

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

December 31, 2015

Jose Zelaya
JMZ Arquitectos, LLC
6100 Seagull St NE, Suite 203
Albuquerque, NM 87109

**Re: Santuario de San Martin De Porres
8301 Camino de San Martin SW
30-Day Temporary Certificate of Occupancy- Transportation Development
Engineer's/Architect's Stamp dated 12-18-13 (M10-D002)
Certification dated 12-29-15**

Dear Mr. Zelaya,

Based upon the information provided in your submittal received 12-29-15, Transportation Development has no objection to the issuance of a 30-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."**

Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to PLNDRS@cabq.gov prior to submittal. If you have any questions, please contact me at (505) 924-3991.

Sincerely,

John Gurule, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Santuario de San Martin de Porres Building Permit #: 201492549 City Drainage #: M10-0002
DRB#: 1008137 EPC#: _____ Work Order#: _____
Legal Description: _____
City Address: 8301 Camino de San Martin SW | Westgate Heights Albuquerque, NM 87121

Engineering Firm: Scott McGee Contact: _____
Address: 8700 Tanoan Dr NE, Albuquerque, NM 87111
Phone#: 505 263 2905 Fax#: _____ E-mail: _____

Owner: Archdiocese of Santa Fe / Santuario de San Martin Contact: Father Oscar Coelho
Address: 8301 Camino de San Martin SW, Albuquerque NM 87121
Phone#: 505 715 3248 Fax#: _____ E-mail: oscarecoelho@yahoo.com

Architect: JMZ Arquitectos, LLC Contact: Jose Zelaya
Address: 6100 Seagull St NE suite 203 Albuquerque NM 87109
Phone#: 505 239 4457 Fax#: _____ E-mail: jzelaya@jnzarchitecture.com

Other Contact: Mick Rich Contractors Contact: Bobby Jaramillo
Address: _____
Phone#: 505 934 2234 Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

Rec 12/29/15

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: December 29th 2015

By: Jose M Zelaya, AIA

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



Albuquerque, NM - December 29th, 2015



RE: **TRAFFIC CERTIFICATION - Submittal**
Project: Santuario San Martin de Porres
8301 Camino de San Martin, Albuquerque NM 87121
DRB No. 1008137
Construction Permit 201492549

I, José M. Zelaya, NM Registered Architect 4370, of the firm JMZ arquitectos, LLC, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the site development plan AS-101 approved through Administrative Amendment dated 12/18/2013. The record information documented onto additional sheet AS-101R has been obtained by me. I further certify that I have personally visited the project site on October 5th, 2015 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief and as shown on the attached site plans. This certification is submitted in support of a request for Certificate of Occupancy.

Exemption:

The record information on AS-101R shows the changed locations of the accessible parking stalls along the clouded area dated Dec 21st 2015.

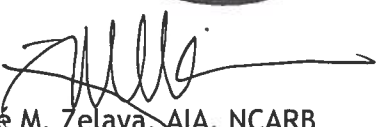
All work necessary to support the facility has been completed, and is in substantial compliance with the approved site development plan.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



ARCHITECT'S STAMP

Date


José M. Zelaya, AIA, NCARB
Principal | JMZ Arquitectos LLC

Email - jzelaya@jmzarchitecture.com
Cell - 505.239.4457

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	63°52'40"	S 79°46'36" E	60.00	66.89	63.48
C2	30°48'28"	S 83°41'23" W	60.00	32.26	31.87
C3	31°42'00"	N 65°03'23" W	617.53	341.66	337.32
C4	90°00'00"	N 04°12'23" W	25.00	39.27	35.36
C5	49°42'54"	N 65°39'04" E	344.33	298.77	289.49
C6	90°14'25"	S 44°21'56" E	25.00	39.37	35.43

SITE DATA

LEGAL: TRACT A, WESTGATE HEIGHTS
ADDRESS: 8301 CAMINO SAN MARTIN

SITE AREA: 4.555 ACRES (198,410 SF)

ZONING: SU-1 FOR CHURCH & RELATED FACILITIES

BENCHMARK: CITY OF ALBUQUERQUE STATION
"5-M10" BEING A BRASS CAP
ELEV= 5042.77 (NAVD 1988)

