sheet Number

C-101

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GRADING AND DRAINAGE PLAN

LEGEND

- RD = ROOF DRAIN
- FF= 5062.0 = FINISH FLOOR ELEVATION
- INV = INVERT
- EXISTING CONTOUR
- PROPOSED CONTOUR
- FLOW ARROW
- BASIN A DRAINAGE BASIN ID
- DRAINAGE BASIN BOUNDARY
- SPOT ELEVATION

KEYED NOTES

- NEW ASPHALT PAVING TO BE FLUSH WITH SIDEWALK ELEVATION AROUND BUILDING PERIMETER.
- NEW LANDSCAPE MEDIAN AREAS WITH FINISH GRADE DEPRESSED 2'-4" BELOW ADJACENT ASPHALT ELEVATION.
- NEW CURB OPENINGS TO ALLOW RUNOFF TO ENTER/EXIT MEDIANS.
- NEW ACCESSIBLE PARKING SPACE AND ACCESSWAY TO NOT EXCEED 2% SLOPE IN ANY DIRECTION.
- NEW TRENCH DRAIN (6) LOCATED AT ROOF DRAIN OUTLETS TO DISCHARGE TO PLANTER. PROVIDE 8" WIDE BY 6" HIGH CURB OPENING ON OPPOSITE SIDE OF PLANTER FOR OVERFLOW.
- BUILD NEW 32 LF 4" PVC DRAIN LINE TO CONNECT TO EXISTING CATCH BASIN ON SUMMERFIELD PLACE PER COA STD DWG NO 2237. INVERT AT CATCH BASIN = 47.30 AND INLET INV = 47.94. INSTALL 3" BY 6" REDUCER AT INLET END.

S. O. 19 : NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R/W.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
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- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

DRAINAGE

LEGAL: Tract A, Westgate Heights

AREA: 4.555 acres (198,410 SF) PRECIPITATION ZONE: 1

BENCHMARK: City of Albuquerque Station "S-M10" being a brass cap
ELEV= 5042.77 (NAVD 1988)

SURVEYOR: Harris Surveying, Inc. dated December 2009

FLOOD HAZARD: From FEMA Panel 336, this site is identified as being within Zone "X" which is located outside the 100-year floodplain

EXISTING CONDITIONS: The existing church site was developed in 1981 and includes a 9,500 SF sanctuary building along with two other smaller buildings, associated paved parking, and landscaping. Two existing retention ponds are located at the northwest corner and eastern end of the site. The two abutting public streets are both higher than the retention pond areas. Runoff in Basin A drains to the pond shown in the northwest corner of the site. Basin B drains to the northeast and runoff passes through a group of 3" square weep holes in a block wall on its way to the eastern retention pond. Basin C surface flows to the same retention pond. No runoff discharges from the site located in Zone 1.

BASIN	ACRES	'A'	'B'	'C'	'D'	Q(EXISTING)
A	1.791	0	32	44	24	1.791 x 2.96= 5.3
B	0.937	0	9	73	18	0.937 x 3.07= 2.9
C	1.827	0	5	5	90	1.827 x 4.18= 7.6
						Total Q = 15.8 CFS

PROPOSED IMPROVEMENTS: The proposed improvements include a 10,000 SF church building along with additional paved parking. The proposed additional parking, located in the NW half of the site, is within Basins A & B with no improvements proposed in Basin C.

FIRST FLUSH: The first flush volume is calculated using the impervious areas within Basins A & B only. It is based on 0.44" rainfall less the 0.1" initial abstraction giving V= [(1.791)(.74)+(0.937)(.85)](43560)(0.34/12) = 2,618 CF. The enlarged pond at the NW corner of the site provides 2,800 CF storage volume at 0.6' depth.

DRAINAGE APPROACH: The site drainage will continue to follow historic flow paths, but increased impervious area will require additional onsite storage volume. The pond design is based on the 100-year 6-hour volume as site discharge is allowed at 0.1 CFS/Acre. The storm water pond in the northwest corner of the site will discharge to the east via a 4" drain line. The flow rate will vary with depth as determined by the Orifice equation. The maximum flow rate when H=1.1' as follows:

$$Q = K \times A \times (2gH)^{1/2} = (0.6)(0.0873)(3.42) = 0.44 \text{ CFS} \quad [< 0.45 \text{ CFS}]$$

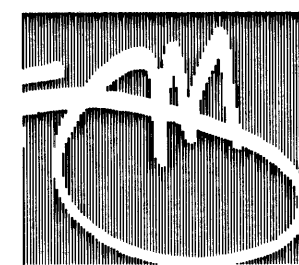
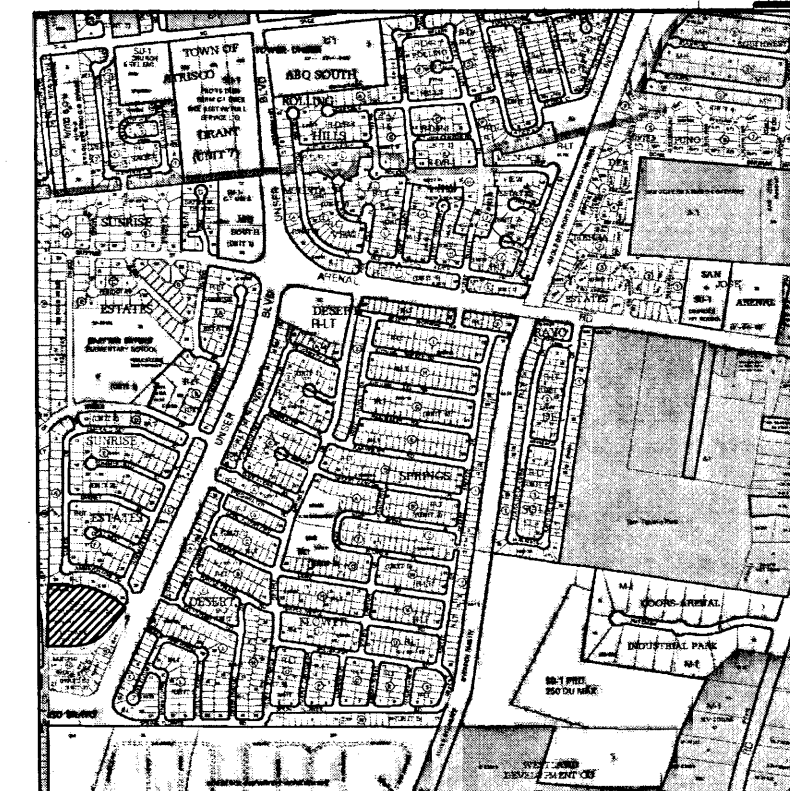
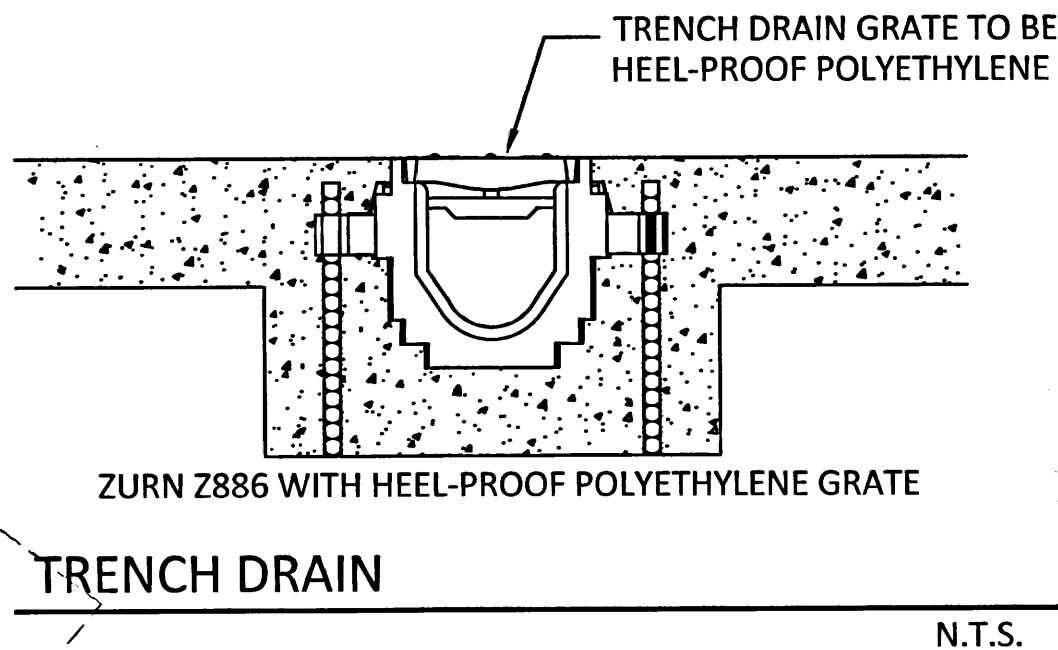
BASIN	AREA (SF)	'A'	'B'	'C'	'D'	V(DEVELOPED)
A	78,005	0	12	14	74	(78005)(0.1398) = 10,905 CF
B	40,804	0	9	6	85	(40804)(0.1496) = 6,104 CF
C	79,584	0	5	5	90	(79584)(0.1547) = 12,310 CF

POND VOLUMES ARE AS FOLLOWS:			
NW	ELEV	AREA	VOL(CF)
55	4,137	0	
56	5,900	5,018	
57	7,670	11,800	[> 10,905 CF]

EAST - EXISTING	ELEV	AREA	VOL(CF)
45	300	0	
46	560	430	
47	880	1150	
48	1400	2290	
49	1930	3955	
50	3790	6815	
51	5810	11615	
52	8040	18540	[> 18,414 CF]

4" drain line is proposed to discharge storm water to Summerfield Place SW into the back of an existing storm drain inlet. A 3" by 6" reducer will be located at the inlet and control discharge to the allowable 0.1 CFS/Acre based on a maximum water depth of 52-48.1 = 3.9'. 4" DISCHARGE USED. Developed runoff will surface flow to the storm water basins at the NW and NE corners of the site per historic conditions. The proposed improvements will increase site runoff, but by enlarging the onsite detention pond, the impact downstream drainage facilities will be minimized.

$$1 \text{ cfs/acre} \times 4.555 \text{ ac} = 4.555 \text{ cfs}$$



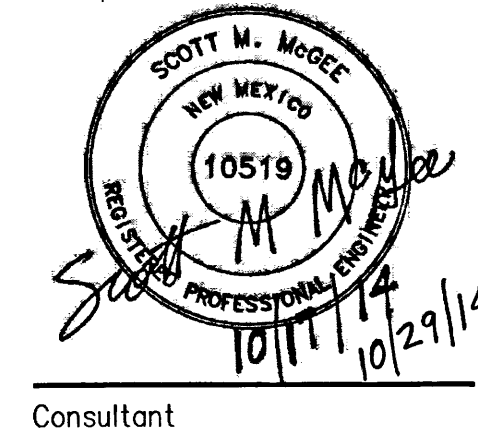
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Stamp



Consultant

Client

Archdiocese of Santa Fe
4000 St. Joseph Pl. N.W.
Albuquerque, NM 87120

Revisions

No.	Date	Description

Issue Date: SEPTEMBER 4, 2014

Project No. JMZ 032013

Doc. Phase: 100% CDS

FOR PERMIT
AND FOR CONSTRUCTION

Drawn By: CB

Checked By: SMM

Principal: SMM

Signed: _____

Date: _____

License No. _____

Project Name

Santuario
San Martin De Porres
8301 Camino San Martin SW
Westgate Heights
Albuquerque, NM 87121

