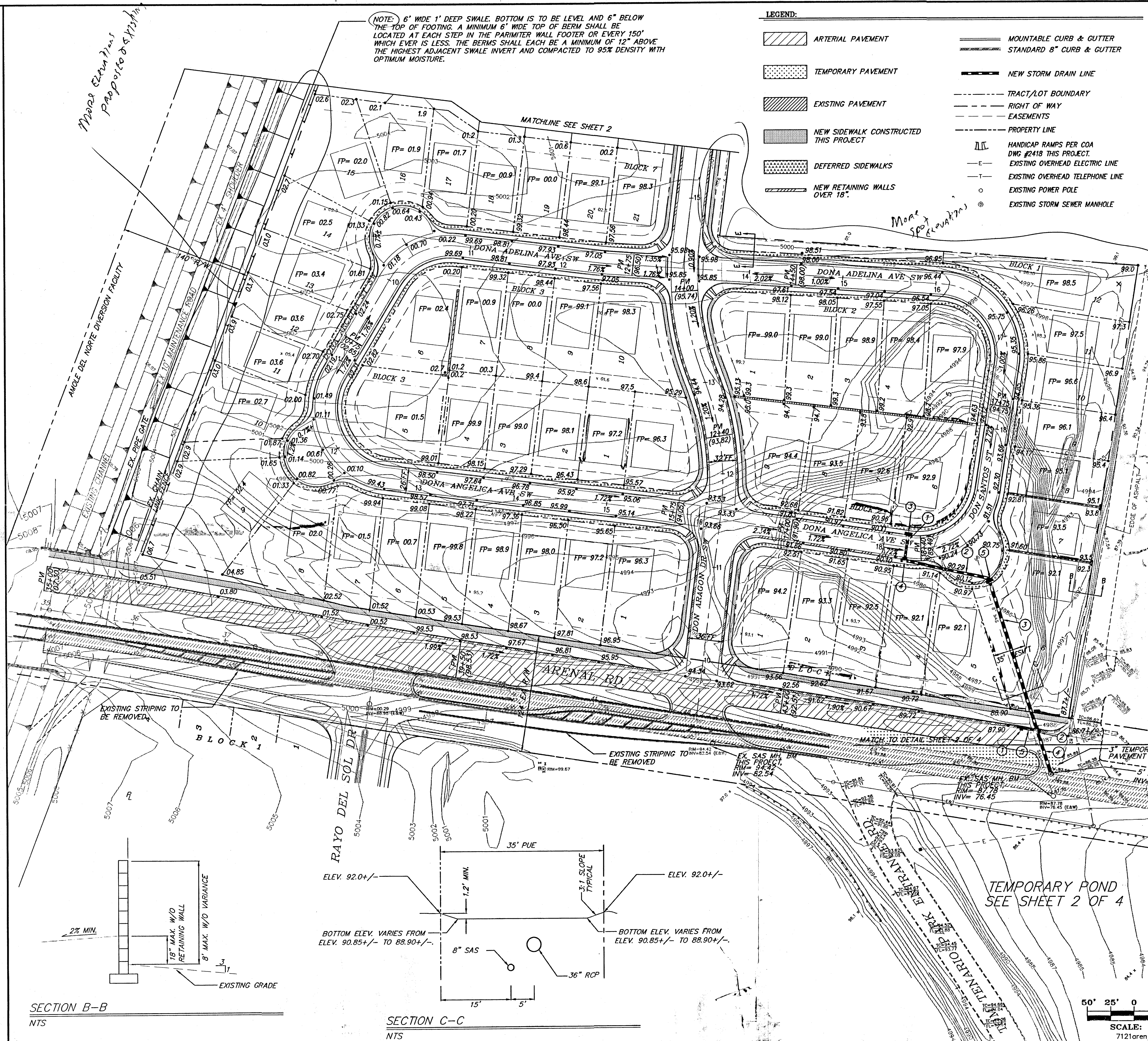
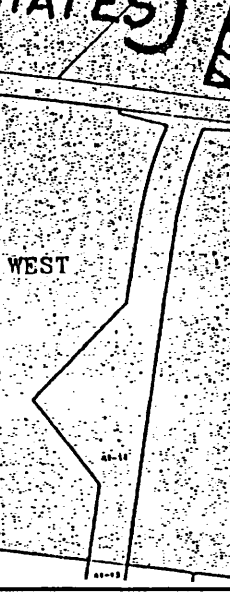
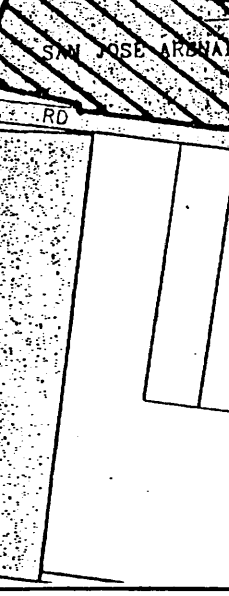
