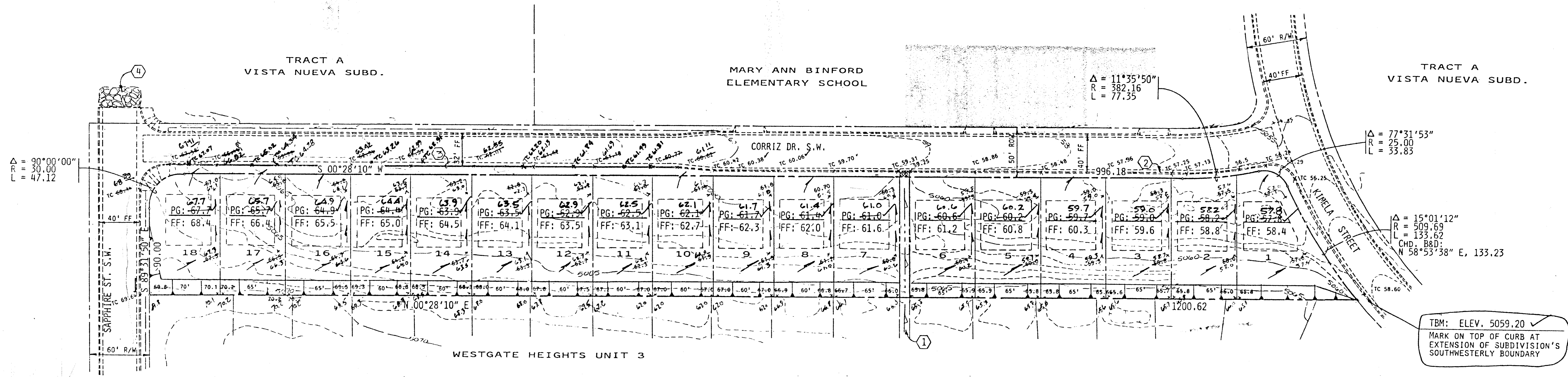


1"=50'

Judy Thomas 2:30pm



LOCATION & DESCRIPTION:

THE BINFORD SUBDIVISION IS LOCATED IN THE SOUTHWEST MESA ADJACENT TO THE EASTERLY EDGE OF WESTGATE HEIGHTS SUBDIVISION. THE 3.2-ACRE SITE IS LINEAR IN THE NORTH-SOUTH ORIENTATION AND WAS CREATED BY THE PLATTING OF PUBLIC ROADWAYS TO SERVE THE MARY ANN BINFORD ELEMENTARY SCHOOL.

THE LOTS WERE ORIGINALLY PLANNED AND TRACT KK-2 PLATTED WITH A 120-FOOT DEPTH. THIS WAS TO ACCOMMODATE THE GRADE DIFFERENTIAL BETWEEN THE EXISTING LOTS AND THE PROPOSED STREET GRADING OF CORRIZZ DRIVE.

EXISTING CONDITIONS:

THE SITE IS 100% SURROUNDED BY EITHER A FULLY DEVELOPED SUBDIVISION (WEST) WITH A SOLID C.M.U. WALL ALONG THE PROPERTY LINE OR BORDERED BY DEVELOPED PUBLIC ROADWAYS (NORTH, EAST, SOUTH). THE SITE ALSO HAS AN IMPROVED 10-FOOT WIDE DRAINAGE RUNDOWN WHICH CONVEYS PUBLIC STORM WATERS FROM WESTGATE HEIGHTS TO CORRIZZ DRIVE.

ALL STORM WATERS DISCHARGE THE SITE ONTO CORRIZZ DRIVE AND ARE THEN ROUTED TO THE SOUTH TO KIMELA STREET AND FINALLY WESTERLY TOWARDS THE AMOLE DEL NORTE DIVERSION CHANNEL VIA OVERLAND FLOW.