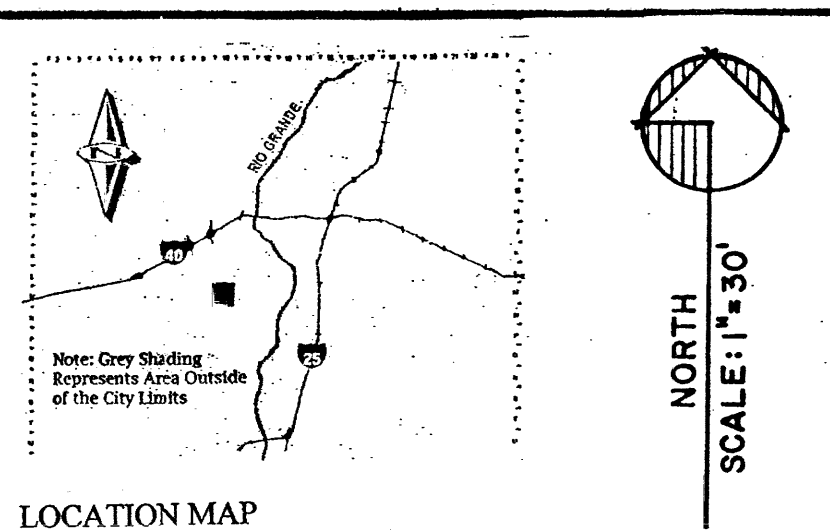
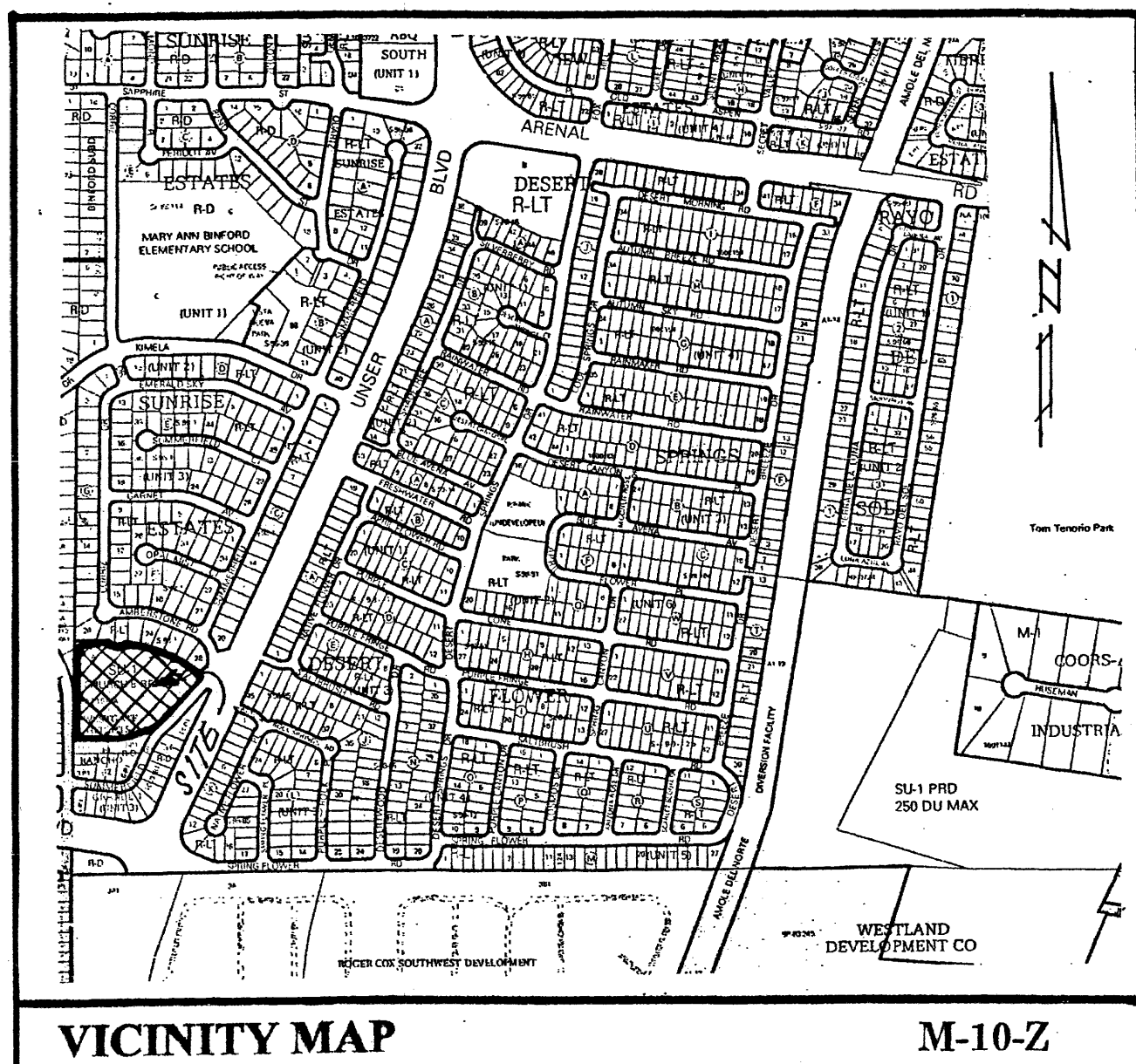
Sheet Title

GRADING AND
DRAINAGE PLAN

Sheet Number

C-101

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Legal Description:

Tract "A", WESTGATE HEIGHTS, to the city of Albuquerque, Bernalillo County, New Mexico, (Zone Map "M-10-Z").

NOTE: Reference is hereby made to the approved Grading and Drainage Plan for Santuario de San Martin de Porre Catholic Church, located at 8301 Camino San Martin, WestGate Heights, Albuquerque, New Mexico, that was prepared for the "Site Development Plan for Building Permit", (Project Number 1008137, Application Number: 10DRB-70095), approved by the Environmental Planning Commission, (E.P.C.), dated February 18, 2010.

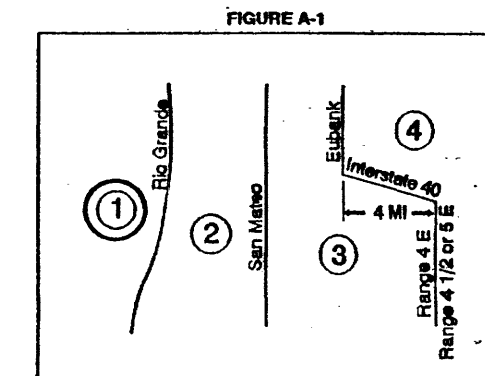


TABLE A-1. PRECIPITATION ZONES

Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and East, West of Interstate 40, and between San Mateo and the East boundary of Range 4 East; South of Interstate 40
4	East of Interstate 40, North of Interstate 40, and East of the East boundary of Range 4 East, South of Interstate 40

Zone	Intensity	100-YR (2-YR, 10-YR)
1	4.78	(1.84, 3.14)
2	5.07	(2.04, 3.41)
3	5.38	(2.21, 3.65)
4	5.61	(2.34, 3.83)

Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to surface. No erosion and infiltration capacity. Complaints. Unflooded Arroyos.
B	Unflooded Arroyos, native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil uncompacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plains (short landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds, and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

Zone	Treatment	100-YR (2-YR, 10-YR)
1	A	1.29 (0.00, 0.24)
2	B	1.56 (0.00, 0.35)
3	C	1.87 (0.00, 0.58)
4	D	2.20 (0.05, 0.87)

Drainage Comments:

As shown on the Vicinity Map hereon, the subject site is located near the Northwest corner of Unser Blvd. S.W. and Gibson Blvd. S.W. in the City of Albuquerque, Bernalillo County, New Mexico, (Zone Atlas Map "M-10-Z").

The subject site 1.) is presently an developed church property, the proposed plan as show hereon is to construct a 30' x 70' administration building and associated improvements thereon, 2.) does not contribute flows to adjacent properties, 3.) does not accept flows from adjacent properties, 4.) is not located within a designated floodplain, (reference F.E.M.A. Firm Panel 336 of 825), 5.) is to discharge the minimal new developed flows into the existing retention pond sized for the existing church development.

EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- 1) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DICES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- 2) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- 3) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN BROCKED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

CONSTRUCTION NOTES:

- 1) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- 2) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- 3) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4) ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAYS SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

GENERAL NOTES:

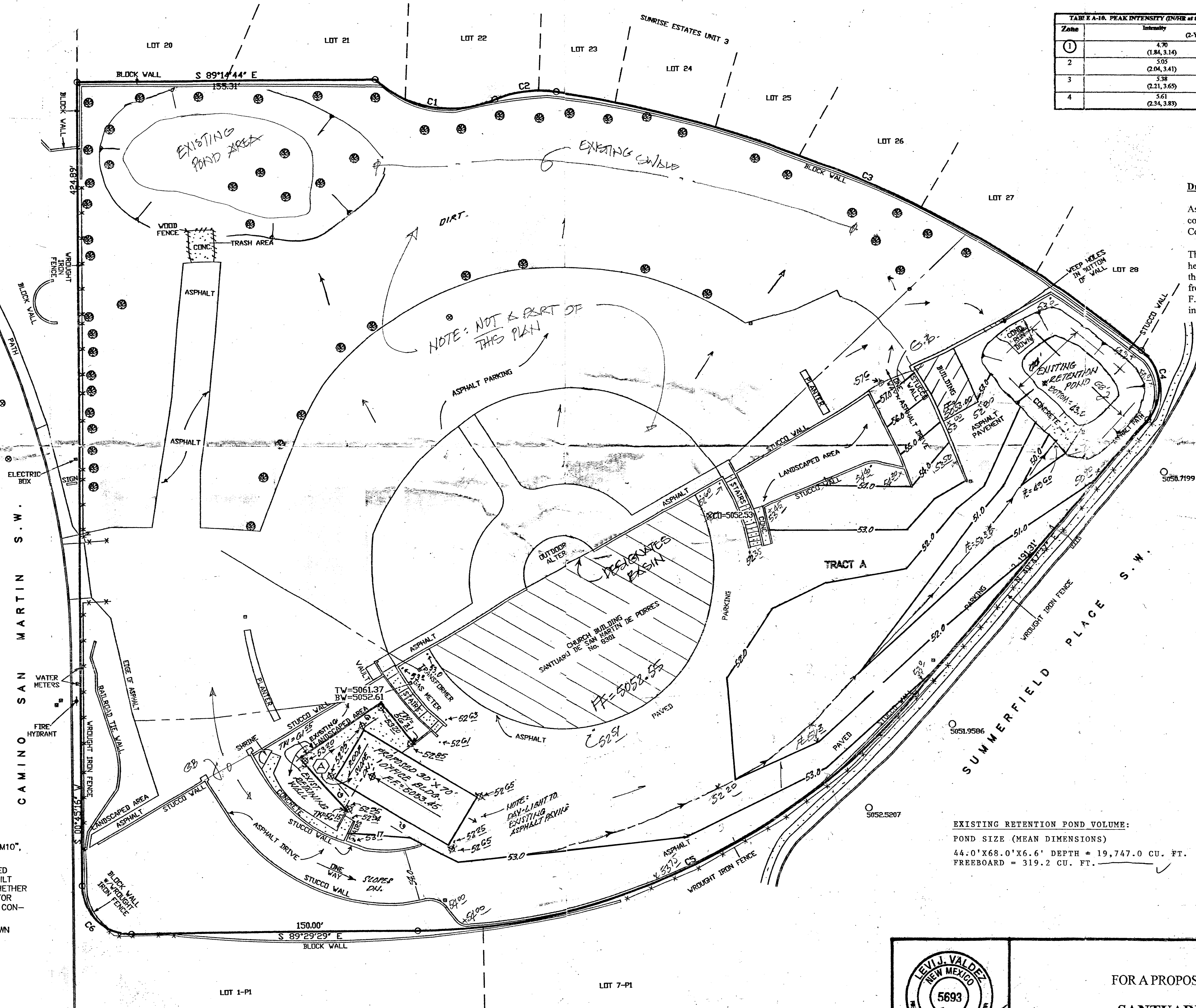
- 1) NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- 2) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

LEGEND:

- TOP OF CURB ELEVATION = H/A
- CURB FLOWLINE ELEVATION = H/A
- EXISTING SPOT ELEVATION = X
- EXISTING CONTOUR ELEVATION = X
- PROPOSED SPOT ELEVATION = +
- PROPOSED CONTOUR ELEVATION = +
- PROPOSED OR EXISTING CONCRETE SURFACE =
- EXISTING FENCE LINE = - - - - -

GENERAL NOTES:

1. CONTOUR INTERVAL IS ONE (1) FOOT.
2. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "5-M10", HAVING AN ELEVATION OF 5042.769, NAVD 1988
3. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
5. THIS IS NOT A BOUNDARY SURVEY. BEARINGS AND DISTANCES SHOWN HEREON ARE FOR REFERENCE ONLY.



