

VICINITY MAP                      ZONE ATLAS MAP: M-10  
SCALE: NONE

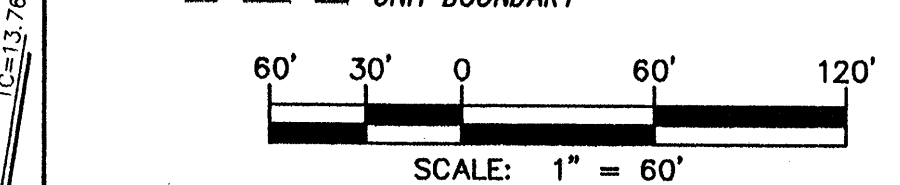
**LEGAL DESCRIPTION**

**LANDS OF ALBUQUERQUE SOUTH, UNIT 2, TRACT A2,  
AND UNPLATTED LANDS REMAINDER OF TRACT KK**


1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM AS PER DTL. THIS SHT. AND NETTING THE SOIL TO KEEP IT FROM BLOWING.
5. THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.





**LEGEND**

- NEW RETAINING WALL-DESIGN BY OTHER
- 21.01 TW TOP OF WALL  
18.31 BW BOTTOM OF WALL  
FP= 30.78 ~~ASBUT~~ FINISHED PAD ELEVATION  
30  
MOUNTABLE CURB & GUTTER  
STANDARD 8" CURB & GUTTER  
4.5' ~~ASBUT~~ PROPOSED SPOT ELEVATION  
28.78  
50  
3:1 OR 4:1 SLOPE  
--- --- TRACT/LOT BOUNDARY  
--- --- RIGHT OF WAY  
--- --- EASEMENTS  
--- --- CENTERLINE OF ROAD  
- 5135- EXISTING CONTOUR  
TC= EXISTING TOP OF CURB  
FL= EXISTING FLOWLINE  
x 00.00 EXISTING SPOT ELEVATION  
--- --- EXISTING CURB AND GUTTER  
○ EXISTING SANITARY SEWER MANHOLE  
≡≡≡ EXISTING WATER VALVE  
--- W--- EXISTING WATERLINE  
--- E--- EXISTING OVERHEAD ELECTRIC LINE  
◇ EXISTING FIRE HYDRANT  
--- --- EXISTING RETAINING WALL  
--- --- LOT BOUNDARY



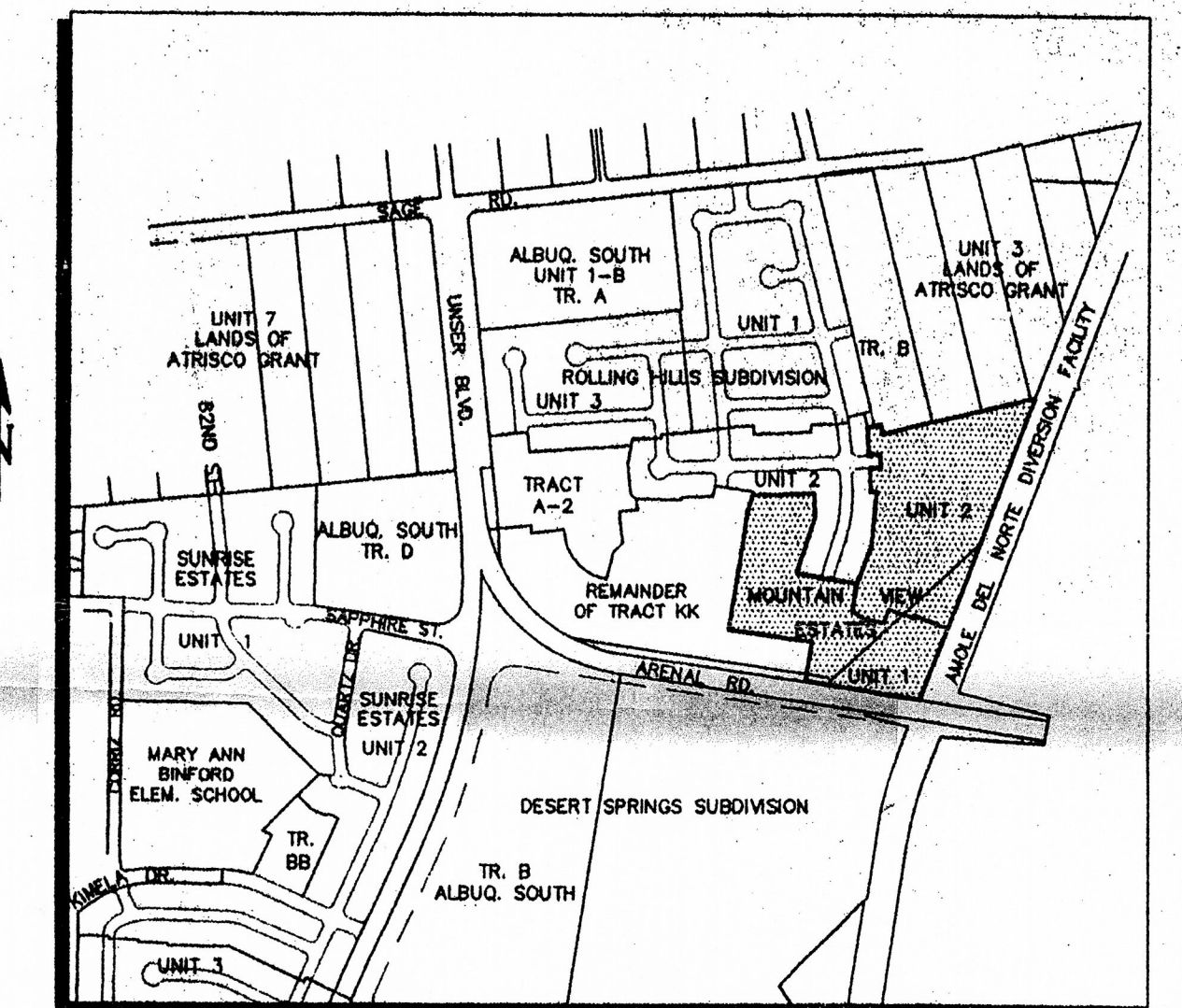
**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 828-2200, FAX (505) 797-9511

	CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	11/15/2019
	TITLE:	11/15/2019
MOUNTAIN VIEW ESTATES UNITS 3 & 4 GRADING AND DRAINAGE PLAN		

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
				
				
				
				
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF	
580383	1132	5		



MASTER DRAINAGE PLAN  
LONGFORD HOMES SUBDIVISION  
UNIT ONE THROUGH ALL FUTURE PHASES  
SEPTEMBER 1997



M-10  
VICINITY MAP  
1"=750'±

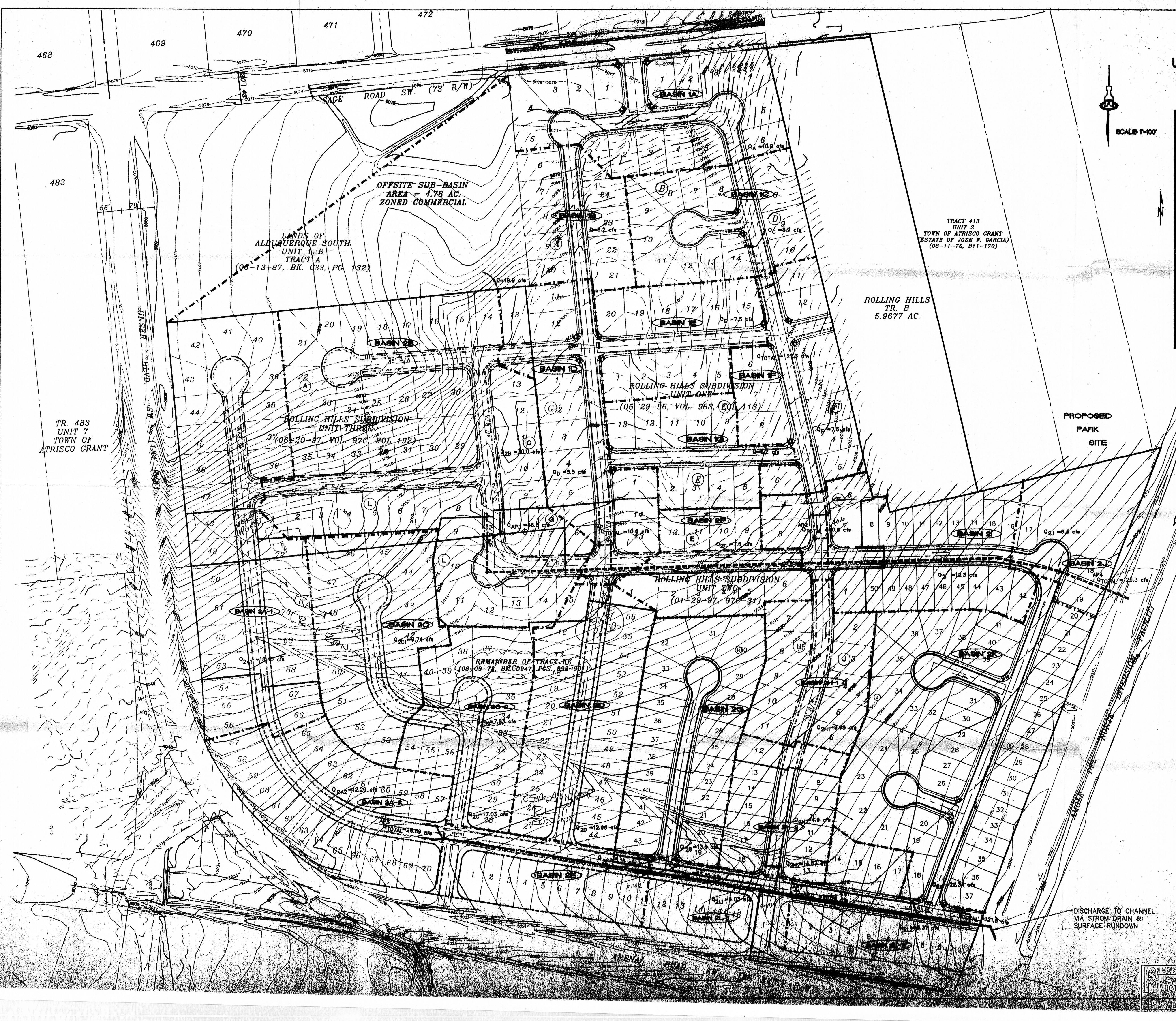
AP	Q <sub>100</sub> (CFS)	OUTFALL
1	10.6	24" RCP @ S=1.5%
2	40.6	30" RCP @ S=2.5% & STREET FLOW
3	48.5	24" RCP @ S=1.5% & STREET FLOW
4	125.3	30" RCP DISCHARGES TO RUNDOWN TO AMOLE
5	28.89	24" RCP @ S=2%
6	63.45	30" RCP @ S=2.2% & STREET FLOW
7	95.25	36" RCP @ S=2.7% & STREET FLOW
8	121.6	36" RCP @ S=3.0% DISCHARGES TO RUNDOWN TO AMOLE

BASIN ID	AREA (AC)	Q <sub>100</sub> (CFS)
1A	3.31	10.9
1B	1.86	6.2
1C	2.69	8.9
1D	1.66	5.5
1E	2.28	7.5
1F	2.28	7.5
1G	1.86	6.2
2A1	4.84	18.40
2A2	3.37	12.29
2B	9.11	30.0
2C1	2.95	9.74
2C2	2.46	7.83
2D	3.73	12.96
2E	1.45	5.15
2F	2.28	7.6
2G	3.32	13.6
2H1	1.95	9.95
2H2	1.78	4.9
2I	3.52	12.3
2J	1.86	6.5
2K	6.62	22.34
2L1	1.24	4.03
2L2	1.86	5.37