SHARED PARKING FOR NON CONCURRENT USE

USE	TOTAL REQUIRED	TOTAL REQUIRED ON WEEKENDS	TOTAL REQUIRED ON WEEK DAYS
NEW CHURCH / SANCTUARY	153 SPACES	153 SPACES	0 SPACES
EXISTING ADMINISTRATION	11 SPACES	0 SPACES	11 SPACES
FUTURE PARISH HALL	83 SPACES	0 SPACES	83 SPACES
TOTAL PROVIDED	247 SPACES	0 SPACES	94 SPACES

MIXED USE PARKING

NOTE:
THE PARKING ON THIS SITE IS TO BE USED BY ALL THREE BUILDINGS ON SITE; THE NEW CHURCH, THE OFFICE AND THE PARISH HALL. ALL THREE BUILDINGS ARE OWNED, STAFFED AND OPERATED BY THE SAN MARTIN DE PORRES CHURCH. THE CHURCH WILL BE ONLY OPEN ON SUNDAYS WHILE THE OTHER TWO BUILDINGS ARE CLOSED. ALL PARKING STALLS ARE IN THE PROXIMITY OF EACH BUILDING AND THE WHOLE SITE IS CONNECTED FOR PEDESTRIAN MOBILITY.

PARKING CALCULATIONS

NEW SANCTUARY / CHURCH
1 SPACE FOR EACH 4 SEATS IN MAIN SANCTUARY (EA. 30 INCH OF PEW SPACE IS CONSIDERED ONE SEAT) 613 SEATS
613 / 4 = 153 SPACES
PARKING REQUIRED: 153 SPACES
PARKING PROVIDED: 152 SPACES
ADA PARKING REQUIRED: 8 SPACES
ADA PARKING PROVIDED: 8 SPACES
MOTORCYCLE PARKING REQUIRED: 4 SPACE
MOTORCYCLE PARKING PROVIDED: 4 SPACES
BICYCLE PARKING REQUIRED: 3 SPACES
BICYCLE PARKING PROVIDED: 5 SPACES

EXISTING OFFICE BUILDING
ONE SPACE PER 200 SF. NET LEASABLE AREA:
2,150 GROSS SQUARE FEET.
2,150 / 200 SF = 11 SPACES
PARKING REQUIRED: 11 SPACES
PARKING PROVIDED: 5 SPACES
ADA PARKING REQUIRED: 1 SPACE
ADA PARKING PROVIDED: 1 SPACE
MOTORCYCLE PARKING REQUIRED: 1 SPACE
MOTORCYCLE PARKING PROVIDED: 1 SPACE
BICYCLE PARKING REQUIRED: 1 SPACE
BICYCLE PARKING PROVIDED: 2 SPACE

FUTURE PARISH HALL / EXISTING CHURCH
ONE SPACE FOR EACH 4 SEATS IN MAIN ROOM
UNCONCENTRATED SEATING
332 OCCUPANTS
332 / 4 = 83 SPACES
PARKING REQUIRED: 83 SPACES
PARKING PROVIDED: 64 SPACES
ADA PARKING REQUIRED: 4 SPACES
ADA PARKING PROVIDED: 6 SPACES
MOTORCYCLE PARKING REQUIRED: 3 SPACE
MOTORCYCLE PARKING PROVIDED: 3 SPACES
BICYCLE PARKING REQUIRED: 3 SPACES
BICYCLE PARKING PROVIDED: 5 SPACES

TOTAL SITE PARKING

PARKING REQUIRED: 247 SPACES
PARKING PROVIDED: 221 SPACES
ADA PARKING REQUIRED: 13 SPACES
ADA PARKING PROVIDED: 15 SPACES
MOTORCYCLE PARKING REQUIRED: 8 SPACES
MOTORCYCLE PARKING PROVIDED: 8 SPACES
BICYCLE PARKING REQUIRED: 11 SPACES
BICYCLE PARKING PROVIDED: 14 SPACES