SITE AREA = 1.60 ACRE ZONE: ONE (1)
PRECIPITATION: 360 = 2.20 in.
1440 = 2.66 in.
10day = 3.67 in.

EXCESS PRECIPITATION:

TREATMENT A	0.44 in
TREATMENT B	0.67 in
TREATMENT C	0.99 in
TREATMENT D	1.97 in

PEAK DISCHARGE:

1.29 cfs/ac
2.03 cfs/ac
2.87 cfs/ac
4.37 cfs/ac

EXISTING CONDITIONS:

TREATMENT	AREA
TREATMENT A	0.00 ac
TREATMENT B	0.00 ac
TREATMENT C	0.17 ac
TREATMENT D	1.43 ac

PROPOSED CONDITIONS:

TREATMENT	AREA
TREATMENT A	0.00 ac
TREATMENT B	0.00 ac
TREATMENT C	0.14 ac
TREATMENT D	1.46 ac

EXISTING EXCESS PRECIPITATION:

Weighted E = (0.44)(0.00) + (0.67)(0.00) + (0.99)(0.17) + (1.97)(1.43)/1.60
= 1.87 in
V100-360 = (1.87)(1.60)/12 = 0.24933 ac-ft = 10,861.0 cf

EXISTING PEAK DISCHARGE:

Q100 = (1.29)(0.00) + (2.03)(0.00) + (2.87)(0.17) + (4.37)(1.43) = 6.74 cfs

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.44)(0.00) + (0.67)(0.00) + (0.99)(0.14) + (1.97)(1.46)/1.60
= 1.88 in
V100-360 = (1.88)(1.60)/12.0 = 0.25067 ac-ft = 10,919.2 cf

V100-1440 = (0.25) + (1.60)(2.66 - 2.20)/12 = 0.31133 ac-ft = 13,561.5 cf

V100-10day = (0.25) + (1.60)(3.67 - 2.20)/12 = 0.44600 ac-ft = 19,427.8 cf

PROPOSED PEAK DISCHARGE:

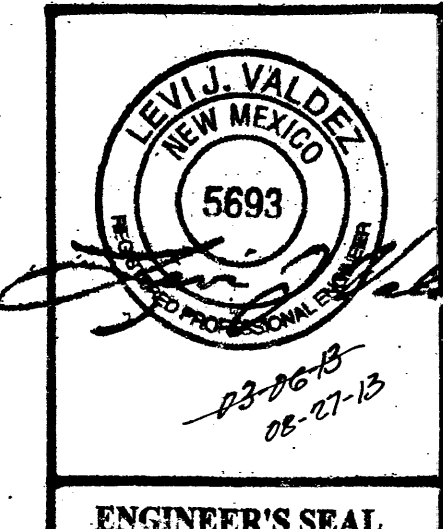
Q100 = (1.29)(0.00) + (2.03)(0.00) + (2.87)(0.14) + (4.37)(1.46) = 6.78 cfs

INCREASE: V100-360 = 58.2 cf

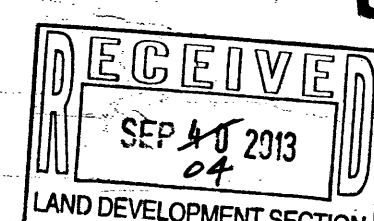
Q100 = 0.04 cfs

EXISTING RETENTION POND VOLUME:

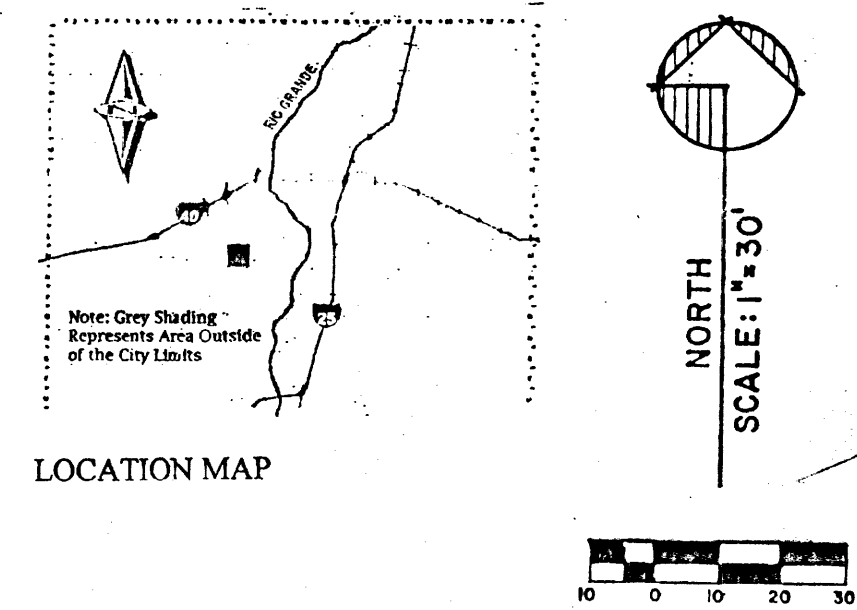
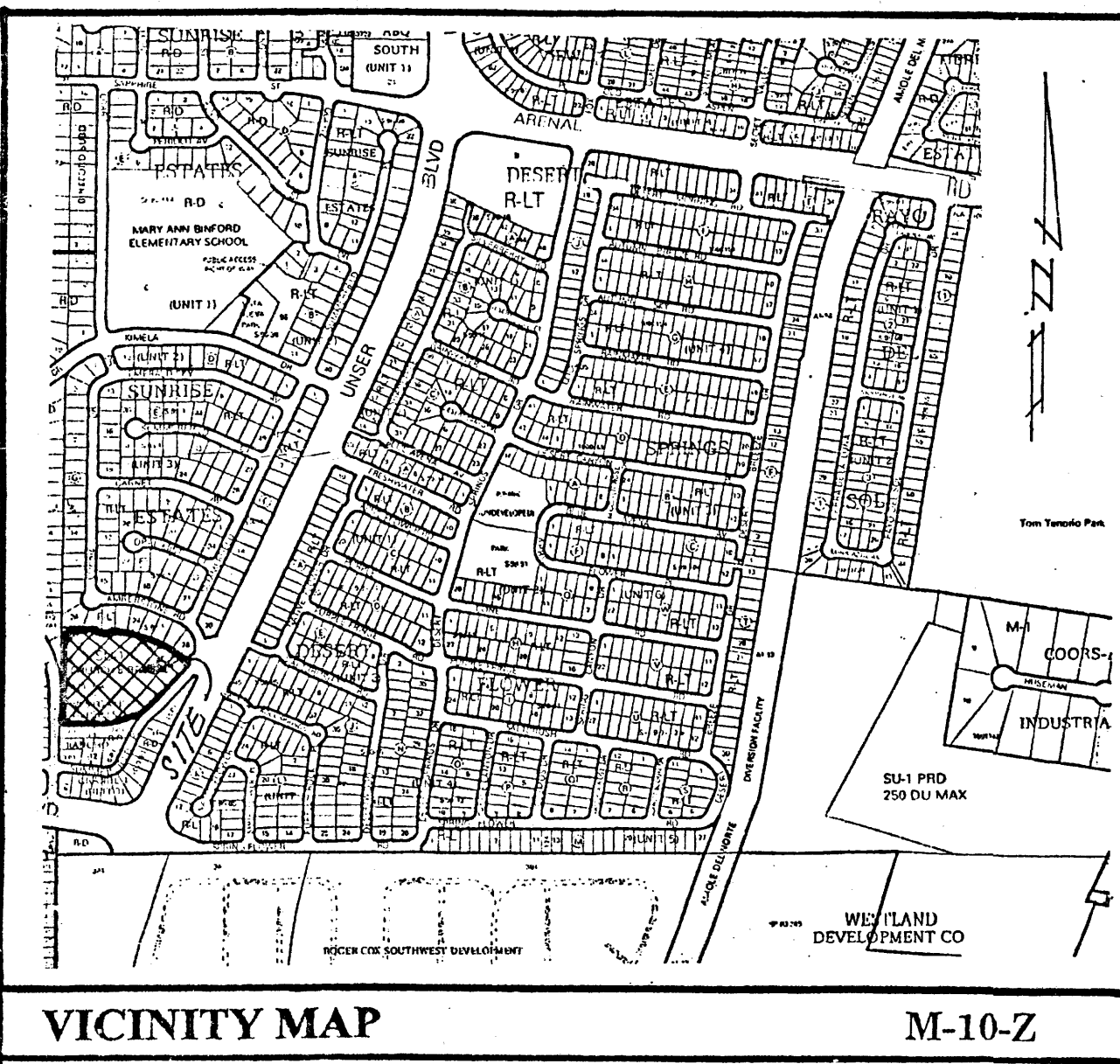
POND SIZE (MEAN DIMENSIONS)
44.0' X 68.0' X 6.6' DEPTH = 19,747.0 CU. FT.
FREEBOARD = 319.2 CU. FT.



A DRAINAGE PLAN
FOR A PROPOSED 30' X 70' ADMINISTRATIVE BUILDING
FOR
SANTUARIO de SAN MARTIN DE PORRES
CATHOLIC CHURCH
(8301 CAMINO SAN MARTIN, S.W.)
ALBUQUERQUE, NEW MEXICO
DECEMBER, 2012



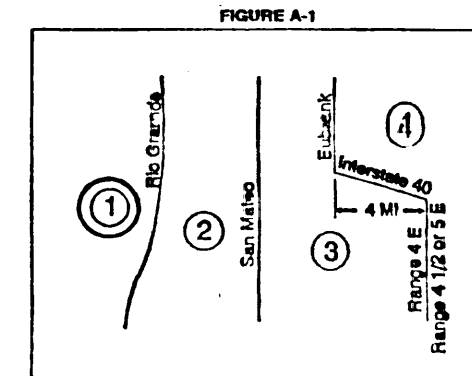
M10-0003



Legal Description:

Tract "A", WESTGATE HEIGHTS, to the city of Albuquerque, Bernalillo County, New Mexico, (Zone Map "M-10-Z").

NOTE: Reference is hereby made to the approved Grading and Drainage Plan for Santuario de San Martin de Porres Catholic Church, located at 8301 Camino San Martin, WestGate Heights, Albuquerque, New Mexico, that was prepared for the "Site Development Plan for Building Permit", (Project Number 1008137, Application Number: 10DRB-70095), approved by the Environmental Planning Commission, (E.P.C.), dated February 18, 2010.



DRAINAGE CERTIFICATION

I, LEVI J. VALDEZ, NMPE #5693 of the firm LEVI J. VALDEZ & ASSOCIATES, P.C., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 12-02-14. The record information edited onto the original design document has been obtained by LEVI J. VALDEZ, NMPE #5693, of the firm LEVI J. VALDEZ & ASSOCIATES, P.C.. I further certify that I have personally visited the project site on 12-02-14 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certification of Occupancy, (PERMANENT).

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Levi J. Valdez
DATE
12-02-14
Date



TABLE A-4. LAND TREATMENTS	
Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundwater and infiltration capacity. Cephaleps. Included Arroyos.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent at: less than 20 percent.
C	Soil uncompacted by human activity. Minimal vegetation. Used parking, roads, trails, landscaped lawns, lawns or other on planar slopes (landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds, and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by USCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs. Most watersheds contain a mix of land treatments. To determine proportional treatment, measure respective subarea. In lieu of specific measurement for treatment D, the area percentages in TABLE A-5 shall be employed.