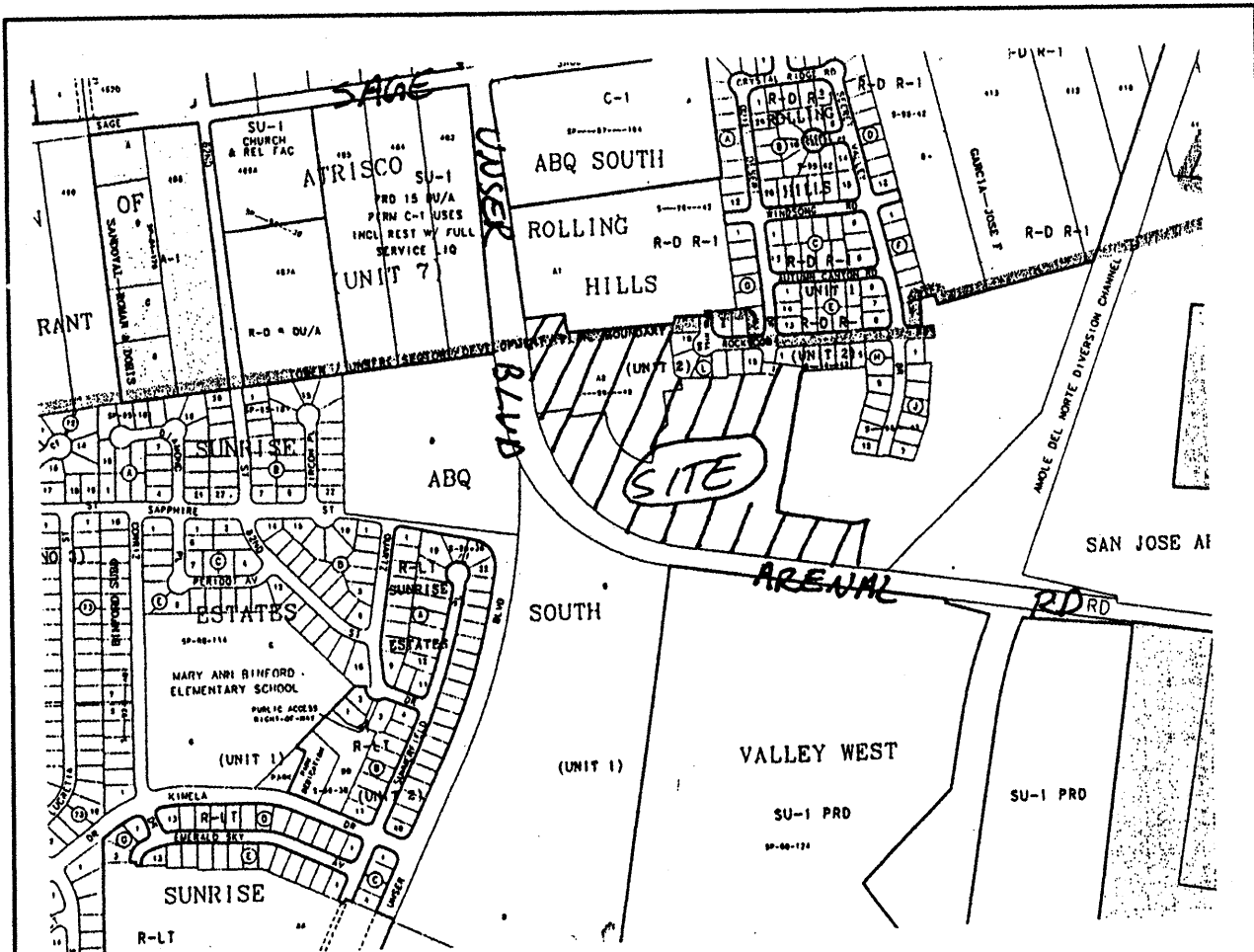
LONGFORD HOMES SUBDIVISION  
MASTER DRAINAGE PLAN

ISAACSON & ARFMAN, P.A.  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico

0440NSTR.DWG.ctb 09/30/97  
SHEET 1 OF 1







LOCATION MAP

ZONE ATLAS M-10-Z

SCALE: NONE

### SUBDIVISION DATA

PLAT CASE NOS. DRB. 98- S V.  
GROSS ACREAGE 18.2109  
ZONE ATLAS NO. M-10-Z  
NO. OF EXISTING TRACTS/LOTS 2 TRACTS  
NO. OF TRACTS/LOTS CREATED 120 LOTS  
NO. OF TRACTS/LOTS ELIMINATED 2 TRACTS  
MILES OF FULL WIDTH STREETS CREATED 0.5623  
AREA DEDICATED TO CITY OF ALBUQUERQUE INTERIOR STREETS: 3.6937 AC  
ADDITIONAL R/W: 0.8239 AC  
DATE OF SURVEY DECEMBER 1997  
UTILITY CONTROL LOCATION SYSTEM LOG NUMBER: 97121209150201

### FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets and public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground & overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

*John Murtagh*  
**JOHN MURTAGH, President**  
**LONGFORD HOMES OF NEW MEXICO, INC., General Partner**

### OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO }  
COUNTY OF BERNALILLO } ss

This instrument was acknowledged before me on

NOTARY PUBLIC

2-25-98 9-3-00  
MY COMMISSION EXPIRES

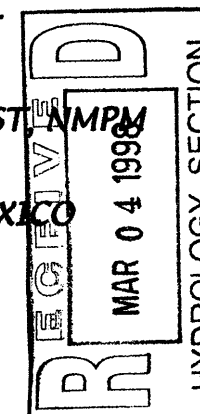
### LEGAL DESCRIPTION (SEE SHEET 2)

### NOTES (SEE SHEET 2)

### PURPOSE OF PLAT

1. TO DEDICATE RIGHT-OF-WAY AND GRANT EASEMENTS AS SHOWN
2. TO SUBDIVIDE THE REMAINDER OF TRACT KK AND ALL OF TRACT A-2, ROLLING HILLS SUBDIVISION, UNIT TWO, INTO 120 RESIDENTIAL LOTS.

PLAT FOR  
**MOUNTAIN VIEW ESTATES**  
**UNITS 3 AND 4**  
WITHIN THE  
TOWN OF ATRISCO GRANT  
PROJECTED SECTION 34  
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
FEBRUARY 1998



### APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque Subdivision Ordinance, Article XI of Chapter 7 of the Revised Ordinances of Albuquerque, New Mexico.