PROPOSED CONDITIONS:

THE SUBDIVISION LAYOUT CALLS FOR 18 SINGLE FAMILY LOTS, ALL FRONTING ON CORRIZZ STREET. STORM WATER GENERATED IN THE REAR YARD AREAS ARE ALLOWED TO DISCHARGE THE LOT VIA A SIDE YARD SWALE ALONG THE SOUTH LOT LINES. ALL OTHER ROOF AND FRONT YARD FLOWS DISCHARGE DIRECTLY TO PUBLIC RIGHT-OF-WAY.

ENGINEER'S CERTIFICATION

I, FRED C. ARFMAN, LICENSED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PROJECT WAS CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THOSE GRADES AND IMPROVEMENTS SHOWN HEREON AS FIELD VERIFIED (PADS & STREET GRADES) BY DAVID C. CLAUSEN, NMLS NO. 6547 ON MAY 26, 1993, IN ACCORDANCE WITH THE "NEW MEXICO ENGINEERING AND SURVEYING ACT" SECTION 61-23-1 THROUGH 61-23-32 NMCD (1978) AS INDICATED BY THE STAMP OF DAVID C. CLAUSEN, NMLS NO. 6547 AND HIS SIGNATURE.

NO PERIMETER RETAINING WALLS WERE REQUIRED ON THE APPROVED FINAL GRADING PLAN, DATED JUNE 21, 1991, AND NONE WERE BUILT AS PART OF THE BINFORD SUBDIVISION IMPROVEMENTS.

Fred C. Arfman
FRED C. ARFMAN, P.E.
7322
7-14-93

HYDROLOGY (EXISTING CONDITIONS):

THE BINFORD SUBDIVISION IS WITHIN THE BOUNDARIES OF PARTICIPATION ZONE NO. 1 (WEST OF RIO GRANDE BOULEVARD), AS SUCH THE P_{300} (6-HOUR - 100-YEAR STORM) HAS A DEPTH OF 2.2 INCHES.

THE TOTAL DRAINAGE BASIN IS COMPRISED OF THE SUBDIVISION'S 3.2 ACRES OF VACANT LAND AND ASSUMED TO BE SPLIT EQUALLY BETWEEN LAND TREATMENT A AND C.

LAND TREATMENT AREAS	ACRES
A	1.6
C	1.6

PEAK DISCHARGE (USING A 10-MINUTE TIME OF CONCENTRATION), CFS/AC 100 YR., ZONE 1 (TABLE 9)

TREATMENT	CFS/AC
A	1.15
C	2.73

DETERMINE TOTAL Q_p (100 YR)
 $Q_p = Q_{pA} A_A + Q_{pC} A_C$
 $= (1.15)(1.6) + (2.73)(1.6)$
 $= 1.84 + 4.37$
 $= 6.2 \text{ CFS}$

EXISTING IMPROVEMENTS--KEYED NOTES

- FULLY IMPROVED CONCRETE DRAINAGE RUNDOWN WITHIN PUBLIC RIGHT-OF-WAY.
- STANDARD CURB & GUTTER ADJACENT TO LOTS 1-9.
- EXISTING TEMP. ASPHALTIC CURB TO BE REPLACED BY STD. P.C.C. CURB & GUTTER.
- MAJOR DRAINAGE OUTFALL POINT FOR STORM WATER FLOWS FROM WESTGATE HEIGHTS. SUBJECT SITE DOES NOT CONTRIBUTE FLOWS.

HYDROLOGY (PROPOSED IMPROVEMENTS):

THE PROPOSED 18-LOT SUBDIVISION SHALL FOLLOW THE SAME ROUTING OF STORM WATERS AS THOSE OF THE UNDEVELOPED CONDITIONS. ALL STORM WATERS GENERATED WITHIN THE REAR AND FRONT YARDS AS WELL AS THE ROOF ARE ALL ALLOWED TO DISCHARGE THE INDIVIDUAL LOTS AND ENTER ONTO THE ADJACENT PUBLIC ROADWAYS.