TABLE A-5. PEAK DISCHARGE (cfs/acre)	
Zone	Treatment
	A B C D
1	1.29 (0.00, 0.24) 2.03 (0.31, 0.74) 2.87 (0.47, 1.49) 4.37 (1.69, 7.89)
2	1.56 (0.00, 0.38) 2.28 (0.08, 0.95) 3.14 (0.60, 1.71) 4.70 (1.86, 3.14)
3	1.87 (0.00, 0.50) 2.60 (0.21, 1.19) 3.45 (0.78, 2.009) 5.02 (2.04, 3.39)
4	2.30 (0.05, 0.87) 3.32 (0.38, 1.45) 4.37 (1.00, 2.26) 6.23 (2.17, 3.57)

Drainage Comments:

As shown on the Vicinity Map hereon, the subject site is located near the Northwest corner of Unser Blvd. S.W. and Gibson Blvd. S.W. in the City of Albuquerque, Bernalillo County, New Mexico, (Zone Atlas Map "M-10-Z").

The subject site 1.) is presently an developed church property, the proposed plan as shown hereon is to construct a 30'x 70' administrative building and associated improvements thereon, 2.) does not contribute flows to adjacent properties, 3.) does not accept flows from adjacent properties, 4.) is not located within a designated floodplain, (reference F.E.M.A. Firm Panel 336 of 825), 5.) is to discharge the minimal new developed flows into the existing retention pond sized for the existing church development.

SITE AREA = 1.60 ACRE ZONE: ONE (1)
PRECIPITATION: 360 = 2.20 in.
1440 = 2.66 in.
10day = 3.67 in.

EXCESS PRECIPITATION:

TREATMENT	AREA	PEAK DISCHARGE
TREATMENT A	0.44 in.	1.29 cfs/ac.
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EXISTING CONDITIONS:

TREATMENT	AREA	PROPOSED CONDITIONS:
TREATMENT A	0.00 ac.	0.00 ac.
TREATMENT B	0.00 ac.	0.00 ac.
TREATMENT C	0.17 ac.	0.14 ac.
TREATMENT D	1.43 ac.	1.46 ac.

EXISTING EXCESS PRECIPITATION:

Weighted E = $(0.44 \times 0.00) + (0.67 \times 0.00) + (0.99 \times 0.17) + (1.97 \times 1.43) / 1.60$
= 1.87 in
V100-360 = $(1.87 \times 1.60) / 12 = 0.24933 \text{ ac-ft} = 10,861.0 \text{ cf}$

EXISTING PEAK DISCHARGE:

Q100 = $(1.29 \times 0.00) + (2.03 \times 0.00) + (2.87 \times 0.17) + (4.37 \times 1.43) = 6.74 \text{ cfs}$

PROPOSED EXCESS PRECIPITATION:

Weighted E = $(0.44 \times 0.00) + (0.67 \times 0.00) + (0.99 \times 0.14) + (1.97 \times 1.46) / 1.60$
= 1.88 in
V100-360 = $(1.88 \times 1.60) / 12.0 = 0.25067 \text{ ac-ft} = 10,919.2 \text{ cf}$

V100-1440 = $(0.25) + (1.60 \times 2.66 - 2.20) / 12 = 0.31133 \text{ ac-ft} = 13,561.5 \text{ cf}$

V100-10day = $(0.25) + (1.60 \times 3.67 - 2.20) / 12 = 0.44600 \text{ ac-ft} = 19,427.8 \text{ cf}$

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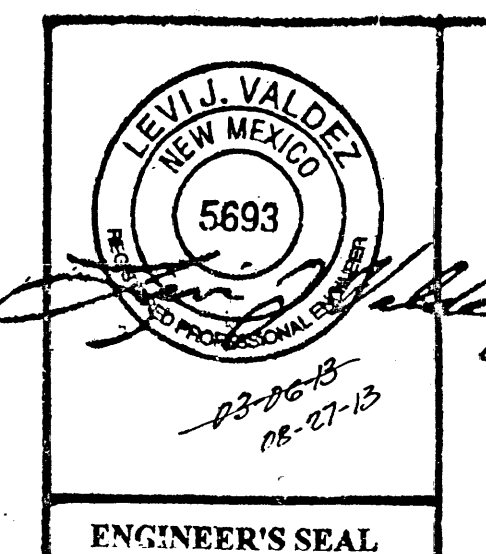
Q100 = $(1.29 \times 0.00) + (2.03 \times 0.00) + (2.87 \times 0.14) + (4.37 \times 1.46) = 6.78 \text{ cfs}$

INCREASE: V100-360 = 58.2 cf

Q100 = 0.04 cfs

"ENGINEER'S CERTIFICATION: 12-01-14"

A DRAINAGE PLAN
FOR A PROPOSED 30' X 70' ADMINISTRATIVE BUILDING
FOR
SANTUARIO de SAN MARTIN DE PORRES
CATHOLIC CHURCH
(8301 CAMINO SAN MARTIN, S.W.)
ALBUQUERQUE, NEW MEXICO
DECEMBER, 2012



ENGINEER'S SEAL

EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

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- 2) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
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CONSTRUCTION NOTES:

- 1) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
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- 3) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4) ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

GENERAL NOTES:

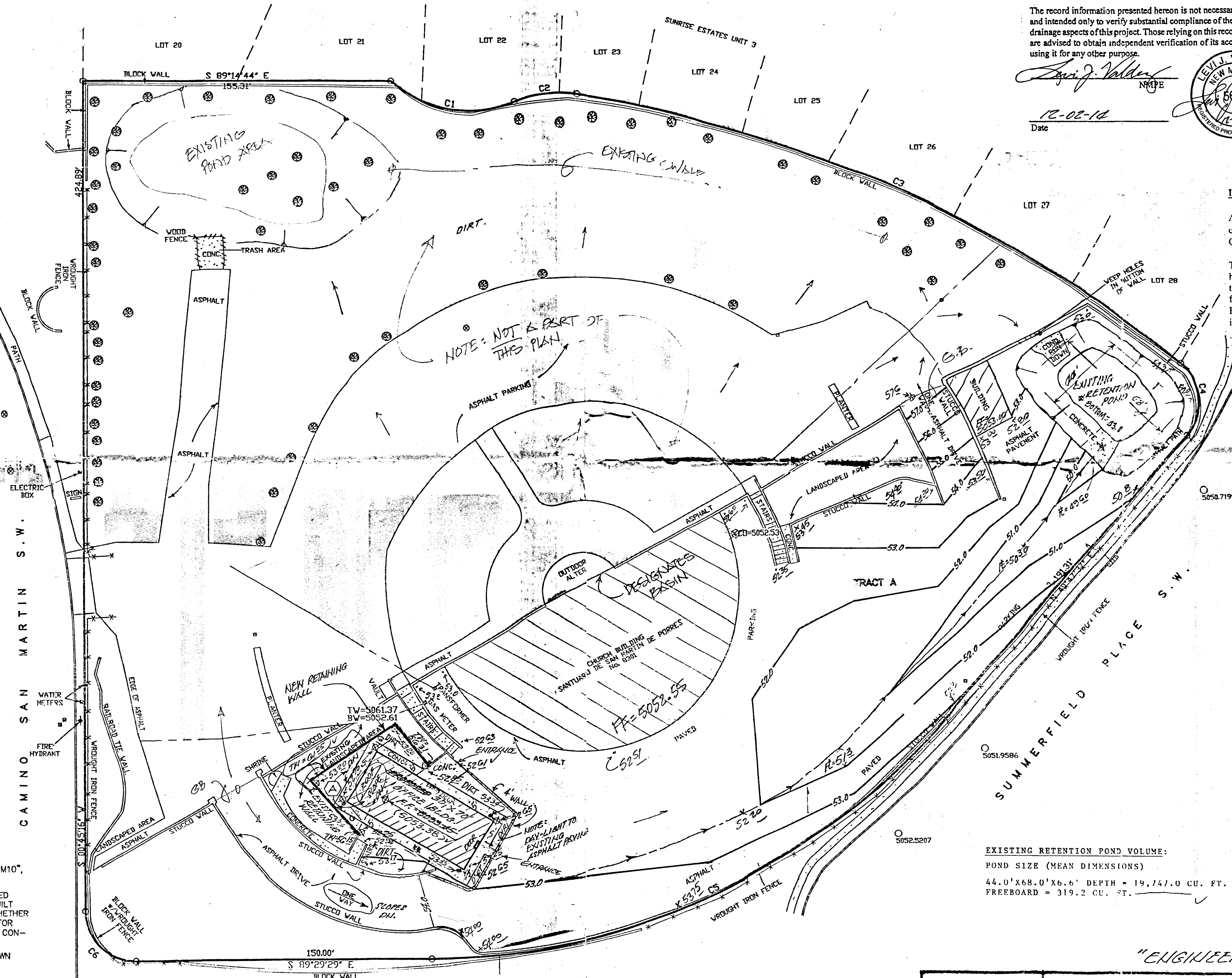
- 1) NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- 2) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

LEGEND:

TOP OF CURB ELEVATION = N/A
CURB FLOWLINE ELEVATION = N/A
EXISTING SPOT ELEVATION = *
EXISTING CONTOUR ELEVATION = *
PROPOSED SPOT ELEVATION = +
PROPOSED CONTOUR ELEVATION = +
PROPOSED OR EXISTING CONCRETE SURFACE =
EXISTING FENCE LINE =

GENERAL NOTES:

- 1) CONTOUR INTERVAL IS ONE (1) FOOT.
- 2) ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "5-M10", HAVING AN ELEVATION OF 5042.759, NAVD 1988
- 3) UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- 5) THIS IS NOT A BOUNDARY SURVEY. BEARINGS AND DISTANCES SHOWN HEREON ARE FOR REFERENCE ONLY.



FORMER LANDSCAPE AREA NOW NEW BUILDING AREA

NOTE: DATA IN RED IS PER CERTIFICATION 12-02-14.

2010-0002

RECEIVED
SEP 4 2013
04
LAND DEVELOPMENT SECTION

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	63°52'40"	S 79°46'36" E	60.00	66.89	63.48
C2	30°48'28"	S 83°41'23" W	60.00	32.26	31.87
C3	31°42'00"	N 65°03'23" W	617.53	341.66	337.32
C4	90°00'00"	N 04°12'23" W	25.00	39.27	35.36
C5	49°42'54"	N 65°39'04" E	344.33	298.77	289.49
C6	90°14'25"	S 44°21'56" E	25.00	39.37	35.43

SITE DATA

LEGAL: TRACT A, WESTGATE HEIGHTS
ADDRESS: 8301 CAMINO SAN MARTIN

SITE AREA: 4.555 ACRES (198,410 SF)
ZONING: SU-1 FOR CHURCH & RELATED FACILITIES

BENCHMARK: CITY OF ALBUQUERQUE STATION
5-M10' BEING A BRASS CAP
ELEV= 5042.77 (NAVD 1988)

SHARED PARKING FOR NON CONCURRENT USE

USE	TOTAL REQUIRED	TOTAL REQUIRED ON WEEKENDS	TOTAL REQUIRED ON WEEK DAYS
NEW CHURCH/ SANCTUARY	153 SPACES	153 SPACES	0 SPACES
EXISTING ADMINISTRATION	11 SPACES	0 SPACES	11 SPACES
FUTURE PARISH HALL	83 SPACES	0 SPACES	83 SPACES
TOTAL PROVIDED	247 SPACES	0 SPACES	94 SPACES

MIXED USE PARKING

NOTE:
THE PARKING ON THIS SITE IS TO BE USED BY ALL THREE BUILDINGS ON SITE: THE NEW CHURCH, THE OFFICE AND THE PARISH HALL. ALL THREE BUILDINGS ARE OWNED, STAFFED AND OPERATED BY THE SAN MARTIN DE PORRES CHURCH. THE CHURCH WILL BE ONLY OPEN ON SUNDAYS WHILE THE OTHER TWO BUILDINGS ARE CLOSED. ALL PARKING STALLS ARE IN THE PROXIMITY OF EACH BUILDING AND THE WHOLE SITE IS CONNECTED FOR PEDESTRIAN MOBILITY.