Subdivision Case No. \_\_\_\_\_

Planning Director, City of Albuquerque, N.M. \_\_\_\_\_ Date \_\_\_\_\_

City Engineer, City of Albuquerque, N.M. \_\_\_\_\_ Date \_\_\_\_\_

Albuquerque Metropolitan Arroyo Flood Control Authority \_\_\_\_\_ Date \_\_\_\_\_

Transportation Development, City of Albuquerque, N.M. \_\_\_\_\_ Date \_\_\_\_\_

Utility Development Division, City of Albuquerque, N.M. \_\_\_\_\_ Date \_\_\_\_\_

Parks Design and Development, C.I.P., City of Albuquerque, N.M. \_\_\_\_\_ Date \_\_\_\_\_

*Wink C. Aldrich* 030498  
City Surveyor, City of Albuquerque, N.M. \_\_\_\_\_ Date \_\_\_\_\_

Property Management, City of Albuquerque, N.M. \_\_\_\_\_ Date \_\_\_\_\_

New Mexico Utilities, Inc. \_\_\_\_\_ Date \_\_\_\_\_

PNM GAS \_\_\_\_\_ Date \_\_\_\_\_

U.S. West Telecommunications \_\_\_\_\_ Date \_\_\_\_\_

PNM ELECTRIC \_\_\_\_\_ Date \_\_\_\_\_

Jones Intercable, Inc. \_\_\_\_\_ Date \_\_\_\_\_

### SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revision effective December 25, 1991 and February 2, 1994), and is true and correct to the best of my knowledge and belief."

TIMOTHY ALDRICH, P.S. No. 7719

DATE

dwg: 7126pt1 Drawn: BJG Checked: ALS Sheet 1 of 6  
Scale: 1"=50' Date: 2-23-98 Job: 97126

LEGAL DESCRIPTION

A certain tract of land situate within the Town of Atrisco Grant, projected Section 34, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being the REMAINDER OF TRACT KK as described in SPECIAL WARRANTY DEED filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 23, 1973 in Bk. D947, Pgs. 898-901 and all of TRACT A-2, ROLLING HILLS SUBDIVISION, UNIT TWO as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on January 29, 1997 in Volume 97C, Folio 31 and being more particularly described as follows:

BEGINNING at the northwest corner of the herein described tract, said point being on the easterly right-of-way line of Unser Boulevard S.W. from whence the Albuquerque Control Survey Monument "1-M10" bears N 06°53'19" W, 903.10 feet;

THENCE leaving said easterly right-of-way line N 83°56'42" E, 110.43 feet to a point;

THENCE N 86°49'14" E, 50.06 feet to a point;

THENCE S 06°03'18" E, 73.90 feet to a point;

THENCE N 86°39'53" E, 423.96 feet to a point;

THENCE S 11°01'01" W, 74.36 feet to a point;

THENCE S 05°57'07" E, 129.56 feet to a point;

THENCE S 48°34'56" E, 29.34 feet to a point;

THENCE S 89°22'57" E, 188.94 feet to a point;

THENCE N 01°36'57" W, 10.49 feet to a point;

THENCE N 88°23'03" E, 131.57 feet to a point;

THENCE N 08°50'45" E, 45.64 feet to a point;

THENCE S 81°09'15" E, 160.00 feet to a point;

THENCE S 08°50'45" W, 16.10 feet to a point;

THENCE S 16°33'07" W, 74.58 feet to a point;

THENCE S 08°50'45" W, 495.00 feet to a point;

THENCE S 81°09'15" E, 350.93 feet to a point;

THENCE S 08°50'45" W, 172.59 feet to the southeast corner, said point being on the northerly right-of-way line of Arenal Boulevard S.W.;

THENCE along said northerly right-of-way line N 81°01'13" W, 778.98 feet to a point of curvature;

THENCE continuing 805.72 feet along a curve to the right, whose radius is 673.20 feet through a central angle of 68°34'28" and whose chord bears N 46°43'59" W, 758.48 feet to a point of tangency, said point being on the easterly right-of-way line of Unser Boulevard S.W.;

THENCE leaving said northerly right-of-way line along said southerly right-of-way line N 83°56'42" E, 42.16 feet to a point, said point being on the easterly right of way line of said Unser Boulevard S.W.;

THENCE leaving said southerly right-of-way line along said easterly right-of-way line 75.81 feet along a curve to the left, whose radius is 2878.00 feet through a central angle of 01°30'33" and whose chord bears N 04°47'57" W, 75.81 feet to a point of tangency;

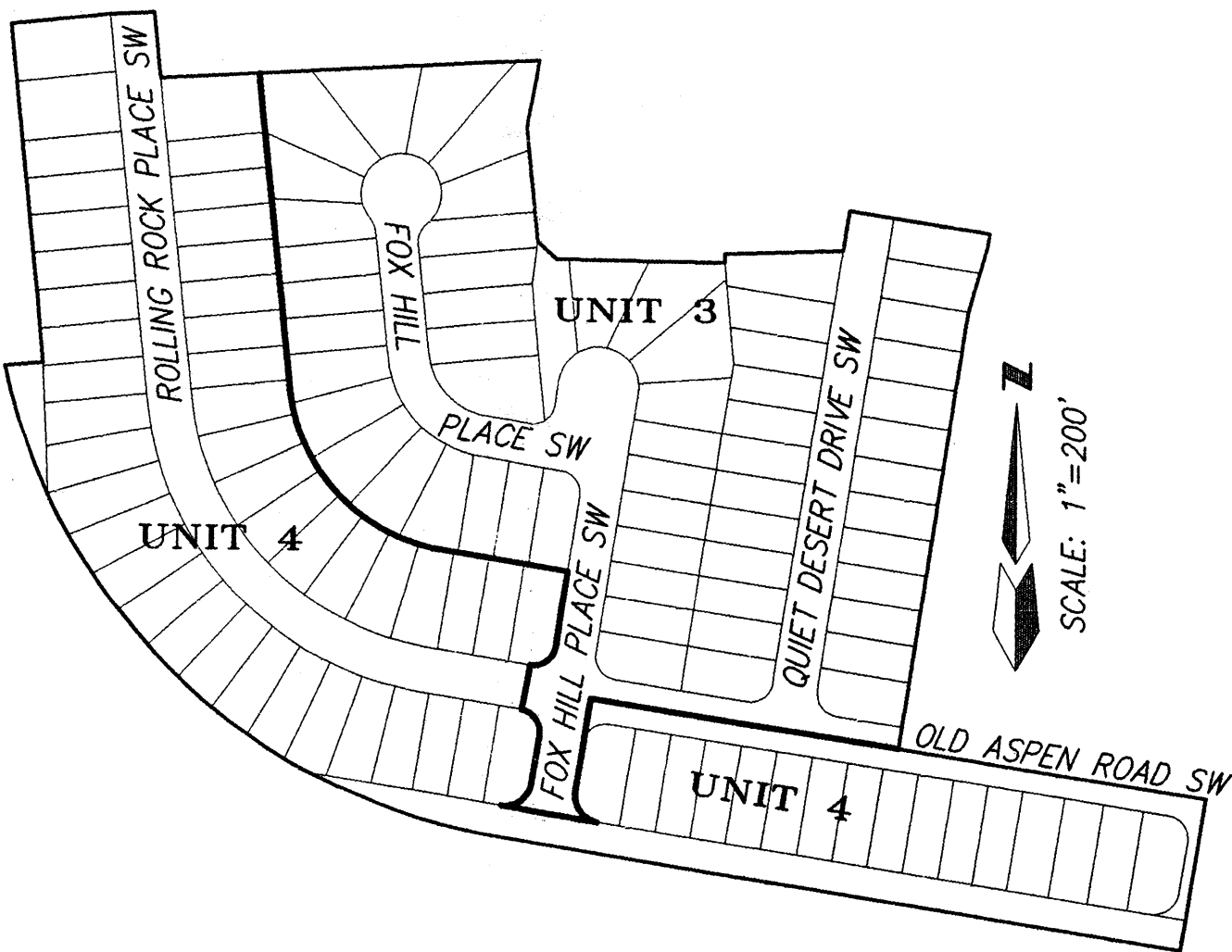
THENCE continuing N 05°57'06" W, 304.21 feet to the point of beginning and containing 18.2109 acres more or less.