THE PROPOSED SUBDIVISION DOES NOT ACCEPT ANY OFFSITE STORM WATER FLOODS.

SINGLE FAMILY RESIDENTIAL (N = UNITS/ACRE)
 $N \leq 6$ (USE 3) NO LOCAL STREETS

PRESENT TREATMENT D (IMPERVIOUS)
 $7 \sqrt{(N \times N) + (5 \times N)} = 34\%$

LAND TREATMENT	ACRES
A	1.23
B	1.24
D	0.73

PEAK DISCHARGE (USING A 10-MINUTE TIME OF CONCENTRATION), CFS/AC.
 100 YR, ZONE 1 (TABLE 9)

DETERMINE TOTAL Q_p (100 YR)
 $Q_p = Q_{pA} A_A + Q_{pB} A_B + Q_{pD} A_D$
 $= (1.15)(1.23) + (1.24)(1.24) + (0.73)(4.37)$
 $= 1.41 + 3.15 + 3.19$
 $= 7.75 \text{ CFS}$

GENERAL NOTES

LEGAL DESCRIPTION: TRACT KK-2, WITHIN PROJECTED SECTION 34, T. 10 N., R. 2 E., N.M.P.M., TOWN OF ATRISCO GRANT, ALBUQUERQUE, NEW MEXICO, FILED FOR RECORD ON SEPTEMBER 16, 1983, IN BOOK C22, PAGE 33.

ENGINEER: ISAACSON & ARFMAN, P.A.
 128 MONROE STREET, NE
 ALBUQUERQUE, NM 87108
 ATTN: FRED C. ARFMAN, P.E.

SURVEYOR: WILLIAM P. PETTIT, NMLS NO. 3243
 DATE OF SURVEY: MAY 1991

BENCHMARK: ACS MONUMENT "4-M" LOCATED IN A POWER POLE IN THE NW CORNER OF THE INTERSECTION OF 86TH AND SAGE (60 PENNY NAIL IN WEST SIDE OF POWER POLE).
 ELEV: 5093.09