PARKING CALCULATIONS

NEW SANCTUARY/ CHURCH
1 SPACE FOR EACH 4 SEATS IN MAIN SANCTUARY (EA. 30 INCH OF ROW SPACE IS CONSIDERED ONE SEAT) 3 SEATS
613/ 4= 153 SPACES
PARKING PROVIDED: 153 SPACES
ADA PARKING REQUIRED: 8 SPACES
ADA PARKING PROVIDED: 8 SPACES
MOTORCYCLE PARKING REQUIRED: 4 SPACE
MOTORCYCLE PARKING PROVIDED: 4 SPACES
BICYCLE PARKING REQUIRED: 3 SPACE
BICYCLE PARKING PROVIDED: 5 SPACES

EXISTING OFFICE BUILDING
ONE SPACE PER 200 SF. NET LEASABLE AREA: 2,150 GROSS SQUARE FEET.
2,150 / 200 SF = 11 SPACES
PARKING PROVIDED: 11 SPACES
ADA PARKING REQUIRED: 1 SPACE
ADA PARKING PROVIDED: 1 SPACE
MOTORCYCLE PARKING REQUIRED: 1 SPACE
MOTORCYCLE PARKING PROVIDED: 1 SPACE
BICYCLE PARKING REQUIRED: 1 SPACE
BICYCLE PARKING PROVIDED: 2 SPACE

FUTURE PARISH HALL/ EXISTING CHURCH
ONE SPACE FOR EACH 4 SEATS IN MAIN ROOM UNCONCENTRATED SEATING
332 OCCUPANTS
332/ 4= 83 SPACES
PARKING PROVIDED: 64 SPACES
ADA PARKING REQUIRED: 4 SPACES
ADA PARKING PROVIDED: 6 SPACES
MOTORCYCLE PARKING REQUIRED: 3 SPACE
MOTORCYCLE PARKING PROVIDED: 3 SPACES
BICYCLE PARKING REQUIRED: 3 SPACE
BICYCLE PARKING PROVIDED: 5 SPACES

TOTAL SITE PARKING

PARKING REQUIRED: 247 SPACES
PARKING PROVIDED: 221 SPACES
ADA PARKING REQUIRED: 13 SPACES
ADA PARKING PROVIDED: 15 SPACES
MOTORCYCLE PARKING REQUIRED: 8 SPACES
MOTORCYCLE PARKING PROVIDED: 8 SPACES
BICYCLE PARKING REQUIRED: 11 SPACES
BICYCLE PARKING PROVIDED: 14 SPACES

KEYED NOTES

- NEW 6' CONCRETE SIDEWALK.
- NEW STANDARD CONCRETE DRIVE PAD, PER COA STANDARD DETAIL 2425.
- EXISTING 2,150 G.S.F. BUILDING.
- NEW EXTERIOR LIGHT POLE, SEE DETAIL 15/AS-501.
- NEW WHEELCHAIR RAMP W/ MAX. SLOPE OF 1:12 SEE DETAIL 10/AS-501
- NEW CONCRETE CURB & GUTTER, SEE DETAIL 14/AS-501.
- NEW ASPHALT PAVING, SEE DETAIL 12/AS-501.
- NEW MOTORCYCLE PARKING SPACE & SIGN, SEE DETAIL 7/AS-501. MOTORCYCLE PARKING A SPACES FOR EACH BUILDING ON THE SITE SHALL BE LOCATED TO COMPLY WITH 14-16-3-1(C).
- EXISTING LIGHT POLES TO REMAIN.
- EXISTING FREE STANDING SIGNAGE TO BE REMOVED ONTO SUBJECT PROPERTY.
- NEW 4" WIDE THERMOPLASTIC CROSSWALK STRIPING.
- NEW 4" WIDE PAVEMENT MARKING.
- NEW LANDSCAPE ISLAND.
- NEW TURN-DOWN CONCRETE SIDEWALK, SEE DETAIL 13/AS-501.
- DESIGNATED PARISHIONER DROP/ PICK-UP AREA.
- NEW DUMPSTER, SEE DETAIL 2/AS-501
- NEW BIKE RACK, SEE DETAIL 1/AS-501.
- EXISTING 6' IN HEIGHT CMU WALL.
- NEW STOP SIGN, SEE DETAIL 6/AS-501.
- NEW ACCESSIBLE PARKING SIGN, SEE DETAIL 8/AS-501 & 9/AS-501.
- NEW ACCESSIBLE PARKING SPACE, SEE DETAIL 5/AS-501.
- EXISTING ACCESSIBLE PARKING SPACE & SIGN TO REMAIN.
- EXISTING STORAGE STRUCTURE.
- NEW DESIGN OF EXISTING DETENTION POND, SEE GRADING AND DRAINAGE SHEET CG-101.
- EXISTING DETENTION POND.
- EXISTING CMU WALL, HEIGHT VARIES FROM 3' TO 6' IN HEIGHT (BROWN STUCCO).
- EXISTING 6' IN HEIGHT WROUGHT IRON FENCE.
- NEW TREE WELL & LANDSCAPE AREA SEE DETAIL 5/AS-501.

GENERAL NOTES

- ALL WHEELCHAIR RAMPS IN THE CITY RIGHT OF WAY SHALL HAVE A MAXIMUM SLOPE OF 1:12 AND MUST HAVE A DETECTABLE WARNING SURFACE CONSISTING OF RAISED, TRUNCATED DOMES.
- EXACT LOCATION OF SITE LIGHTING WILL BE VERIFIED BY PHOTOMETRIC STUDY, DURING CONSTRUCTION DOCUMENT PHASE. THE LOCATION OF SITE LIGHTING SHALL BE COORDINATED WITH THE LANDSCAPE PLAN AND GRADING & DRAINAGE PLAN TO AVOID CONFLICTS WITH SHADE TREES AND STORM WATER FLOWS.
- ALL ROOF & GROUND MOUNTED EQUIPMENT TO BE SCREENED. PER 14-16-3-18(C)(6) ANY STRUCTURAL FEATURES USED TO SCREEN EQUIPMENT SHALL MATCH THE PREDOMINANT MATERIALS AND COLORS USED IN THE BUILDING.
- IT IS THE APPLICANT'S OBLIGATIONS TO DETERMINE IF EXISTING UTILITY EASEMENTS OR RIGHTS-OF-WAY ARE LOCATED ON OR ADJACENT TO THE PROPERTY AND TO ABIDE BY ANY CONDITIONS OR TERMS OF THE EASEMENTS OR AGREEMENTS.
- ALL SCREENING AND VEGETATION SURROUNDING GROUND MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSE.
- AREA LIGHTING SHALL COMPLY WITH 14-16-3-9 OF THE ZONING CODE.
- EPC DELEGATES APPROVAL OF THE FUTURE OFFICE BUILDING TO THE DRB, PER THE DESIGN STANDARDS ON SHEET 8 (G-002).
- EXTERIOR LIGHTING FIXTURES SHALL RELATE STYLISTICALLY TO THE ARCHITECTURE OF THE ADJACENT BUILDINGS.
- CONTROLLED, DIRECTIONAL LIGHTING SHALL BE USED TO HIGHLIGHT PUBLIC SPACES AND WALKWAYS.
- FIXTURE STYLE AND DESIGN SHALL BE COMPATIBLE AND CONSISTENT.
- EXISTING WROUGHT IRON FENCE IN COA RIGHT-OF-WAY TO BE RELOCATED DURING CONSTRUCTION.

VICINITY MAP
M-10-Z
NOT TO SCALE

INDEX OF DRAWINGS

- AS-101 SITE PLAN FOR BUILDING PERMIT
- AS-501 SITE PLAN DETAILS
- L-100 PROPOSED LANDSCAPE PLAN
- L-101 DEMOLITION & EXISTING LANDSCAPE PLAN
- CG-102 PRELIMINARY UTILITY PLAN
- CG-101 PRELIMINARY GRADING PLAN
- A-201 BUILDING ELEVATIONS
- G-002 DESIGN STANDARDS

- EXISTING CMU RETENTION WALL. HEIGHT VARIES FROM 3' TO 20' IN HEIGHT (BROWN STUCCO).
- FUTURE LANDSCAPE & SIDEWALK AREA.
- NEW STEEL GATE, SEE DETAIL 17/AS-501.
- REMOVE EXISTING LIGHT POLES AND RETURN TO OWNER.
- NEW SITE BENCHES, SEE DETAIL 18/AS-501.
- NEW PLAZA & LANDSCAPE AREA- SEE LANDSCAPE DRAWINGS.
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- NEW CONCRETE WHEEL STOPS- MATCH EXISTING (TYPICAL).
- EXISTING CONCRETE WHEEL STOPS (TYPICAL).
- RE-INSTALL EXISTING 6" STEEL BOLLARDS.

LEGEND

C = COMPACT CARS SPACE
M = MOTORCYCLE PARKING

ADMINISTRATIVE AMENDMENT

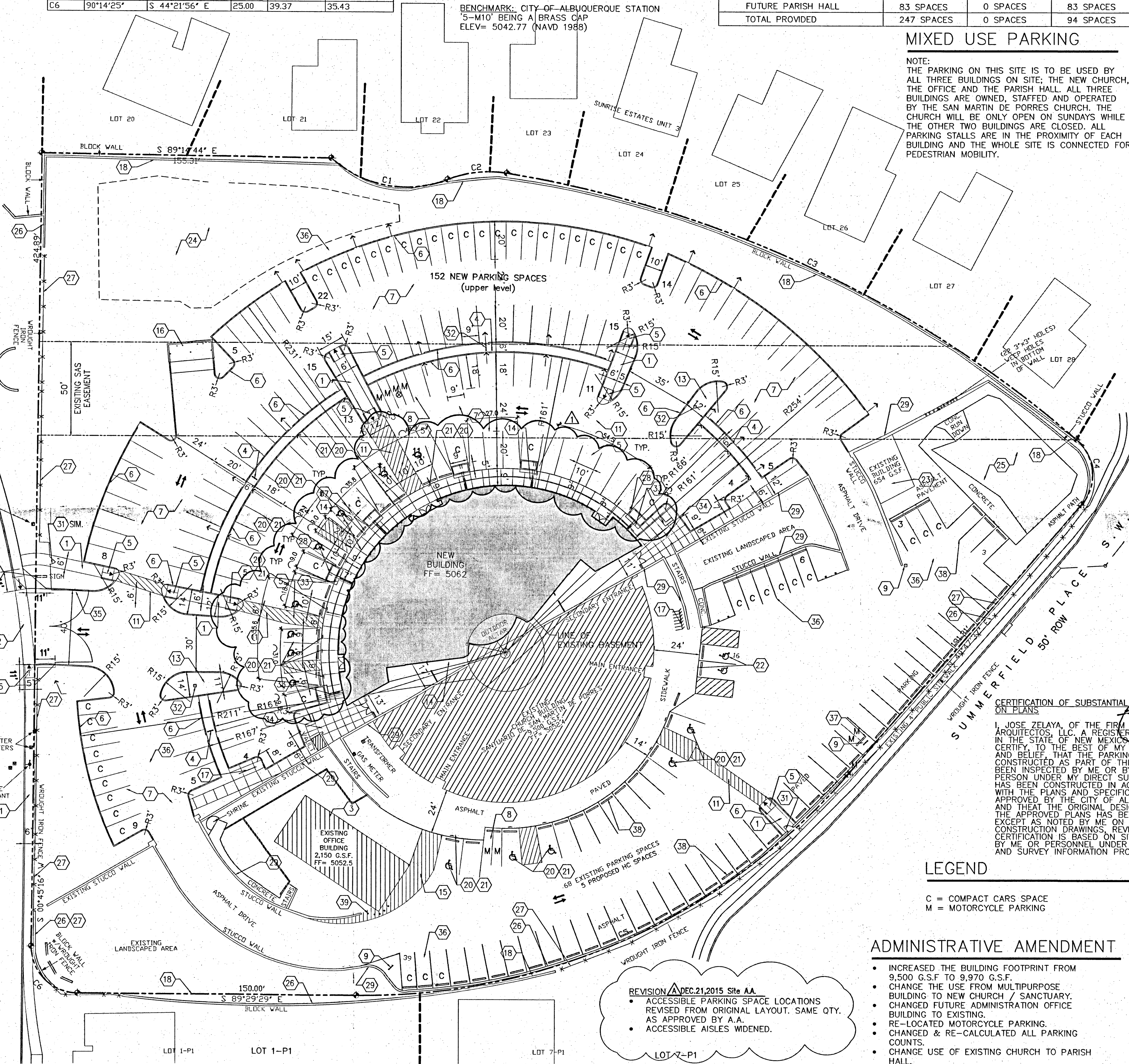
- INCREASED THE BUILDING FOOTPRINT FROM 9,500 G.S.F. TO 9,970 G.S.F.
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- REQUEST FOR SHARED PARKING FOR NON-CONCURRENT USE.