KEYED NOTES

- NEW 6" CONCRETE SIDEWALK.
- NEW STANDARD CONCRETE DRIVE PAD, PER COA STANDARD DETAIL 2423.
- EXISTING 2,150 G.S.F. BUILDING.
- NEW EXTERIOR LIGHT POLE, SEE DETAIL 15/AS-501.
- NEW WHEELCHAIR RAMP W/ MAX. SLOPE OF 1:12 SEE DETAIL 10/AS-501
- NEW CONCRETE CURB & GUTTER, SEE DETAIL 14/AS-501.
- NEW ASPHALT PAVING, SEE DETAIL 12/AS-501.
- NEW MOTORCYCLE PARKING SPACE & SIGN, SEE DETAIL 7/AS-501. MOTORCYCLE PARKING SPACES FOR EACH BUILDING ON THE SITE SHALL BE LOCATED TO COMPLY WITH 14-16-3-1(C).
- EXISTING LIGHT POLES TO REMAIN.
- EXISTING FREE STANDING SIGNAGE TO BE REMOVED ONTO SUBJECT PROPERTY.
- NEW 4" WIDE THERMOPLASTIC CROSSWALK STRIPING.
- NEW 4" WIDE PAVEMENT MARKING.
- NEW LANDSCAPE ISLAND.
- NEW TURN-DOWN CONCRETE SIDEWALK, SEE DETAIL 13/AS-501.
- DESIGNATED PARISHIONER DROP/ PICK-UP AREA.
- NEW DUMPSTER, SEE DETAIL 2/AS-501
- NEW BIKE RACK, SEE DETAIL 1/AS-501.
- EXISTING 6" IN HEIGHT CMU WALL.
- NEW STOP SIGN, SEE DETAIL 6/AS-501.
- NEW ACCESSIBLE PARKING SIGN, SEE DETAIL 8/AS-501 & 9/AS-501.
- NEW ACCESSIBLE PARKING SPACE, SEE DETAIL 5/AS-501.
- EXISTING ACCESSIBLE PARKING SPACE & SIGN TO REMAIN.
- EXISTING STORAGE STRUCTURE.
- NEW DESIGN OF EXISTING DETENTION POND, SEE GRADING AND DRAINAGE SHEET CG-101.
- EXISTING DETENTION POND.
- EXISTING CMU WALL, HEIGHT VARIES FROM 3' TO 6" IN HEIGHT(BROWN STUCCO).
- EXISTING 6" IN HEIGHT WROUGHT IRON FENCE.
- NEW TREE WELL & LANDSCAPE AREA SEE DETAIL 5/AS-501.