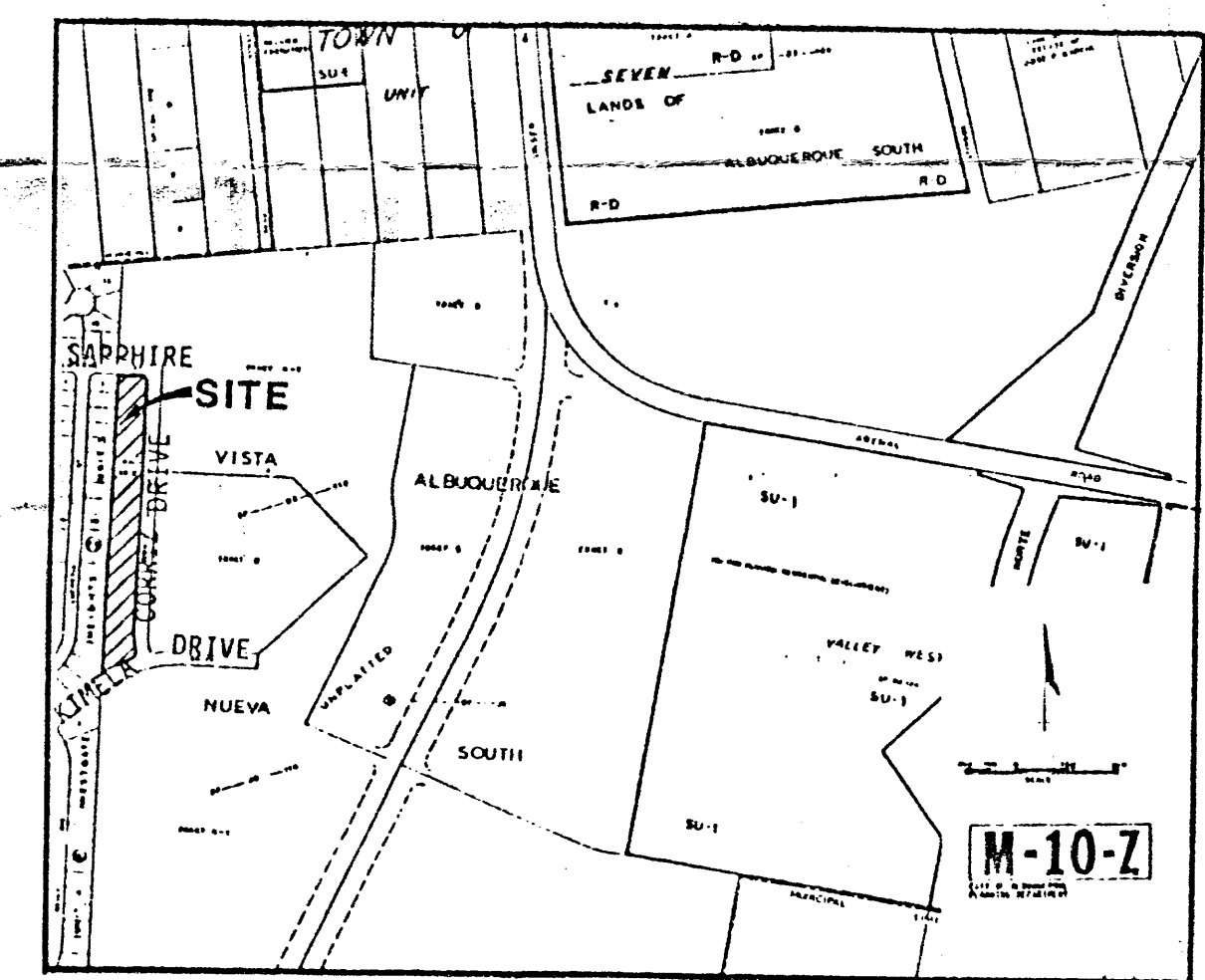
TEMPORARY BENCH MARK: TOP OF CURB ON NORTH CURB OF KIMELA STREET AT THE EXTENSION OF THE SUBDIVISION'S WESTERLY PROPERTY LINE.
 ELEV: 5059.20

ZONING: R-1

NUMBER OF LOTS: 18

AREA: 3.201 ACRES (139,436 SF)

FLOOD HAZARD: NO PART OF THIS SUBDIVISION OR THE ADJACENT PUBLIC ROADWAYS ARE SUBJECT TO A FLOOD HAZARD AREA AS DETERMINED BY PANEL NO. 350002-0033 OF THE OCTOBER 14, 1983 EDITION OF THE F.E.M.A. MAPS.



VICINITY MAP (1"=750'+)

LEGEND

- TC 57.25 TOP OF CURB ELEVATION
- FL FLOWLINE ELEVATION
- FF PAD GRADE
- FINISH FLOOR
- EXISTING CURB & GUTTER
- NEW STD. CURB & GUTTER
- EXISTING TRIPLE SIDEWALK CULVERTS
- FLOW DIRECTIONAL ARROW
- EXISTING SWALE
- SLOPE TRANSITION
- SPOT ELEVATION
- INDEX CONTOUR
- ONE-FOOT CONTOUR INTERVAL

FOR INFORMATION ONLY
 RECEIVED
 JUL 14 1993
 FRED C. ARFMAN
 7322
 NEW MEXICO
 REGISTERED PROFESSIONAL ENGINEER
 6-21-91

AS-BUILT CERTIFICATION
 I, DAVID C. CLAUSEN, NEW MEXICO REGISTERED LAND SURVEYOR NO. 6547, DO HEREBY CERTIFY THAT THE AS-BUILT INFORMATION SHOWN HEREON CORRECTLY REPRESENTS THE AS-BUILT CONDITIONS OF THIS PROJECT. ELEVATIONS SHOULD BE VERIFIED PRIOR TO FUTURE CONSTRUCTION.
 David C. Clausen
 DAVID C. CLAUSEN
 NMLS NO 6547
 5-26-93