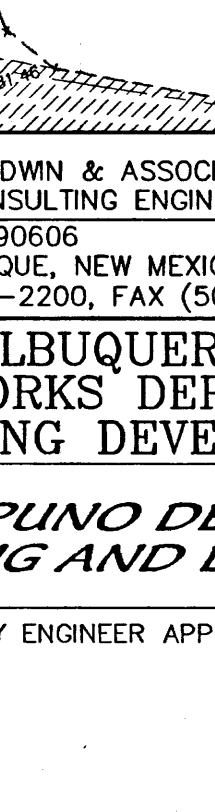
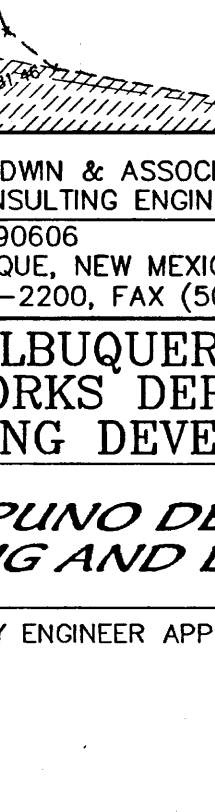
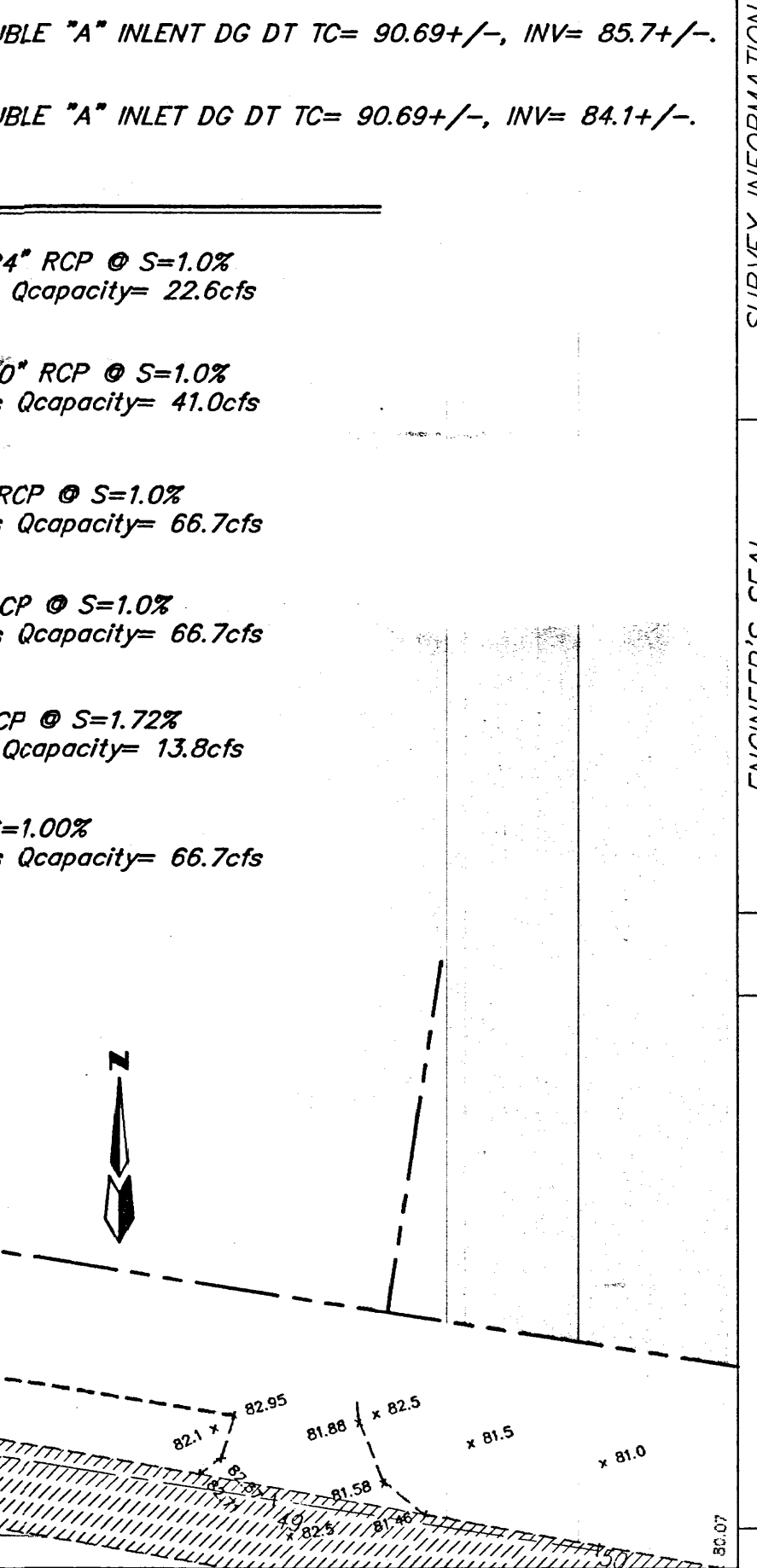