REVISION DEC.21.2015 Site AA
• ACCESSIBLE PARKING SPACE LOCATIONS REVISED FROM ORIGINAL LAYOUT. SAME QTY. AS APPROVED BY A.A.
• ACCESSIBLE AISLES WIDENED.

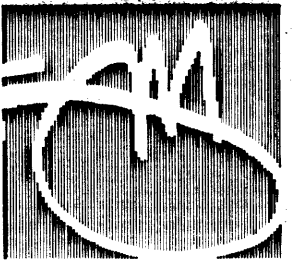
CERTIFICATION OF SUBSTANTIAL COMPLIANCE ON PLANS

I, JOSE ZELAYA, OF THE FIRM J.M.Z. ARCHITECTOS, LLC, A REGISTERED ARCHITECT IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE PARKING LAYOUT CONSTRUCTED AS PART OF THIS PROJECT HAS BEEN INSPECTED BY ME OR BY A QUALIFIED PERSON UNDER MY DIRECT SUPERVISION AND HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE CITY OF ALBUQUERQUE AND THAT THE ORIGINAL DESIGN INTENT OF THE APPROVED PLANS HAS BEEN MET EXCEPT AS NOTED BY ME ON THE AS-BUILT CONSTRUCTION DRAWINGS. REVISION A. THIS CERTIFICATION IS BASED ON SITE INSPECTIONS BY ME OR PERSONNEL UNDER MY DIRECTION AND SURVEY INFORMATION PROVIDED TO ME.

12/21/2015



CONCEPTUAL SITE PLAN
1" = 30'



J M Z arquitectos
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Jose M. Zelaya, AIA

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Stamp



Consultant

Client

Archdiocese of Santa Fe
4000 St. Joseph Pl. N.W.
Albuquerque, NM 87120

Revisions

No. Date Description
1 DEC.21.2015 Site A.A.

Issue Date: SEPT 4, 2014

Project No. JNZ 032013

Doc. Phase: 100% CDS

FOR PERMIT
AND CONSTRUCTION

Drawn By: MTM, DTN, MUG, AKM

Checked By: JNZ

Principal: JNZ

Signed:

Date:

License No.

Project Name

Sanctuario
San Martin De Porres
8301 Camino San Martin SW
Westgate Heights
Albuquerque, NM 87121

Sheet Title

CERTIFIED
AS BUILT
SITE LAYOUT

Sheet Number

AS-101R

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NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	63°52'40"	S 79°46'36" E	60.00	66.89	63.48
C2	30°48'28"	S 83°41'23" W	60.00	32.26	31.87
C3	31°42'00"	N 65°03'23" W	617.53	341.66	337.32
C4	90°00'00"	N 04°12'23" W	25.00	39.27	35.36
C5	49°42'54"	N 65°39'04" E	344.33	298.77	289.49
C6	90°14'25"	S 44°21'56" E	25.00	39.37	35.43

SITE DATA

LEGAL: TRACT A, WESTGATE HEIGHTS
ADDRESS: 8301 CAMINO SAN MARTIN

SITE AREA: 4.555 ACRES (198,410 SF)

ZONING: SU-1 FOR CHURCH & RELATED FACILITIES

BENCHMARK: CITY OF ALBUQUERQUE STATION
"5-M10" BEING A BRASS CAP
ELEV= 5042.77 (NAVD 1985)

SHARED PARKING FOR NON CONCURRENT USE

USE	TOTAL REQUIRED	TOTAL REQUIRED ON WEEKENDS	TOTAL REQUIRED ON WEEK DAYS
NEW CHURCH/ SANCTUARY	153 SPACES	153 SPACES	0 SPACES
EXISTING ADMINISTRATION	11 SPACES	0 SPACES	11 SPACES
FUTURE PARISH HALL	83 SPACES	0 SPACES	83 SPACES
TOTAL PROVIDED	247 SPACES	0 SPACES	94 SPACES

MIXED USE PARKING

NOTE:

THE PARKING ON THIS SITE IS TO BE USED BY ALL THREE BUILDINGS ON SITE; THE NEW CHURCH, THE OFFICE AND THE PARISH HALL. ALL THREE BUILDINGS ARE OWNED, STAFFED AND OPERATED BY THE SAN MARTIN DE PORRES CHURCH. THE CHURCH WILL BE ONLY OPEN ON SUNDAYS WHILE THE OTHER TWO BUILDINGS ARE CLOSED. ALL PARKING STALLS ARE IN THE PROXIMITY OF EACH BUILDING AND THE WHOLE SITE IS CONNECTED FOR PEDESTRIAN MOBILITY.

PARKING CALCULATIONS

NEW SANCTUARY/ CHURCH

1 SPACE FOR EACH 4 SEATS IN MAIN SANCTUARY (EA. 30 INCH OF PEW SPACE IS CONSIDERED ONE SEAT) 613 SEATS
613 / 4 = 153 SPACES
PARKING REQUIRED: 153 SPACES
PARKING PROVIDED: 153 SPACES
ADA PARKING REQUIRED: 8 SPACES
ADA PARKING PROVIDED: 8 SPACES
MOTORCYCLE PARKING REQUIRED: 4 SPACE
MOTORCYCLE PARKING PROVIDED: 4 SPACES
BICYCLE PARKING REQUIRED: 3 SPACE
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EXISTING OFFICE BUILDING

ONE SPACE PER 200 SF. NET LEASABLE AREA:
2,150 GROSS SQUARE FEET.
2,150 / 200 SF = 11 SPACES
PARKING REQUIRED: 11 SPACES
PARKING PROVIDED: 5 SPACES
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BICYCLE PARKING REQUIRED: 1 SPACE
BICYCLE PARKING PROVIDED: 2 SPACE

FUTURE PARISH HALL/ EXISTING CHURCH

ONE SPACE PER EACH 4 SEATS IN MAIN ROOM
UNCONCENTRATED SEATING
332 OCCUPANTS
332 / 4 = 83 SPACES
PARKING REQUIRED: 83 SPACES
PARKING PROVIDED: 64 SPACES
ADA PARKING REQUIRED: 4 SPACES
ADA PARKING PROVIDED: 4 SPACES
MOTORCYCLE PARKING REQUIRED: 3 SPACE
MOTORCYCLE PARKING PROVIDED: 3 SPACES
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KEYED NOTES

- NEW 6" CONCRETE SIDEWALK.
- NEW STANDARD CONCRETE DRIVE PAD, PER COA STANDARD DETAIL 2425 .
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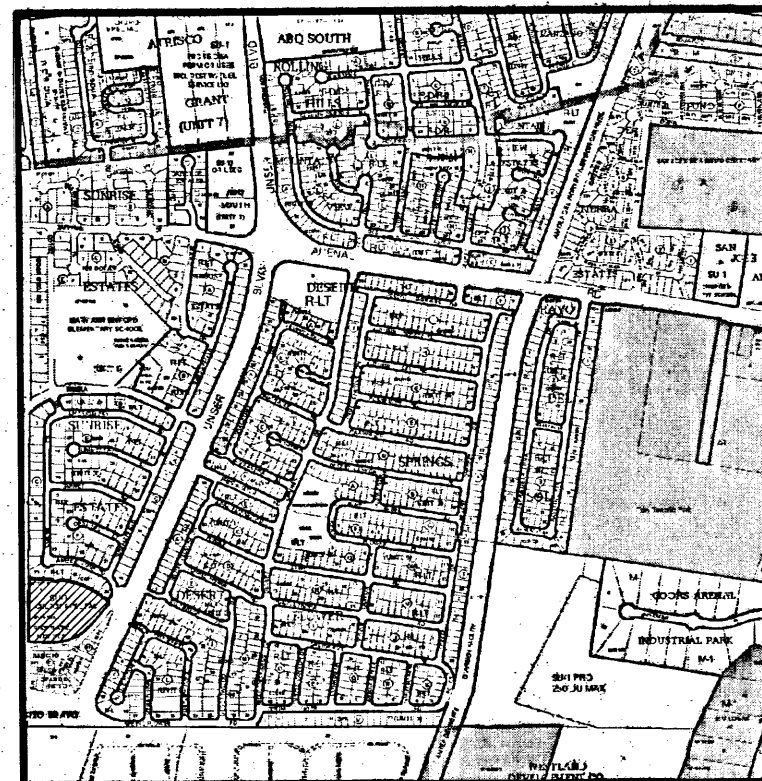
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• ACCESSIBLE AISLES WIDENED.



VICINITY MAP M-10-Z
NOT TO SCALE

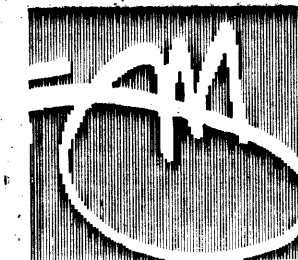
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GENERAL NOTES

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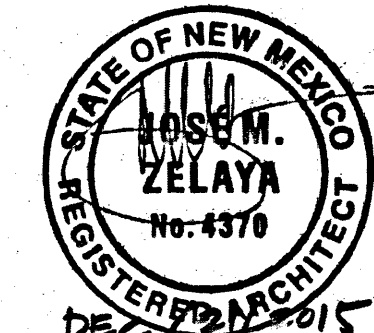
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Consultant

Client

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Revisions

No. Date Description
A DEC.21.2015 Site A.A.

Issue Date: SEPT 4, 2014

Project No. JMZ 032013

Doc. Phase: 100% CDS

FOR PERMIT
AND CONSTRUCTION

Drawn By: MTM, DTN, MJG, AKM

Checked By: JMZ

Principal: JMZ

Signed:

Date:

License No.

Project Name

Santuario
San Martin De Porres
8301 Camino San Martin SW
Westgate Heights
Albuquerque, NM 87121

Sheet Title

CERTIFIED
AS BUILT
SITE LAYOUT

Sheet Number

AS-101R

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5-M10' BEING A BRASS CAP
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SHARED PARKING FOR NON CONCURRENT USE