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and Distances in parenthesis are record.
4. Basis of boundary are the following plats and documents of record entitled:  
"ROLLING HILLS SUBDIVISION, UNIT 1", (05-29-96, 96C-113)  
"ROLLING HILLS SUBDIVISION, UNIT 2", (01-29-97, 97C-31)  
"ROLLING HILLS SUBDIVISION, UNIT 3", (06-20-97, 97C-192)  
"TOWN OF ATRISCO GRANT, UNIT 3", (08-11-76, B11-170)  
"VALLEY WEST", (04-17-80, C16-144)  
"ALBUQUERQUE SOUTH, UNIT 1", (08-03-87, C34-74)  
"SPECIAL WARRANTY DEED", (08-23-73, BK. D947, Pgs. 898-901)  
"WARRANTY DEED", (02-23-81, BK. D137-A, Pgs. 831-841)  
"WARRANTY DEED", (02-23-81, BK. D137-A, Pgs. 831-841)  
"MOUNTAIN VIEW ESTATES, UNIT 1", (UNFILED)

records of Bernalillo County, New Mexico.

5. Date of Survey: December, 1997.
6. Title Report: None provided.
7. Address of Property: None provided.
8. Utility Council Location System Log No. 97121209150201



PLAT FOR  
**MOUNTAIN VIEW ESTATES**  
**UNITS 3 AND 4**  
WITHIN THE  
**TOWN OF ATRISCO GRANT**  
**PROJECTED SECTION 34**  
**TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**  
**FEBRUARY 1998**

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of :

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.

2. The PNM Gas Services Division for installation, maintenance and services of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.

3. U.S. West for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.

4. Jones Intercable for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.

5. The New Mexico Utilities, Inc., for the installation, maintenance and service of water and sanitary sewer lines and any other equipment, fixtures, structures and related facilities reasonably necessary to provide water and sewer services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.



PLAT FOR  
**MOUNTAIN VIEW ESTATES**  
**UNITS 3 AND 4**  
 WITHIN THE  
 TOWN OF ATRISCO GRANT  
 PROJECTED SECTION 34  
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 FEBRUARY 1998

ACS MONUMENT  
 "1-M10"  
 Y= 1476654.54  
 X= 358862.36  
 G-G= 0.99967987  
 $\Delta\alpha = -00^{\circ}16'15"$   
 CENTRAL ZONE  
 ELEVATION=5079.88  
 (NAD 1927/SLD 1929)

CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C1	805.72'	68°34'28"	673.20'	459.01'	N46°43'59"W	758.48'
C2	75.81'	01°30'33"	2878.00'	37.91'	N04°47'57"W	75.81'

ACS MONUMENT  
 "8-L9"  
 Y= 1478811.91  
 X= 356637.68  
 G-G= 0.99967955  
 $\Delta\alpha = -00^{\circ}16'31"$   
 CENTRAL ZONE  
 (NAD 1927)

ROLLING HILLS SUBDIVISION  
 UNIT 3  
 (06-20-97, 97C-192)

ROLLING HILLS SUBDIVISION  
 UNIT 2  
 (01-29-97, 97C-31)

LINE	DIRECTION	DISTANCE
L1	N83°56'42"E	110.43'
L2	N86°49'14"E	50.06'
L3	S06°03'18"E	73.90'
L4	N86°39'53"E	423.96'
L5	S11°01'01"W	74.36'
L6	S05°57'07"E	129.56'
L7	S48°34'56"E	29.34'
L8	S89°22'57"E	188.94'
L9	N01°36'57"W	10.49'
L10	N88°23'03"E	131.57'
L11	N08°50'45"E	45.64'
L12	S81°09'15"E	160.00'
L13	S08°50'45"W	16.10'
L14	S16°33'07"W	74.58'
L15	S08°50'45"W	495.00'
L16	S81°09'15"E	350.93'
L17	S08°50'45"W	172.59'
L18	N81°01'13"W	778.98'
L19	N83°56'42"E	42.16'
L20	N05°57'06"W	304.21'

TOWN OF ATRISCO GRANT  
 UNIT 7  
 TRACT 483

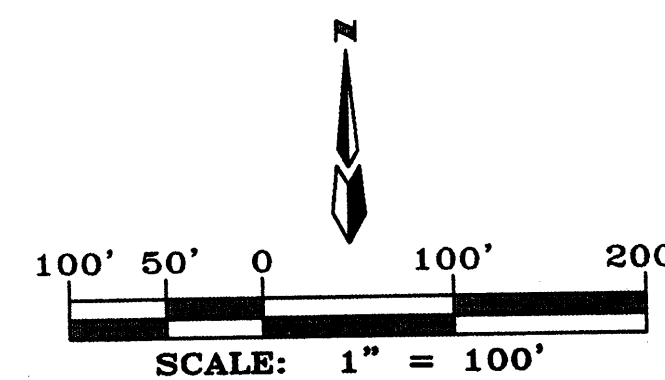
ALBUQUERQUE SOUTH, UNIT 1  
 TRACT D  
 (08-03-87, C34-74)