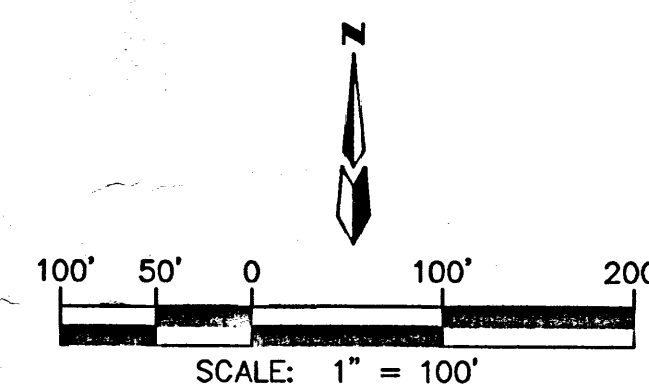
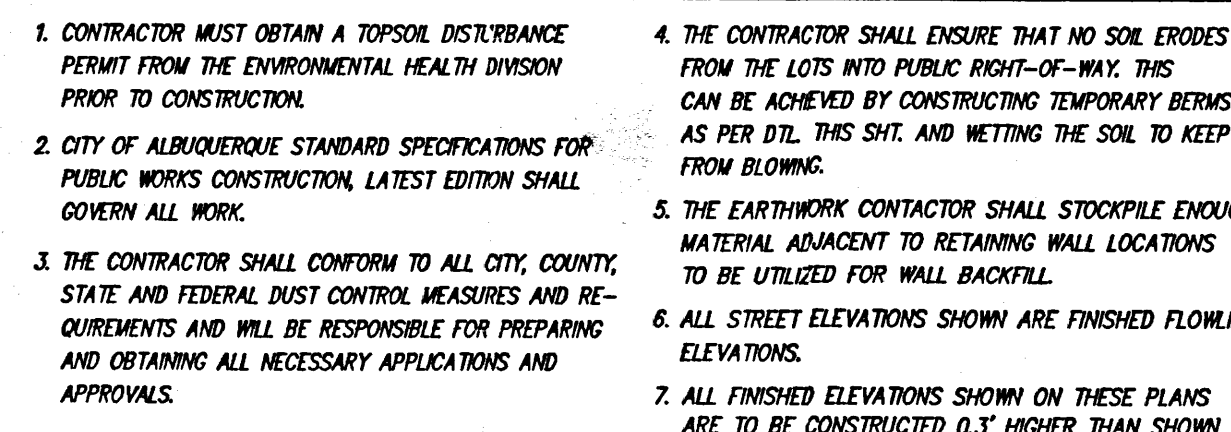