USE	TOTAL REQUIRED	TOTAL REQUIRED ON WEEKENDS	TOTAL REQUIRED ON WEEK DAYS
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332 OCCUPANTS
332/ 4= 83 SPACES
PARKING PROVIDED: 83 SPACES
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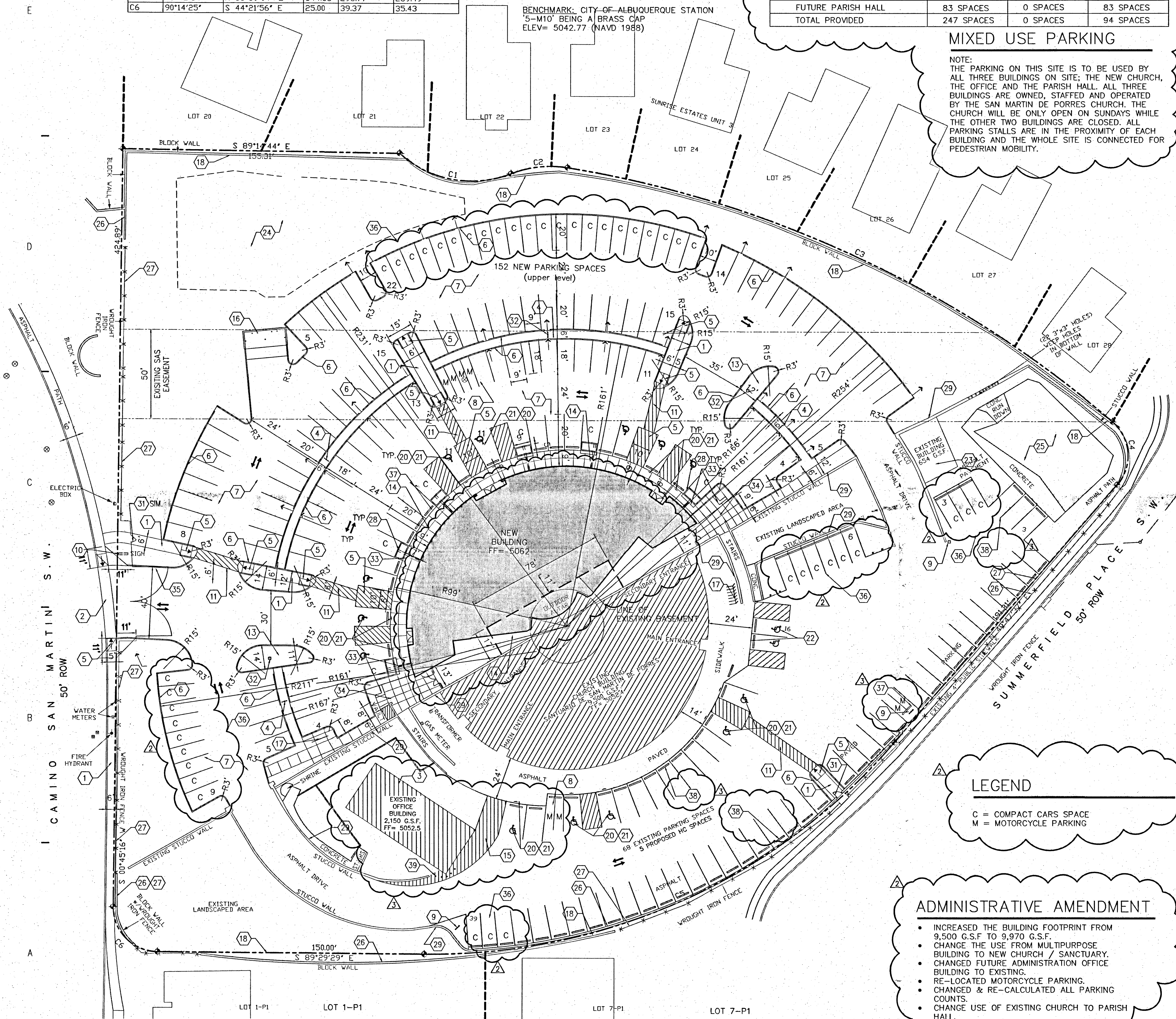
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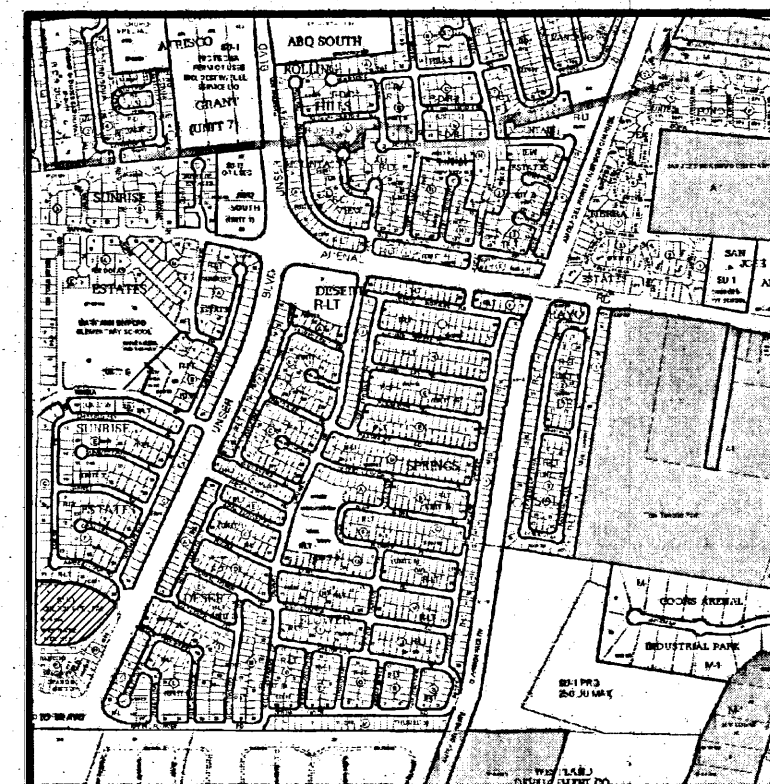
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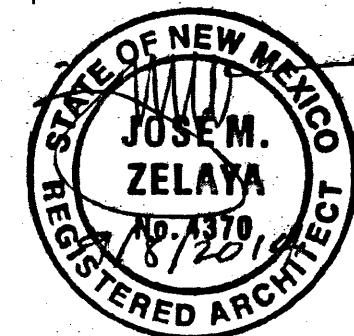
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Consultant

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Revisions

No. Date Description
1 Oct. 10, 2013 Site AA
2 Oct. 16, 2013 Site AA-City Com.

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San Martin De Porres
8301 Camino San Martin SW
Westgate Heights
Albuquerque, NM 87121

Sheet Title

SITE PLAN
FOR
BUILDING PERMIT

Sheet Number

AS-101

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NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	63°52'40"	S 79°46'36" E	60.00	66.89	63.48
C2	30°48'28"	S 83°41'23" W	60.00	32.26	31.87
C3	31°42'00"	N 65°03'23" W	617.53	341.66	337.32
C4	90°00'00"	N 04°12'23" W	25.00	39.27	35.36
C5	49°42'54"	N 65°39'04" E	344.33	298.77	289.49
C6	90°14'25"	S 44°21'56" E	25.00	39.37	35.43

SITE DATA

LEGAL: TRACT A, WESTGATE HEIGHTS
ADDRESS: 8301 CAMINO SAN MARTIN

SITE AREA: 4.555 ACRES (198,410 SF)

ZONING: SU-1 FOR CHURCH & RELATED FACILITIES

BENCHMARK: CITY OF ALBUQUERQUE STATION
5-M10 BEING A BRASS CAP
ELEV= 5042.77 (NAVD 1988)

SHARED PARKING FOR NON CONCURRENT USE

USE	TOTAL REQUIRED	TOTAL REQUIRED ON WEEKENDS	TOTAL REQUIRED ON WEEK DAYS
NEW CHURCH/ SANCTUARY	153 SPACES	153 SPACES	0 SPACES
EXISTING ADMINISTRATION	11 SPACES	0 SPACES	11 SPACES
FUTURE PARISH HALL	83 SPACES	0 SPACES	83 SPACES
TOTAL PROVIDED	247 SPACES	0 SPACES	94 SPACES

MIXED USE PARKING

NOTE:
THE PARKING ON THIS SITE IS TO BE USED BY ALL THREE BUILDINGS ON SITE, THE NEW CHURCH, THE OFFICE AND THE PARISH HALL. ALL THREE BUILDINGS ARE OWNED, STAFFED AND OPERATED BY THE SAN MARTIN DE PORRES CHURCH. THE CHURCH WILL BE ONLY OPEN ON SUNDAYS WHILE THE OTHER TWO BUILDINGS ARE CLOSED. ALL PARKING STALLS ARE IN THE PROXIMITY OF EACH BUILDING AND THE WHOLE SITE IS CONNECTED FOR PEDESTRIAN MOBILITY.

PARKING CALCULATIONS

NEW SANCTUARY/ CHURCH
1 SPACE FOR EACH 4 SEATS IN MAIN SANCTUARY
(1A: 10 INCH OF PEY SPACE IS CONSIDERED
ONE SEAT) 613 SEATS
613 / 4 = 153 SPACES
PARKING PROVIDED: 153 SPACES
ADA PARKING REQUIRED: 8 SPACES
MOTORCYCLE PARKING REQUIRED: 4 SPACE
MOTORCYCLE PARKING PROVIDED: 4 SPACES
BICYCLE PARKING REQUIRED: 3 SPACE
BICYCLE PARKING PROVIDED: 5 SPACES

EXISTING OFFICE BUILDING
ONE SPACE PER 200 SF. NET LEASABLE AREA:
2,150 GROSS SQUARE FEET.
2,150 / 200 SF = 11 SPACES
PARKING PROVIDED: 11 SPACES
ADA PARKING PROVIDED: 5 SPACES
MOTORCYCLE PARKING REQUIRED: 1 SPACE
MOTORCYCLE PARKING PROVIDED: 1 SPACE
BICYCLE PARKING REQUIRED: 1 SPACE
BICYCLE PARKING PROVIDED: 2 SPACE

FUTURE PARISH HALL/ EXISTING CHURCH
ONE SPACE FOR EACH 4 SEATS IN MAIN ROOM
UNCONCENTRATED SEATING
332 OCCUPANTS
332 / 4 = 83 SPACES
PARKING PROVIDED: 83 SPACES
ADA PARKING REQUIRED: 4 SPACES
ADA PARKING PROVIDED: 6 SPACES
MOTORCYCLE PARKING REQUIRED: 3 SPACE
MOTORCYCLE PARKING PROVIDED: 3 SPACES
BICYCLE PARKING REQUIRED: 3 SPACE
BICYCLE PARKING PROVIDED: 5 SPACE

TOTAL SITE PARKING

PARKING REQUIRED: 247 SPACES
PARKING PROVIDED: 221 SPACES
ADA PARKING REQUIRED: 13 SPACES
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BICYCLE PARKING REQUIRED: 11 SPACES
BICYCLE PARKING PROVIDED: 14 SPACES

KEYED NOTES

- NEW 6" CONCRETE SIDEWALK.
- NEW STANDARD CONCRETE DRIVE PAD, PER COA STANDARD DETAIL 2425.
- EXISTING 2,150 G.S.F. BUILDING.
- NEW EXTERIOR LIGHT POLE, SEE DETAIL 15/AS-501.
- NEW WHEELCHAIR RAMP W/ MAX SLOPE OF 1:12 SEE DETAIL 10/AS-501
- NEW CONCRETE CURB & GUTTER, SEE DETAIL 14/AS-501.
- NEW ASPHALT PAVING, SEE DETAIL 12/AS-501.
- NEW MOTORCYCLE PARKING SPACE & SIGN, SEE DETAIL 7/AS-501. MOTORCYCLE PARKING SPACES FOR EACH BUILDING ON THE SITE SHALL BE LOCATED TO COMPLY WITH 14-16-3-1(C).
- EXISTING LIGHT POLES TO REMAIN.
- EXISTING FREE STANDING SIGNAGE TO BE REMOVED ONTO SUBJECT PROPERTY.
- NEW 4" WIDE THERMOPLASTIC CROSSWALK STRIPING.
- NEW 4" WIDE PAVEMENT MARKING.
- NEW LANDSCAPE ISLAND.
- NEW TURN-DOWN CONCRETE SIDEWALK, SEE DETAIL 13/AS-501.
- DESIGNATED PARISHIONER DROP-PICK-UP AREA.
- NEW DUMPSTER, SEE DETAIL 2/AS-501
- NEW BIKE RACK, SEE DETAIL 1/AS-501.
- EXISTING 6' IN HEIGHT CMU WALL.
- NEW STOP SIGN, SEE DETAIL 6/AS-501.
- NEW ACCESSIBLE PARKING SIGN, SEE DETAIL 8/AS-501 & 9/AS-501.
- NEW ACCESSIBLE PARKING SPACE, SEE DETAIL 5/AS-501.
- EXISTING ACCESSIBLE PARKING SPACE & SIGN TO REMAIN.
- EXISTING STORAGE STRUCTURE.
- NEW DESIGN OF EXISTING DETENTION POND, SEE GRADING AND DRAINAGE SHEET CG-101.
- EXISTING DETENTION POND.
- EXISTING CMU WALL, HEIGHT VARIES FROM 3' TO 6' IN HEIGHT (BROWN STUCCO).
- EXISTING 6' IN HEIGHT WROUGHT IRON FENCE.
- NEW TREE WELL & LANDSCAPE AREA, SEE DETAIL 5/AS-501.