DAVID C. CLAUSEN
 6547
 NEW MEXICO
 REGISTERED PROFESSIONAL LAND SURVEYOR

PROJECT NO. 4004-00

PLAT OF

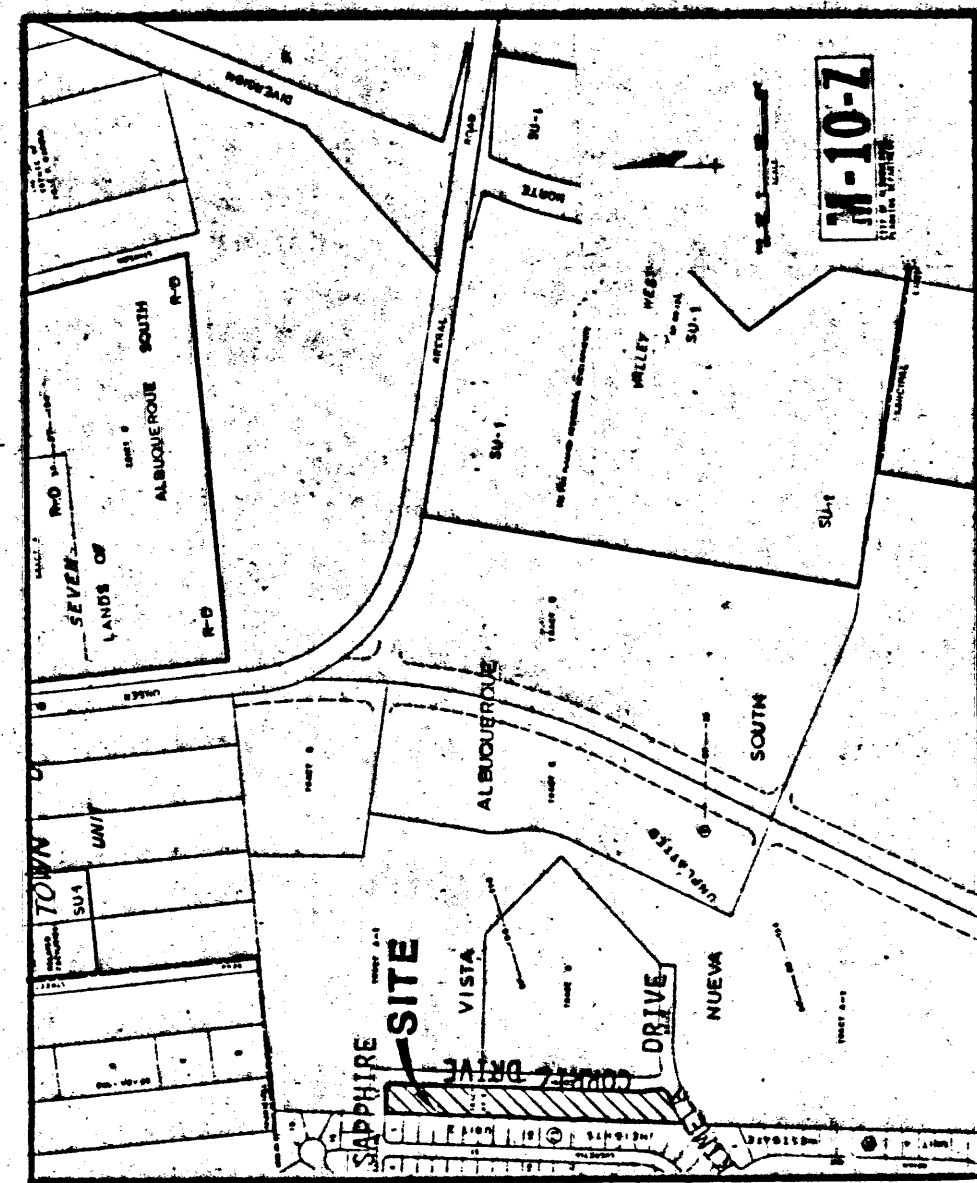
BINFORD SUBDIVISION

SITUATE WITHIN THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 34, T. 10 N., R. 2 E., N.M.P.M.
ALBUQUERQUE, NEW MEXICO