				AS BUILT INFORMATION	
				CONTRACTOR DATE DATE DATE DATE DATE DATE	
VICINITY MAP		ZONE MAP: M-10		BENCH MARKS	
				CONTRACTOR DATE DATE DATE DATE DATE DATE	
LEGAL DESCRIPTION TRACT 1-A SAN JOSE ARENAL		SURVEY INFORMATION		ENGINEER'S SEAL	
					
NOTES: ① 22+/- LF. 24" RCP @ S=1.0% $Q_m = 18.14 \text{ cfs}$ $Q_{capacity} = 22.6 \text{ cfs}$ $V_m = 5.8 \text{ fps}$ ② 82+/- LF. 30" RCP @ S=1.0% $Q_m = 36.28 \text{ cfs}$ $Q_{capacity} = 41.0 \text{ cfs}$ $V_m = 7.4 \text{ fps}$ ③ 162 LF. 36" RCP @ S=1.0% $Q_m = 54.42 \text{ cfs}$ $Q_{capacity} = 66.7 \text{ cfs}$ $V_m = 7.7 \text{ fps}$ ④ 50 LF. 36" RCP @ S=1.0% $Q_m = 58.37 \text{ cfs}$ $Q_{capacity} = 66.7 \text{ cfs}$ $V_m = 8.3 \text{ fps}$ ⑤ 12 LF. 18" RCP @ S=1.72% $Q_m = 3.95 \text{ cfs}$ $Q_{capacity} = 13.8 \text{ cfs}$ $V_m = 2.2 \text{ fps}$ ⑥ 36" RCP @ S=1.00% $Q_m = 58.37 \text{ cfs}$ $Q_{capacity} = 66.7 \text{ cfs}$ $V_m = 8.3 \text{ fps}$		FIELD NOTES		ENGINEER'S SEAL	
					
		REVISIONS		DESIGNED BY	
				DRAWN BY	
MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505) 828-2200, FAX (505) 797-9539		CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP		DATE	
				BY	
TITLE: PUNO DE TIERRA GRADING AND DRAINAGE PLAN		DESIGN REVIEW COMMITTEE		MO./DAY/YR.	
				DATE	
CITY PROJECT NO.		ZONE MAP NO.		SHEET	
				OF	

01 FLOW DEPTHS ARE TAKEN FROM PLATE 22.3 D-1 OF THE DPM AND REDUCED BY 3/4" TOR ROLL CURB TYPES TO ACCOUNT FOR THE DIFFERENCE IN CURB DEPRESSION. ALLOWABLE DEPTHS MAY NOT EXCEED CURB HEIGHTS WHICH ARE 0.33' FOR ROLL CURB AND GUTTER AND 0.67' FOR STANDARD CURB AND GUTTER.

02 ENERGY DEPTH IS CALCULATED AS FLOW DEPTH PLUS ENERGY HEAD. ALLOWABLE DEPTHS ARE 0.18' ABOVE TOP OF CURB, UNLESS THE STREET SECTION IS MODIFIED TO CONTAIN THE ADDITIONAL HEIGHT WITHIN THE RIGHT-OF-WAY.