GENERAL NOTES

- ALL WHEELCHAIR RAMPS IN THE CITY RIGHT OF WAY SHALL HAVE A MAXIMUM SLOPE OF 1:12 AND MUST HAVE A DETECTABLE WARNING SURFACE CONSISTING OF RAISED, TRUNCATED DOMES.
- EXACT LOCATION OF SITE LIGHTING WILL BE VERIFIED BY PHOTOMETRIC STUDY, DURING CONSTRUCTION DOCUMENT PHASE. THE LOCATION OF SITE LIGHTING SHALL BE COORDINATED WITH THE LANDSCAPE PLAN AND GRADING & DRAINAGE PLAN TO AVOID CONFLICTS WITH SHADE TREES AND STORM WATER FLOWS.
- ALL ROOF & GROUND MOUNTED EQUIPMENT TO BE SCREENED, PER 14-16-3-18(C)(6) ANY STRUCTURE FEATURES USED TO SCREEN EQUIPMENT SHALL MATCH THE PREDOMINANT MATERIALS AND COLORS USED IN THE BUILDING.
- IT IS THE APPLICANT'S OBLIGATIONS TO DETERMINE IF EXISTING UTILITY EASEMENTS OR RIGHTS-OF-WAY ARE LOCATED ON OR ADJACENT TO THE PROPERTY AND TO ABIDE BY ANY CONDITIONS OR TERMS OF THE EASEMENTS OR AGREEMENTS.
- ALL SCREENING AND VEGETATION SURROUNDING GROUND MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSE.
- AREA LIGHTING SHALL COMPLY WITH 14-16-3-9 OF THE ZONING CODE.
- EPC DELEGATES APPROVAL OF THE FUTURE OFFICE BUILDING TO THE DRB, PER THE DESIGN STANDARDS ON SHEET 8 (G-002).
- EXTERIOR LIGHTING FIXTURES SHALL RELATE STYLISTICALLY TO THE ARCHITECTURE OF THE ADJACENT BUILDINGS.
- CONTROLLED, DIRECTIONAL LIGHTING SHALL BE USED TO HIGHLIGHT PUBLIC SPACES AND WALKWAYS.
- FIXTURE STYLE AND DESIGN SHALL BE COMPATIBLE AND CONSISTENT.
- EXISTING WROUGHT IRON FENCE IN COA RIGHT-OF-WAY TO BE RELOCATED DURING CONSTRUCTION.

LEGEND

C = COMPACT CARS SPACE
M = MOTORCYCLE PARKING

ADMINISTRATIVE AMENDMENT

- INCREASED THE BUILDING FOOTPRINT FROM 9,500 G.S.F. TO 9,970 G.S.F.
- CHANGE THE USE FROM MULTIPURPOSE BUILDING TO NEW CHURCH / SANCTUARY.
- CHANGED FUTURE ADMINISTRATION OFFICE BUILDING TO EXISTING.
- RE-LOCATED MOTORCYCLE PARKING.
- CHANGED & RE-CALCULATED ALL PARKING COUNTS.
- CHANGE USE OF EXISTING CHURCH TO PARISH HALL.
- REQUEST FOR SHARED PARKING FOR NON-CONCURRENT USE.

ADMINISTRATIVE AMENDMENT
FILE #13-10225 PROJECT #1008132
Swan site development plan
changes as described in the
bubble to the immediate right of
Catalina Lebron 10-15-13
APPROVED BY _____ DATE _____

VICINITY MAP M-10-Z

INDEX OF DRAWINGS

- AS-101 SITE PLAN FOR BUILDING PERMIT
- AS-501 SITE PLAN DETAILS
- L-100 PROPOSED LANDSCAPE PLAN
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- CG-102 PRELIMINARY UTILITY PLAN
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- EXISTING CMU RETENTION WALL, HEIGHT VARIES FROM 3' TO 20' IN HEIGHT (BROWN STUCCO).
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- NEW STEEL GATE, SEE DETAIL 17/AS-501.
- REMOVE EXISTING LIGHT POLES AND RETURN TO OWNER.
- NEW SITE BENCHES, SEE DETAIL 18/AS-501.
- NEW PLAZA & LANDSCAPE AREA- SEE LANDSCAPE DRAWINGS.
- NEW 20' GATES TO MATCH EXISTING FENCING & GATE.
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- NEW CONCRETE WHEEL STOPS- MATCH EXISTING (TYPICAL).
- EXISTING CONCRETE WHEEL STOPS (TYPICAL).
- RE-INSTALL EXISTING 6" STEEL BOLLARDS.



J M Z arquitectos
architecture | urbanism

Jose M. Zelaya, AIA

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Albuquerque, NM 87112
Ph: (505) 508-8512

www.JMZarchitecture.com

Stamp

Consultant

Client

Archdiocese of Santa Fe
4000 St. Joseph Pl. N.W.
Albuquerque, NM 87120

As of 10/25/13 AA-101
to reduce building size
Revisions from 3000 SF

No. Date Description
1 Oct. 10, 2013 Site AA-various
2 Oct. 16, 2013 Site AA-City Comments

Issue Date: January 29, 2010

Project No.

Doc. Phase

FOR REVIEW

NOT FOR CONSTRUCTION

Drawn By: MJG

Checked By:

Principal: JNZ

Signed:

Date:

License No.

Project Name

New Sanctuary
Santuario de San Martin de Porres
8301 Camino San Martin
Westgate Heights
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VICINITY MAP M-10-Z

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CERTIFICATION OF SUBSTANTIAL COMPLIANCE ON PLANS

I, JOSE ZELAYA, OF THE FIRM J.M.Z. ARQUITECTOS, L.L.C. A REGISTERED ARCHITECT IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THE PARKING LAYOUT CONSTRUCTED AS PART OF THIS PROJECT HAS BEEN INSPECTED BY ME OR BY A QUALIFIED PERSON UNDER MY DIRECT SUPERVISION AND HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE CITY OF ALBUQUERQUE AND THAT THE ORIGINAL DESIGN INTENT OF THE APPROVED PLANS HAS BEEN MET, EXCEPT AS NOTED BY ME ON THE AS-BUILT CONSTRUCTION DRAWINGS. REVISION A. THIS CERTIFICATION IS BASED ON SITE INSPECTIONS BY ME OR PERSONNEL UNDER MY DIRECTION AND SURVEY INFORMATION PROVIDED TO ME.

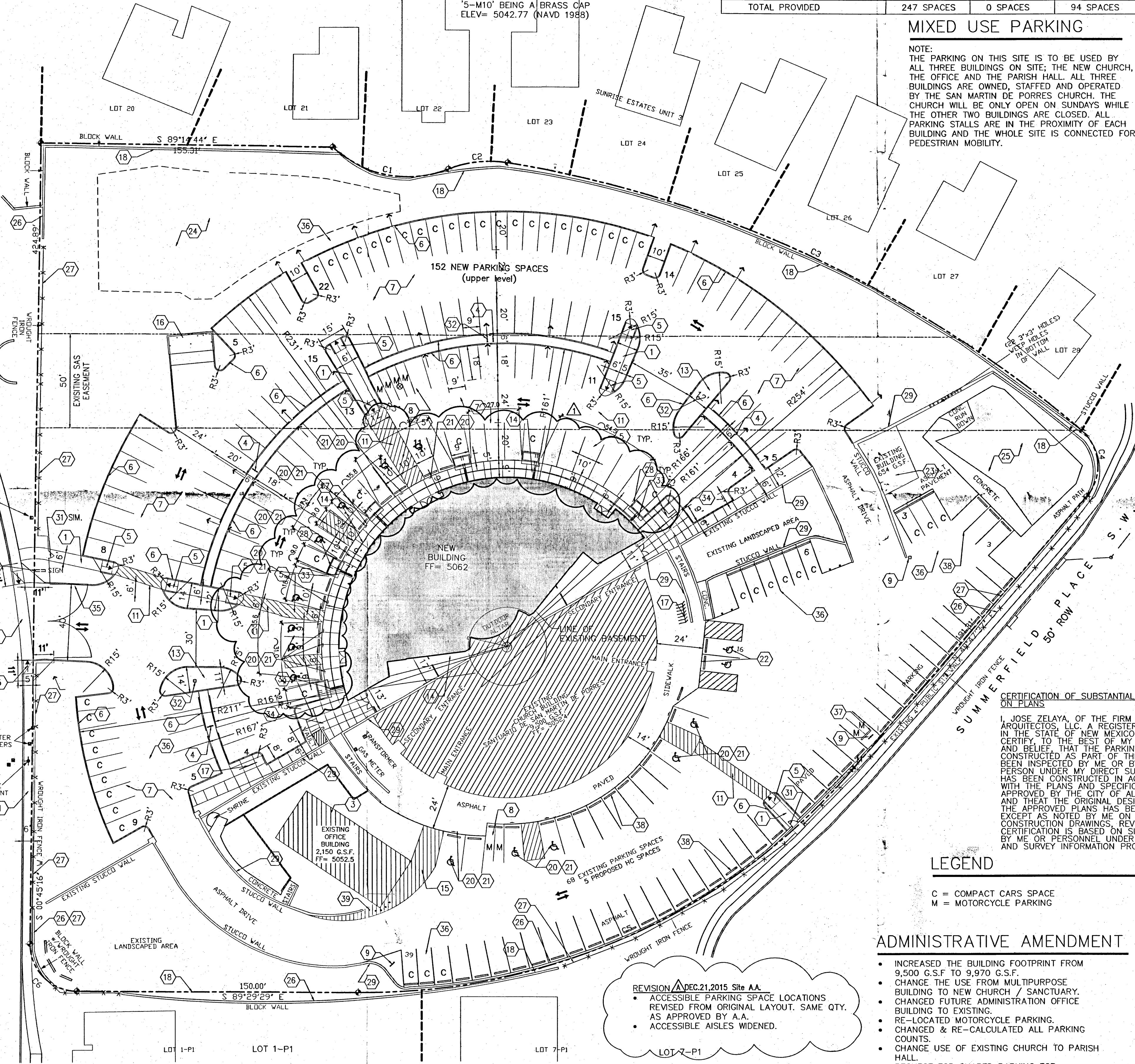
LEGEND

C = COMPACT CARS SPACE
M = MOTORCYCLE PARKING

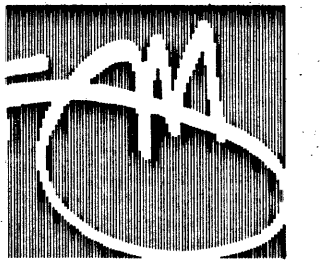
ADMINISTRATIVE AMENDMENT

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REVISION DEC-21-2015 Site AA
ACCESSIBLE PARKING SPACE LOCATIONS REVISED FROM ORIGINAL LAYOUT. SAME QTY. AS APPROVED BY A.A.
ACCESSIBLE AISLES WIDENED.



CONCEPTUAL SITE PLAN



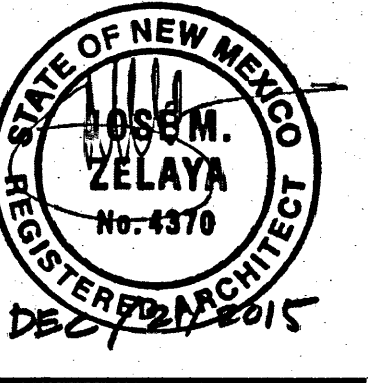
J M Z arquitectos
architecture | urbanism

Jose M. Zelaya, AIA

6100 Seagull St. Suite B203
Albuquerque, NM 87109
Ph: (505) 508-8512

www.JMZarchitecture.com

Stamp



Consultant

Client

Archdiocese of Santa Fe
4000 St. Joseph Pl. N.W.
Albuquerque, NM 87120

Revisions

No. Date Description
A DEC-21-2015 Site AA

Issue Date: SEPT 4, 2014

Project No. JMZ 032013

Doc. Phase: 100% CDS

FOR PERMIT AND CONSTRUCTION

Drawn By: MTM, DTN, MJG, AXM

Checked By: JMZ

Principal: JMZ

Signed:

Date:

License No.

Project Name

Santuario
San Martin De Porres
8301 Camino San Martin SW
Westgate Heights
Albuquerque, NM 87121

Sheet Title

CERTIFIED
AS BUILT
SITE LAYOUT

Sheet Number

AS-101R

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