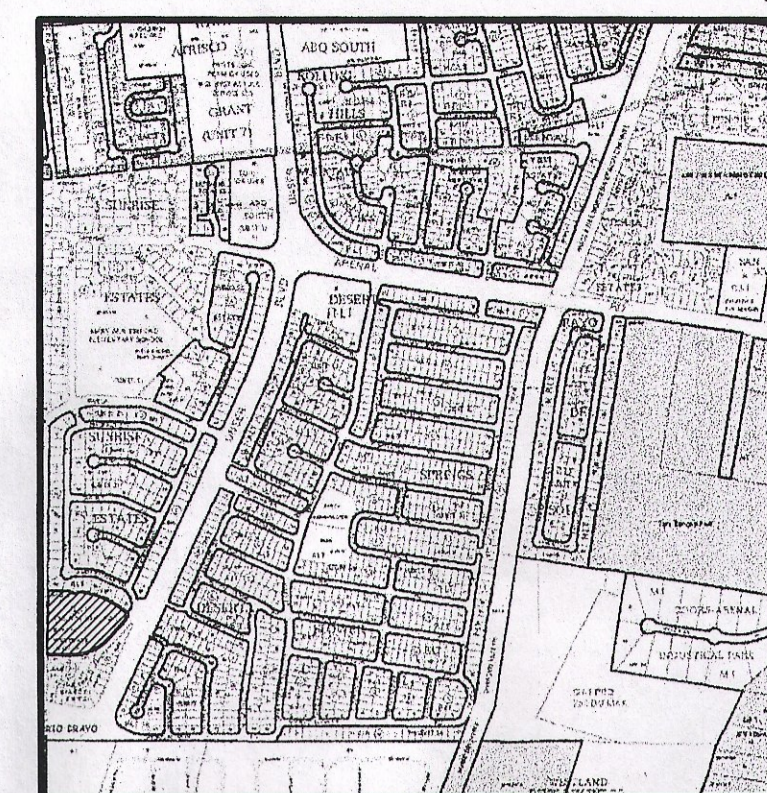
LEGEND

C = COMPACT CARS SPACE
M = MOTORCYCLE PARKING

ADMINISTRATIVE AMENDMENT

- INCREASED THE BUILDING FOOTPRINT FROM 9,500 G.S.F TO 9,970 G.S.F.
- CHANGE THE USE FROM MULTIPURPOSE BUILDING TO NEW CHURCH / SANCTUARY.
- CHANGED FUTURE ADMINISTRATION OFFICE BUILDING TO EXISTING.
- RE-LOCATED MOTORCYCLE PARKING.
- CHANGED & RE-CALCULATED ALL PARKING COUNTS.
- CHANGE USE OF EXISTING CHURCH TO PARISH HALL.
- REQUEST FOR SHARED PARKING FOR NON-CONCURRENT USE.

ADMINISTRATIVE AMENDMENT
FILE #13-10225 PROJECT #1008137
Seven site development plan changes as described in the bubble to the immediate right of Catalina Lehrer 12-16-13
APPROVED BY **DATE**



VICINITY MAP M-10-Z
NOT TO SCALE

INDEX OF DRAWINGS

- AS-101 SITE PLAN FOR BUILDING PERMIT
- AS-501 SITE PLAN DETAILS
- L-100 PROPOSED LANDSCAPE PLAN
- L-101 DEMOLITION & EXISTING LANDSCAPE PLAN
- CG-102 PRELIMINARY UTILITY PLAN
- CG-101 PRELIMINARY GRADING PLAN
- A-201 BUILDING ELEVATIONS
- G-002 DESIGN STANDARDS
- EXISTING CMU RETENTION WALL. HEIGHT VARIES FROM 3' TO 20' IN HEIGHT(BROWN STUCCO).
- FUTURE LANDSCAPE & SIDEWALK AREA.
- NEW STEEL GATE, SEE DETAIL 17/AS-501.
- REMOVE EXISTING LIGHT POLES AND RETURN TO OWNER.
- NEW SITE BENCHES, SEE DETAIL 18/AS-501.
- NEW PLAZA & LANDSCAPE AREA- SEE LANDSCAPE DRAWINGS.
- (2) NEW 20' GATES TO MATCH EXISTING FENCING & GATE.
- RE-STRIPE FOR 8'X20' COMPACT PARKING.
- NEW CONCRETE WHEEL STOPS- MATCH EXISTING (TYPICAL).
- EXISTING CONCRETE WHEEL STOPS (TYPICAL).
- RE-INSTALL EXISTING 6" STEEL BOLLARDS.

GENERAL NOTES

- ALL WHEELCHAIR RAMPS IN THE CITY RIGHT OF WAY SHALL HAVE A MAXIMUM SLOPE OF 1:12 AND MUST HAVE A DETECTABLE WARNING SURFACE CONSISTING OF RAISED, TRUNCATED DOMES.
- EXACT LOCATION OF SITE LIGHTING WILL BE VERIFIED BY PHOTOMETRIC STUDY, DURING CONSTRUCTION DOCUMENT PHASE. THE LOCATION OF SITE LIGHTING SHALL BE COORDINATED WITH THE LANDSCAPE PLAN AND GRADING & DRAINAGE PLAN TO AVOID CONFLICTS WITH SHADE TREES AND STORM WATER FLOWS.
- ALL ROOF & GROUND MOUNTED EQUIPMENT TO BE SCREENED, PER 14-16-3-18(C)(6) ANY STRUCTURAL FEATURES USED TO SCREEN EQUIPMENT SHALL MATCH THE PREDOMINANT MATERIALS AND COLORS USED IN THE BUILDING.
- IT IS THE APPLICANT'S OBLIGATIONS TO DETERMINE IF EXISTING UTILITY EASEMENTS OR RIGHTS-OF-WAY ARE LOCATED ON OR ADJACENT TO THE PROPERTY AND TO ABIDE BY ANY CONDITIONS OR TERMS OF THE EASEMENTS OR AGREEMENTS.
- ALL SCREENING AND VEGETATION SURROUNDING GROUND MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSE.
- AREA LIGHTING SHALL COMPLY WITH 14-16-3-9 OF THE ZONING CODE.
- EPC DELEGATES APPROVAL OF THE FUTURE OFFICE BUILDING TO THE DRB, PER THE DESIGN STANDARDS ON SHEET 8 (G-002).
- EXTERIOR LIGHTING FIXTURES SHALL RELATE STYLISTICALLY TO THE ARCHITECTURE OF THE ADJACENT BUILDINGS.
- CONTROLLED, DIRECTIONAL LIGHTING SHALL BE USED TO HIGHLIGHT PUBLIC SPACES AND WALKWAYS.
- FIXTURE STYLE AND DESIGN SHALL BE COMPATIBLE AND CONSISTENT.
- EXISTING WROUGHT IRON FENCE IN COA RIGHT-OF-WAY TO BE RELOCATED DURING CONSTRUCTION.