MAY 1991

DESCRIPTION

A CERTAIN PARCEL OF LAND SITUATE WITHIN PROJECTED SECTION 34, T. 10 N., R. 2 E., N.M.P.M., BERNALILLO COUNTY, NEW MEXICO, AND THE PLAT ENTITLED "PROJECTED SUMMARY PLAT OF THE SOUTHWEST CORNER OF THE TOWN OF ATRISCO GRANT, ALBUQUERQUE, NEW MEXICO," FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 16, 1983 IN BOOK C22, PAGE 33, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHERLY RIGHT-OF-WAY RETURN AT THE NORTHEAST CORNER OF THE PARCEL HEREIN DESCRIBED, FROM WHENCE THE CITY OF ALBUQUERQUE'S CONTROL STATION BEARS 11°03'18" E 2214.31 FEET DISTANT, DRIVE SW, BEING THE WESTERLY RIGHT-OF-WAY LINE OF CORRIZ RD. SW, THENCE, ALONG SAID RIGHT-OF-WAY LINE S 00°28'10" W, 996.18 FEET DISTANT TO THE BEGINNING OF A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 11°35'50" AND A RADIUS OF 382.16 FEET; THENCE, ALONG THE ARC OF THE CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 11°35'50" AND A RADIUS OF 382.16 FEET TO A POINT OF REVERSE CURVATURE, AND THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 11°35'50" AND A RADIUS OF 382.16 FEET TO A POINT OF REVERSE CURVATURE, AND THE BEGINNING OF A CURVE TO THE LEFT ALONG THE NORTHERLY RIGHT-OF-WAY OF KIMELA DRIVE SW HAVING A CENTRAL ANGLE OF 15°01'13" AND A RADIUS OF 509.69 FEET; THENCE, ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 133.62 FEET TO A POINT OF NON-TANGENCY, 10° E, 1200.62 FEET DISTANT TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY OF CORRIZ RD. SW, 90.00 FEET DISTANT ALONG SAID RIGHT-OF-WAY LINE TO A POINT OF CURVATURE OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 90°00'00" AND A RADIUS OF 30.00 FEET; THENCE, ALONG THE ARC OF THE CURVE A DISTANCE OF 47.12 FEET TO THE POINT OF BEGINNING, AND CONTAINING 3.201 ACRES (139,416 S.F.) MORE OR LESS.



VICINITY MAP (M-10) 1"=750'

SUBDIVISION DATA & NOTES

- GROSS PARCEL AREA: 3.2006 AC.
- NUMBER OF EXISTING LOTS: 1
- NUMBER OF LOTS CREATED: 18
- LENGTH OF ROADWAYS DEDICATED: 0
- DISTANCES SHOWN ARE HORIZONTAL AND GROUND
- FIELD SURVEY WAS PERFORMED DURING APRIL 1991.
- BEARINGS SHOWN ARE BASED ON THE PLAT OF WESTGATE HEIGHTS, UNIT 3, FILED APRIL 22, 1977, BOOK D7, PG. 167.
- ALL CORNERS ARE MONUMENTED AS KEVED:
 - SET CONC. NAIL IN WALL
 - SET CONC. NAIL IN SIDEWALK
 - SET 5/8" REBAR W/ CAP LS 3243
- "CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO LOTS 1-18 OF THE BINFORD SUBDIVISION MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE."