ALBUQUERQUE SOUTH, UNIT 1  
 TRACT D  
 (08-03-87, C34-74)

ALBUQUERQUE SOUTH, UNIT 1  
 TRACT B  
 (08-03-87, C34-74)

MOUNTAIN VIEW ESTATES  
 UNIT 1  
 (UNFILED)

18.2109 ACRES



ARENAL BLVD. S.W. (R/W 86')

TRACT A

TRACT B

DESERT SPRINGS  
 (02-20-97, 97C-55)

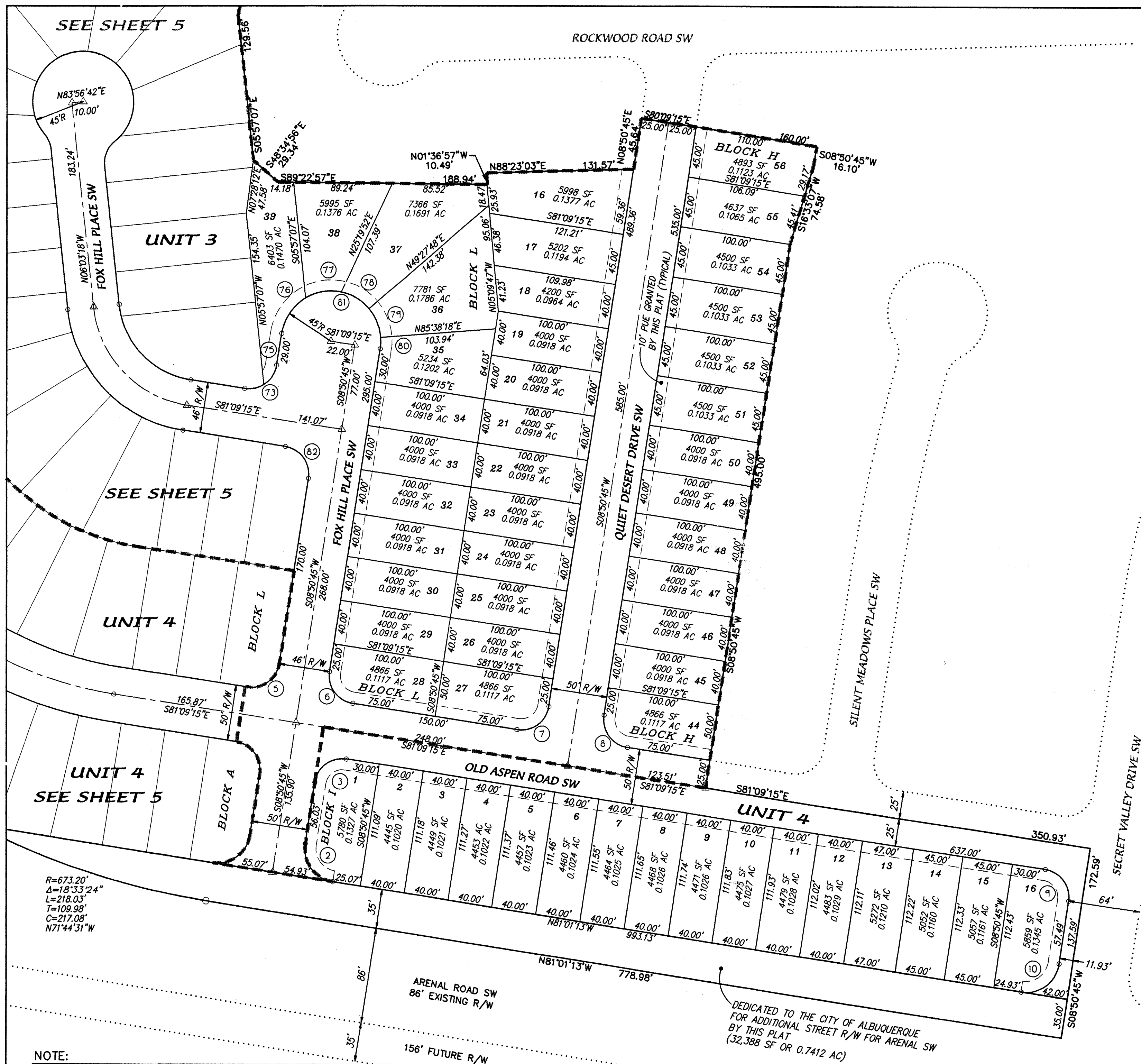
PROPERTY CORNERS

- SET 5/8" REBAR WITH  
CAP "ALS LS 7719" (TYP)
- FOUND 5/8" REBAR WITH  
CAP "ALS LS 7719" (TYP)

dwg:	7126pt3	Drawn:	RJA	Checked:	ALS	Sheet	3 of 6
Scale:	1"=100'	Date:	2-13-98	Job:	97126		



PLAT FOR  
**MOUNTAIN VIEW ESTATES**  
**UNITS 3 AND 4**  
 WITHIN THE  
 TOWN OF ATRISCO GRANT  
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 FEBRUARY 1998