J M Z arquitectos
architecture | urbanism

Jose M. Zelaya, AIA

10010 Indian School Rd NE #103
Albuquerque, NM 87112
Ph: (505) 508-8512

www.JMZarchitecture.com

Stamp

Consultant

Client

Archdiocese of Santa Fe
4000 St. Joseph Pl. N.W.
Albuquerque, NM 87120

As of 15.03.13 AA to reduce building size
Revisions from 3000 SF

No. Date Description
2 Oct. 10. 2013 Site AA-various items
3 Oct. 16. 2013 Site AA-City Comments

Issue Date: January 29, 2010

Project No.

Doc. Phase:

FOR REVIEW
NOT FOR CONSTRUCTION

Drawn By: MJG

Checked By:

Principal: JMJ

Signed:

Date:

License No.

Project Name

New Sanctuary
Santuario De San Martin De Porres
8301 Camino San Martin
Westgate Heights
Albuquerque, NM 87121

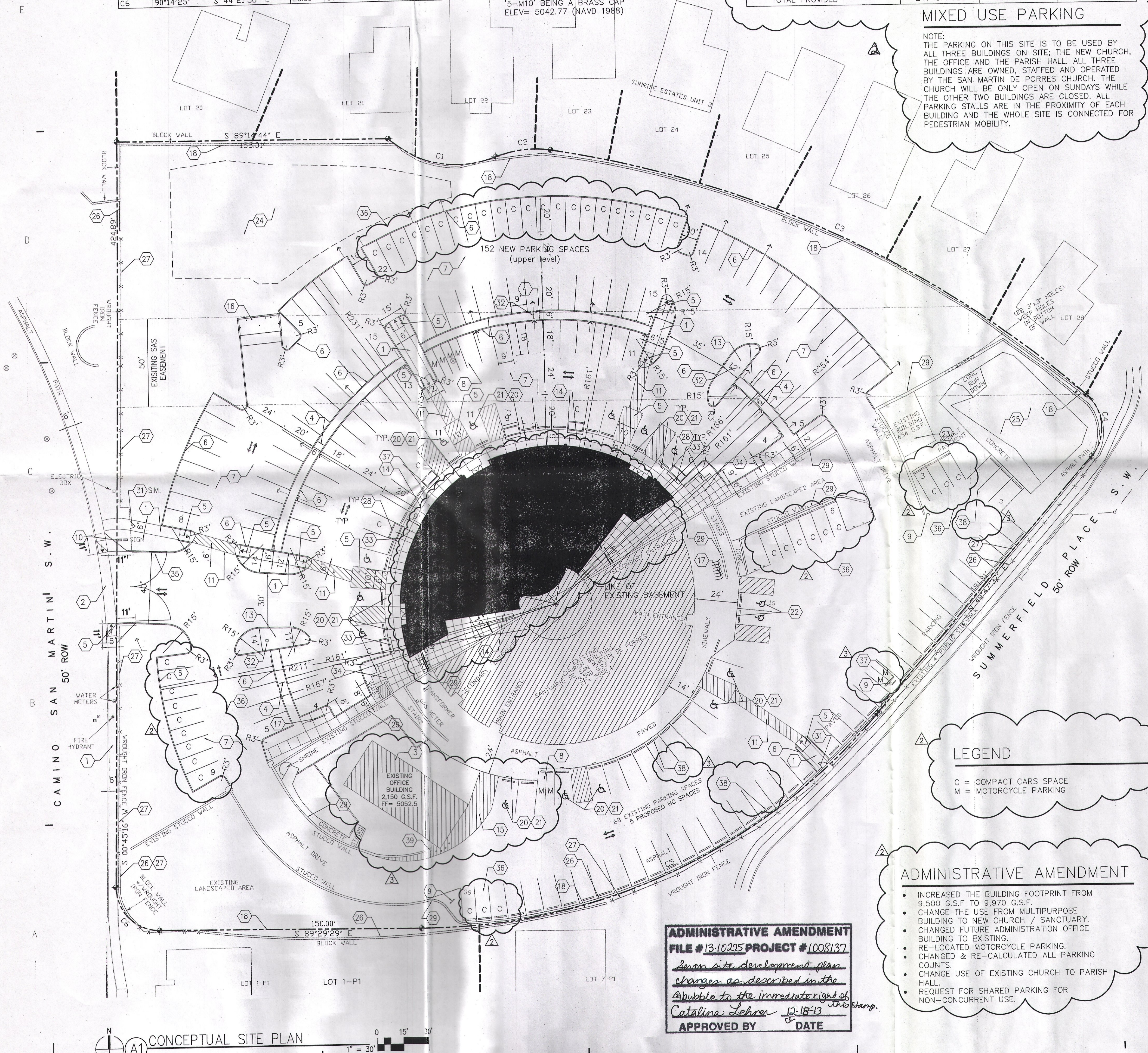
Sheet Title

SITE PLAN
FOR
BUILDING PERMIT

Sheet Number

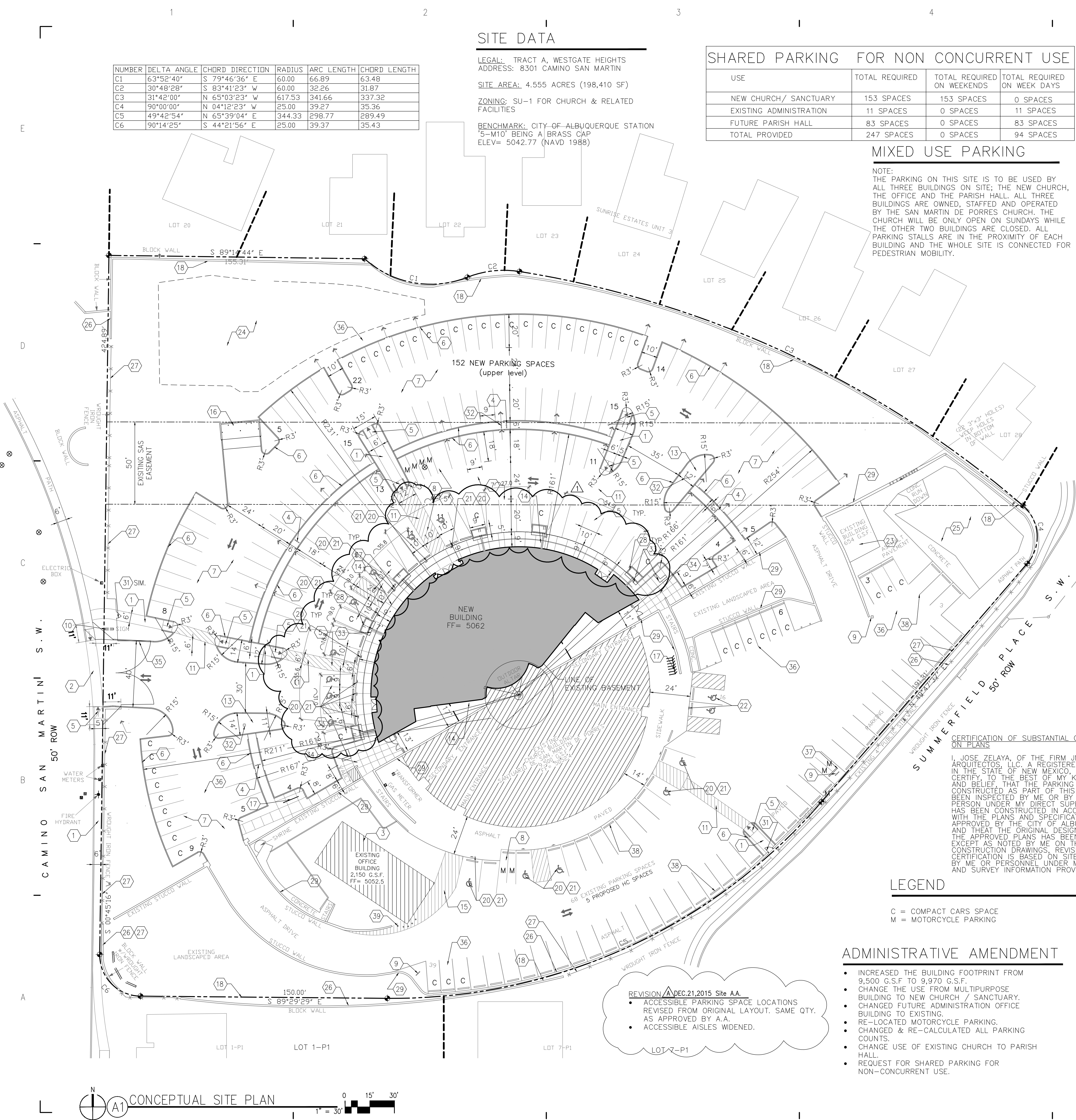
AS-101

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CONCEPTUAL SITE PLAN