FREE CONSENT AND DEDICATION

THE UNDERSIGNED OWNERS AND PROPRIETORS OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND DO HEREBY GRANT THOSE EASEMENTS AS SHOWN HEREON IN ACCORDANCE WITH THEIR APPLICABLE DEDICATION STATEMENT AND IN ACCORDANCE WITH THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND DO HEREBY REPRESENT THAT THE UNDERSIGNED INDIVIDUAL IS AUTHORIZED TO DO SO.

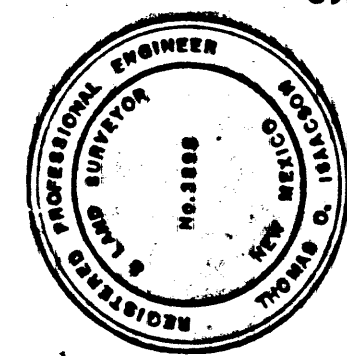
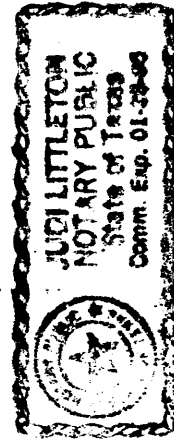
OWNER: ALBUQUERQUE SOUTH, A N.M. GENERAL PARTNERSHIP
CARROLL R. HOCHNER FOR CAROLEX LTD., MANAGING GEN. PARTNER

Carroll R. Hochner 8/26/92
CARROLL R. HOCHNER, CAROLEX LTD., DATE
MANAGING GENERAL PARTNER

ACKNOWLEDGEMENT

STATE OF TEXAS } ss
COUNTY OF HARRIS }
ON THIS 26th DAY OF August, 1992, THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY CARROLL R. HOCHNER OF CAROLEX LTD., KNOWN TO ME AS THE MANAGING GENERAL PARTNER OF ALBUQUERQUE SOUTH, A N.M. GENERAL PARTNERSHIP.

Walter R. Kane
NOTARY PUBLIC

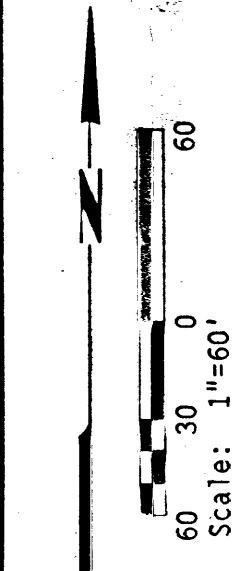


Thomas O. Isaacson
THOMAS O. ISAACSON
N.M.P.E. & L.S. #5885

ISAACSON & ARFMAN, P.A.