PLAT FOR  
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 FEBRUARY 1998

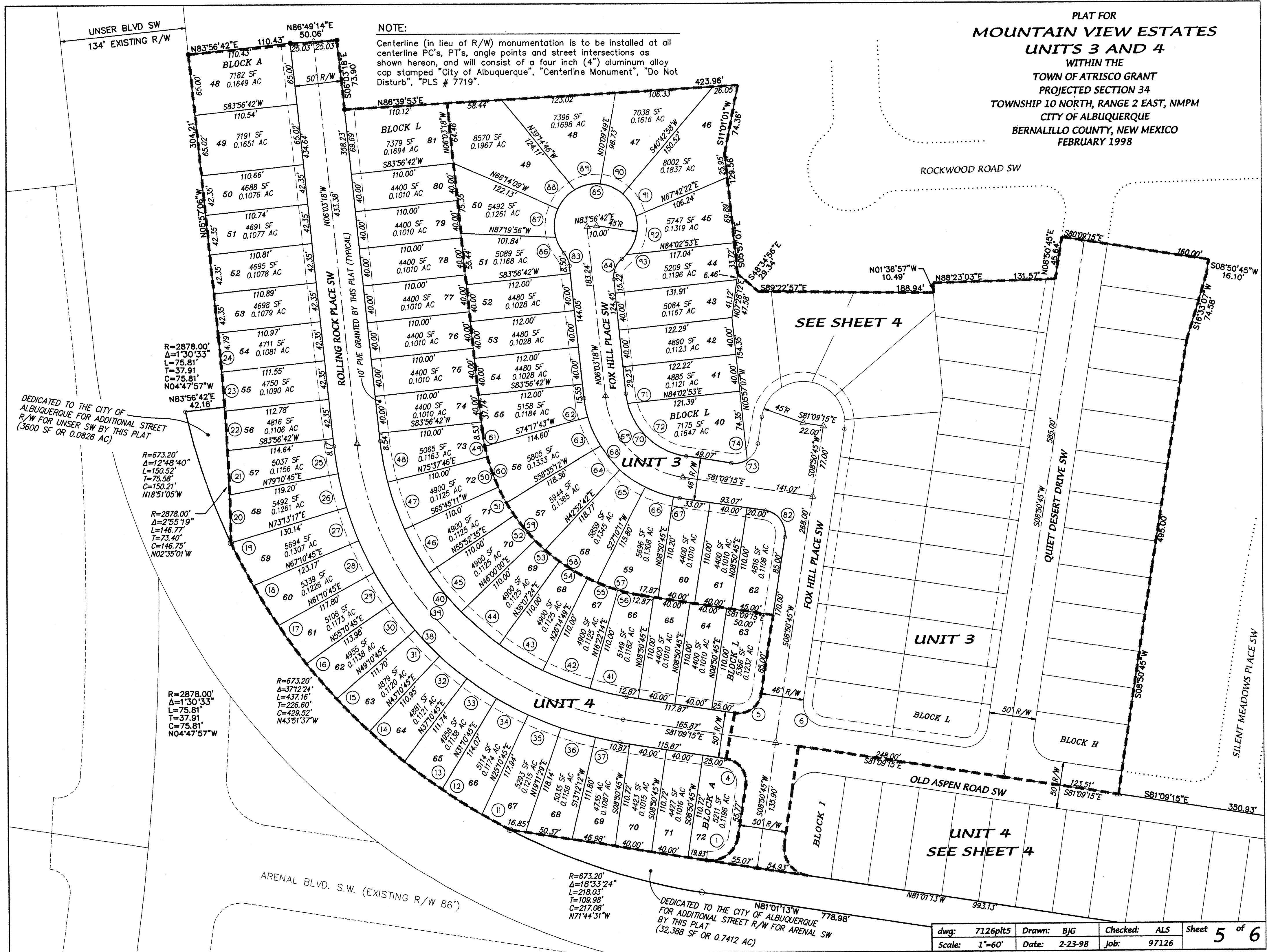
**NOTE:**

Centerline (in lieu of R/W) monumentation is to be installed at all centerline PC's, PT's, angle points and street intersections as shown hereon, and will consist of a four inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monument", "Do Not Disturb", "PLS # 7719".

DEDICATED TO THE CITY OF  
 ALBUQUERQUE FOR ADDITIONAL STREET  
 R/W FOR UNSER SW BY THIS PLAT  
 (3600 SF OR 0.0826 AC)

DEDICATED TO THE CITY OF ALBUQUERQUE  
 FOR ADDITIONAL STREET R/W FOR ARENAL SW  
 BY THIS PLAT  
 (32,388 SF OR 0.7412 AC)

dwg:	7126pt5	Drawn:	BJG	Checked:	ALS	Sheet	5 of 6
Scale:	1"=60'	Date:	2-23-98	Job:	97126		