1" = 30'



NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
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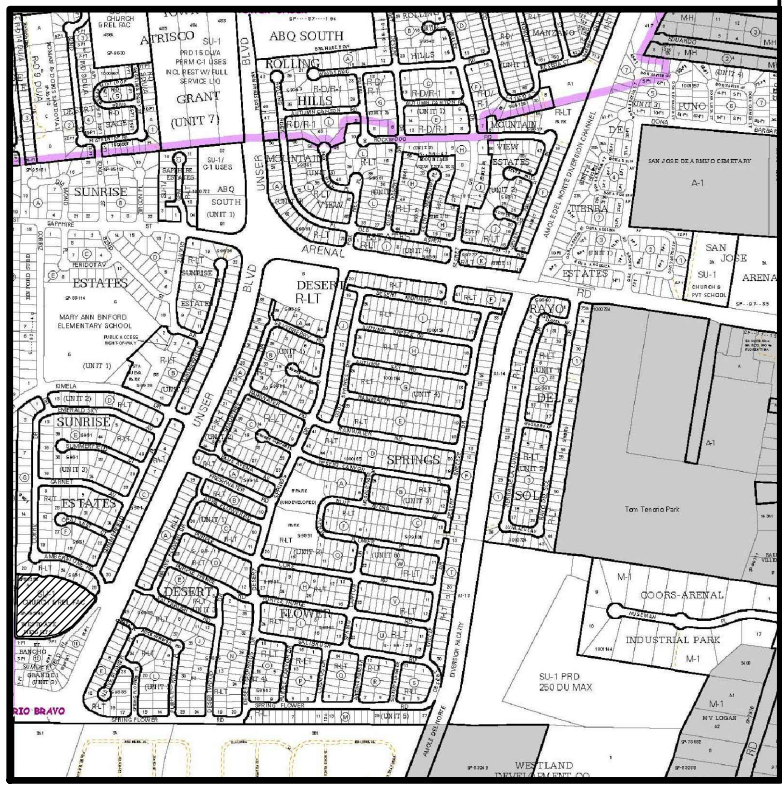
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- REQUEST FOR SHARED PARKING FOR NON-CONCURRENT USE.

REVISION DEC 21, 2015 Site AA
ACCESSIBLE PARKING SPACE LOCATIONS REVISED FROM ORIGINAL LAYOUT. SAME QTY. AS APPROVED BY A.A.
ACCESSIBLE AISLES WIDENED.