9/1/92 701
5/14/91
DATE

SHEET 1 OF 2

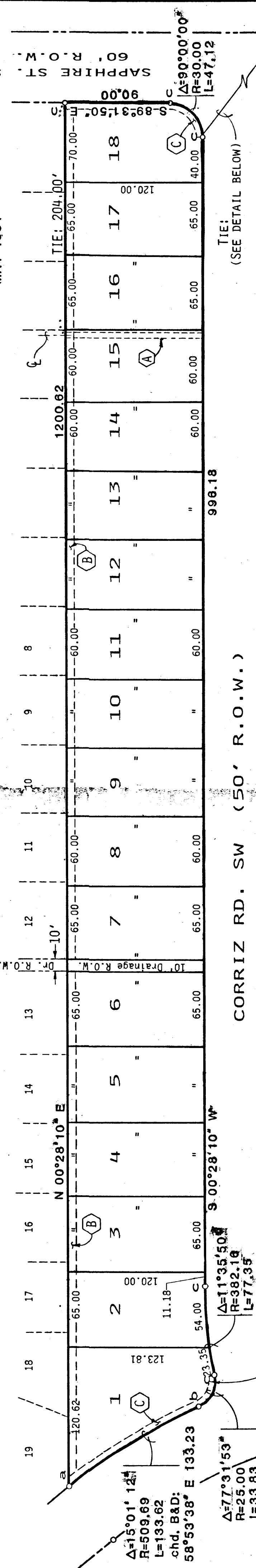


WESTGATE HEIGHTS UNIT 3
4-22-77 BK. D7, PG. 167

PLAT OF BINFORD SUBDIVISION

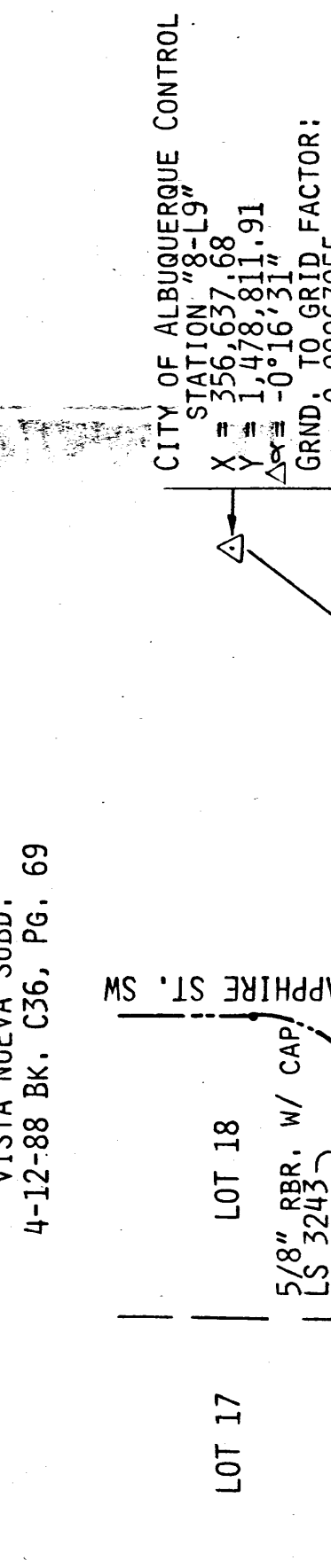
SITUATE WITHIN THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 34, T. 10 N., R. 2 E., N.M.P.M.
ALBUQUERQUE, NEW MEXICO

MAY 1991



MARY ANN BINFORD
ELEMENTARY SCHOOL
TRACT 6
VISTA NUEVA SUBD.
4-12-88 BK. C36, PG. 69

TRACT A
VISTA NUEVA SUBD.
4-12-88 BK. C36, PG. 69



PUBLIC UTILITY EASEMENTS
PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE SEVEN(7) & FIVE(5) FT. WIDE AND ARE GRANTED FOR THE COMMON AND JOINT USE OF:
1. THE PUBLIC SERVICE COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. U.S. WEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
3. JONES INTERCABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
4. GAS COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH DISTRIBUTION AND SERVICE LINES AND FACILITIES REASONABLY NECESSARY TO PROVIDE GAS SERVICE.
INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

LOT	SQ. FT.	ACRES
1	9,941	0.2282
2	7,868	0.1806
3	7,800	0.1791
4	7,800	0.1791
5	7,800	0.1791
6	7,800	0.1791
7	7,800	0.1791
8	7,200	0.1653
9	7,200	0.1653
10	7,200	0.1653
11	7,200	0.1653
12	7,200	0.1653
13	7,200	0.1653
14	7,200	0.1653
15	7,200	0.1653
16	7,800	0.1791
17	7,800	0.1791
18	8,207	0.1884

KEYED NOTES

- EXISTING 5-FOOT WIDE P.U.E. GRANTED BY DOCUMENT NO. 88105112 ON DECEMBER 12, 1988, IN MISC. BK. 692A, PG. 776
- PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT.
- PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT.

CERTIFICATION (FIELD SURVEY)

I, WILLIAM P. PETTIT, HEREBY CERTIFY THAT THE BOUNDARY SURVEY SHOWN HEREON WAS PREPARED BY ME OR UNDER MY SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

9/4/1992 0053
MAY 13 1991
DATE

WILLIAM P. PETTIT
N.M.L.S. NO. 5243