CURVE DATA					
NO.	RADIUS	DELTA	LENGTH	CHORD BEARING & DISTANCE	
1	30.00'	90°08'02"	47.19'	N 53°54'46"E	42.48'
2	30.00'	89°51'58"	47.05'	N 36°05'14"W	42.38'
3	25.00'	90°00'00"	39.27'	N 53°50'45"E	35.36'
4	25.00'	90°00'00"	39.27'	N 36°09'15"W	35.36'
5	25.00'	90°00'00"	39.27'	N 53°50'45"E	35.36'
6	25.00'	90°00'00"	39.27'	N 36°09'15"W	35.36'
7	25.00'	90°00'00"	39.27'	N 53°50'45"E	35.36'
8	25.00'	90°00'00"	39.27'	N 36°09'15"W	35.36'
9	25.00'	90°00'00"	39.27'	N 36°09'15"W	35.36'
10	30.00'	90°08'04"	47.19'	N 53°54'47"E	42.48'
11	673.20'	2°54'18"	34.13'	N 61°00'40"W	34.13'
12	673.20'	4°17'06"	50.35'	N 57°24'58"W	50.33'
13	673.20'	4°14'57"	49.93'	N 53°08'57"W	49.91'
14	673.20'	4°13'52"	49.71'	N 48°54'32"W	49.70'
15	673.20'	4°13'51"	49.71'	N 44°40'41"W	49.70'
16	673.20'	4°14'54"	49.92'	N 40°26'18"W	49.90'
17	673.20'	4°17'01"	50.33'	N 36°10'21"W	50.32'
18	673.20'	4°20'10"	50.95'	N 31°51'45"W	50.94'
19	673.20'	4°26'15"	52.14'	N 27°28'32"W	52.13'
20	2878.00'	1°02'00"	51.90'	N 01°38'21"W	51.90'
21	2878.00'	0°57'46"	48.36'	N 02°38'14"W	48.36'
22	2878.00'	0°50'38"	42.39'	N 03°32'26"W	42.39'
23	2878.00'	0°50'37"	42.37'	N 04°23'03"W	42.37'
24	2878.00'	0°44'52"	37.56'	N 05°10'48"W	37.56'
25	363.44'	4°45'57"	30.23'	N 08°26'16"W	30.22'
26	363.44'	5°57'29"	37.79'	N 13°47'59"W	37.78'
27	363.44'	6°02'31"	38.33'	N 19°47'59"W	38.31'
28	363.44'	6°00'00"	38.06'	N 25°49'15"W	38.04'
29	363.44'	6°00'00"	38.06'	N 31°49'15"W	38.04'
30	363.44'	6°00'00"	38.06'	N 37°49'15"W	38.04'
31	363.44'	6°00'00"	38.06'	N 43°49'15"W	38.04'
32	363.44'	6°00'00"	38.06'	N 49°49'15"W	38.04'
33	363.44'	6°00'00"	38.06'	N 55°49'15"W	38.04'
34	363.44'	6°00'00"	38.06'	N 61°49'15"W	38.04'
35	363.44'	5°59'17"	37.98'	N 67°48'53"W	37.97'
36	363.44'	5°59'17"	37.98'	N 73°48'09"W	37.97'
37	363.44'	4°21'27"	27.64'	N 78°58'31"W	27.63'
38	363.44'	75°05'57"	476.37'	N 43°36'17"W	443.00'
39	338.44'	75°05'57"	443.60'	N 43°36'17"W	412.52'
40	313.44'	75°05'57"	410.83'	N 43°36'17"W	382.05'
41	313.44'	7°31'29"	41.16'	N 77°23'31"W	41.13'
42	313.44'	9°52'35"	54.03'	N 68°41'29"W	53.96'
43	313.44'	9°52'35"	54.03'	N 58°48'53"W	53.96'
44	313.44'	9°52'35"	54.03'	N 48°56'18"W	53.96'
45	313.44'	9°52'35"	54.03'	N 39°03'43"W	53.96'
46	313.44'	9°52'35"	54.03'	N 29°11'07"W	53.96'
47	313.44'	9°52'35"	54.03'	N 19°18'32"W	53.96'
48	313.44'	8°18'56"	45.49'	N 10°12'46"W	45.45'
49	203.44'	8°18'56"	29.53'	N 10°12'46"W	29.50'
50	203.44'	9°52'35"	35.07'	N 19°18'32"W	35.03'
51	203.44'	9°52'35"	35.07'	N 29°11'07"W	35.03'
52	203.44'	9°52'35"	35.07'	N 39°03'43"W	35.03'
53	203.44'	9°52'35"	35.07'	N 48°56'18"W	35.03'
54	203.44'	9°52'35"	35.07'	N 58°48'53"W	35.03'
55	203.44'	9°52'35"	35.07'	N 68°41'29"W	35.03'
56	203.44'	7°31'29"	26.72'	N 77°23'31"W	26.70'
57	203.44'	14°18'34"	50.81'	N 73°59'58"W	50.68'
58	203.44'	18°35'44"	66.03'	N 57°32'49"W	65.74'
59	203.44'	18°40'37"	66.32'	N 38°54'38"W	66.02'
60	203.44'	18°32'38"	65.84'	N 20°18'00"W	65.56'
61	203.44'	4°58'23"	17.66'	N 08°32'30"W	17.65'
62	123.00'	9°38'59"	20.72'	N 10°52'47"W	20.69'
63	123.00'	15°42'31"	33.72'	N 23°33'32"W	33.62'
64	123.00'	15°42'31"	33.72'	N 39°16'03"W	33.62'
65	123.00'	15°42'31"	33.72'	N 54°58'34"W	33.62'
66	123.00'	15°05'44"	32.41'	N 70°22'41"W	32.31'
67	123.00'	3°13'42"	6.93'	N 79°32'24"W	6.93'
68	123.00'	75°05'57"	161.22'	N 43°36'17"W	149.92'
69	100.00'	75°05'57"	131.07'	N 43°36'17"W	121.89'
70	77.00'	75°05'57"	100.93'	N 43°36'17"W	93.85'
71	77.00'	8°02'21"	10.80'	N 10°04'29"W	10.80'
72	77.00'	67°03'26"	90.12'	N 47°37'27"W	85.07'
73	25.00'	90°00'00"	39.27'	N 53°50'45"E	35.36'
74	25.00'	40°54'20"	17.85'	N 78°23'35"E	17.47'
75	25.00'	49°05'39"	21.42'	N 33°23'35"E	20.77'
76	45.00'	50°06'35"	39.36'	N 33°54'02"E	38.11'
77	45.00'	42°57'16"	33.74'	N 80°25'58"E	32.95'
78	45.00'	37°33'13"	29.49'	N 59°18'48"W	28.97'
79	45.00'	36°10'30"	28.41'	N 22°26'57"W	27.94'
80	45.00'	13°12'27"	10.37'	N 02°14'31"E	10.35'
81	45.00'	180°00'00"	141.37'	N 81°09'15"W	90.00'
82	25.00'	90°00'00"	39.27'	N 36°09'15"W	35.36'
83	25.00'	34°02'52"	14.86'	N 23°04'44"W	14.64'
84	25.00'	57°07'18"	24.92'	N 22°30'21"E	23.90'
85	45.00'	27°10'10"	212.98'	N 84°31'05"W	62.99'
86	45.00'	24°12'18"	19.01'	N 28°00'01"W	18.87'
87	45.00'	39°39'43"	31.15'	N 03°55'59"E	30.53'
88	45.00'	35°39'03"	28.00'	N 41°35'22"E	27.55'
89	45.00'	35°39'03"	28.00'	N 77°14'25"E	27.55'
90	45.00'	35°39'03"	28.00'	N 67°06'33"W	27.55'
91	45.00'	35°39'03"	28.00'	N 31°27'30"W	27.55'
92	45.00'	56°43'36"	44.55'	N 14°43'49"E	42.76'
93	45.00'	07°58'23"	6.26'	N 47°04'48"E	6.26'

PLAT FOR  
**MOUNTAIN VIEW ESTATES**  
**UNITS 3 AND 4**  
 WITHIN THE  
 TOWN OF ATRISCO GRANT  
 PROJECTED SECTION 34  
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 FEBRUARY 1998

dwg:	7126plt6	Drawn:	BJG	Checked:	ALS	Sheet	6 of 6
Scale:	1"=100'	Date:	2-17-98	Job:	97126		