VICINITY MAP M-10-Z
NOT TO SCALE

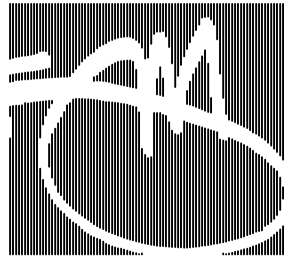
INDEX OF DRAWINGS

- | | | |
|----|--------|--------------------------------------|
| 1. | AS-101 | SITE PLAN FOR BUILDING PERMIT |
| 2. | AS-501 | SITE PLAN DETAILS |
| 3. | L- 100 | PROPOSED LANDSCAPE PLAN |
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| 5. | CG-102 | PRELIMINARY UTILITY PLAN |
| 6. | CG-101 | PRELIMINARY GRADING PLAN |
| 7. | A-201 | BUILDING ELEVATIONS |
| 8. | G-002 | DESIGN STANDARDS |

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- RE-STRIPE FOR 8'X20' COMPACT PARKING.
- NEW CONCRETE WHEEL STOPS- MATCH EXISTING (TYPICAL).
- EXISTING CONCRETE WHEEL STOPS (TYPICAL).
- RE-INSTALL EXISTING 6" STEEL BOLLARDS.

GENERAL NOTES

- A. ALL WHEELCHAIR RAMPS IN THE CITY RIGHT OF WAY SHALL HAVE A MAXIMUM SLOPE OF 1:12 AND MUST HAVE A DETECTABLE WARNING SURFACE CONSISTING OF RAISED, TRUNCATED DOMES.
- B. EXACT LOCATION OF SITE LIGHTING WILL BE VERIFIED BY PHOTOMETRIC STUDY, DURING CONSTRUCTION DOCUMENT PHASE. THE LOCATION OF SITE LIGHTING SHALL BE COORDINATED WITH THE LANDSCAPE PLAN AND GRADING & DRAINAGE PLAN TO AVOID CONFLICTS WITH SHADE TREES AND STORM WATER FLOWS.
- C. ALL ROOF & GROUND MOUNTED EQUIPMENT TO BE SCREENED. PER 14-16-3-18(C)(6) ANY STRUCTURAL FEATURES USED TO SCREEN EQUIPMENT SHALL MATCH THE PREDOMINANT MATERIALS AND COLORS USED IN THE BUILDING.
- D. IT IS THE APPLICANT'S OBLIGATIONS TO DETERMINE IF EXISTING UTILITY EASEMENTS OR RIGHTS-OF-WAY ARE LOCATED ON OR ADJACENT TO THE PROPERTY AND TO ABIDE BY ANY CONDITIONS OR TERMS OF THE EASEMENTS OR AGREEMENTS.
- E. ALL SCREENING AND VEGETATION SURROUNDING GROUND MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSE.
- F. AREA LIGHTING SHALL COMPLY WITH 14-16-3-9 OF THE ZONING CODE.
- G. EPC DELEGATES APPROVAL OF THE FUTURE OFFICE BUILDING TO THE DRB, PER THE DESIGN STANDARDS ON SHEET 8 (G-002).
- H. EXTERIOR LIGHTING FIXTURES SHALL RELATE STYLISTICALLY TO THE ARCHITECTURE OF THE ADJACENT BUILDINGS.
- J. CONTROLLED, DIRECTIONAL LIGHTING SHALL BE USED TO HIGHLIGHT PUBLIC SPACES AND WALKWAYS.
- K. FIXTURE STYLE AND DESIGN SHALL BE COMPATIBLE AND CONSISTENT.
- J. EXISTING WROUGHT IRON FENCE IN COA RIGHT-OF-WAY TO BE RELOCATED DURING CONSTRUCTION.



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Revisions

No.	Date	Description
1	DEC 21, 2015	Site AA

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Project No. JMZ 032013

Doc. Phase: 100% CDS

FOR PERMIT AND CONSTRUCTION

Drawn By: MTM, DTN, MJG, AKM

Checked By: JMZ

Principal: JMZ

Signed:

Date:

License No.

Project Name

Santuario
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Sheet Title

CERTIFIED
AS BUILT
SITE LAYOUT

Sheet Number

AS-101R

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