03 SLOPE OF WATER FOR 10 YEAR FLOW IN ARENAL IS 11.75' ALLOWING 0.125' ACROSS FIRST 2' FROM CURB FACE (1.5' GUTTER) AND 0.195' RISE ACROSS THE NEXT 9.75' AT 2.0%. THIS MEETS DPM CRITERIA FOR ARTERIAL STREETS LEAVING MORE THAN ONE OF THE TWO LANES OPEN.



dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

	CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP									
	TITLE: <i>PUÑO DE TIERRA GRADING AND DRAINAGE PLAN</i>									

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
	M-10	4	4

SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
FIELD NOTES					
NO.	BY	DATE		CONTRACTOR	
				WORKS STARTED BY	DATE
				INSPECTORS FIELD	DATE
				FIELD PLASSE BY	DATE
				REVISIONS BY	DATE
				UNRECORDED BY	DATE
				MICRO-FILM INFORMATION	
				RECORDED BY	DATE
				NO.	

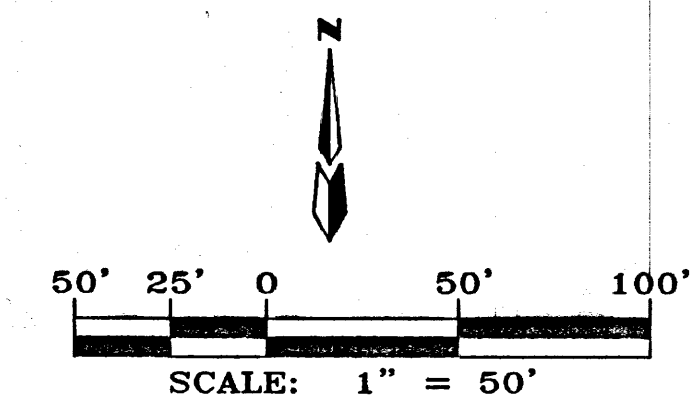
Professional Engineer Seal for James D. Higgins, No. 11674, State of New Mexico. The seal is circular with the text "JAMES D. HIGGINS" and "11674" in the center, and "REGISTERED PROFESSIONAL ENGINEER" and "NEW MEXICO" around the perimeter. A signature is written across the seal.

[illegible]

REQ'D VOLUME FOR PUNO DE TIERRA ESTATES=2.66 AC. FT.
REQ'D VOLUME FOR ARENAL RD. & TENARIO PARK=1.56 AC. FT.
REQUIRED TOTAL VOLUME=4.21 AC. FT.
VOLUME @ ELEV. 83.48 = 4.21 AC. FT.
VOLUME @ ELEV. 83.00 = 4.57 AC. FT.
FREEBOARD=0.50'

----- FLOOD WALL

① **EXISTING STORM SEWER MANHOLE**



	CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP
	TITLE: <i>ARENAL RESIDENTIAL GRADE AND DRAINAGE PLAN</i>

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF	
	M - 10	2	4	

SURVEY INFORMATION		FIELD NOTES		BENCH MARKS		AS BUILT INFORMATION					
NO.		BY	DATE								
				STATION IS A STANDARD C.O.A. BRASS CHP SET IN CONCRETE 0.20' ABOVE GROUND AND STAMPED "1-WIOT".		CONTRACTOR	WORK ORDER NO.	RECORDED BY	DATE		
				FROM THE INTERSECTION OF SOUTH COONS RD., ROSENDO GARCA RD. AND SAGE RD., TRAVEL WEST ON SAGE RD. APPROXIMATELY 1.7 MI. TO UNSET BLVD. STATION IS LOCATED 84.0' EAST FROM CENTERLINE OF UNSET AND 66.0' SOUTH FROM CENTERLINE OF SAGE.		INSPECTOR'S ACCEPTANCE BY	DATE	CORRECTED BY	DATE		
						VERIFICATION BY	DATE	MICRO-FILM INFORMATION			
						RECORDED BY	DATE				
						NO.					
				X=359 862.36 Y=1 479.654 54 Z=-5079.68							

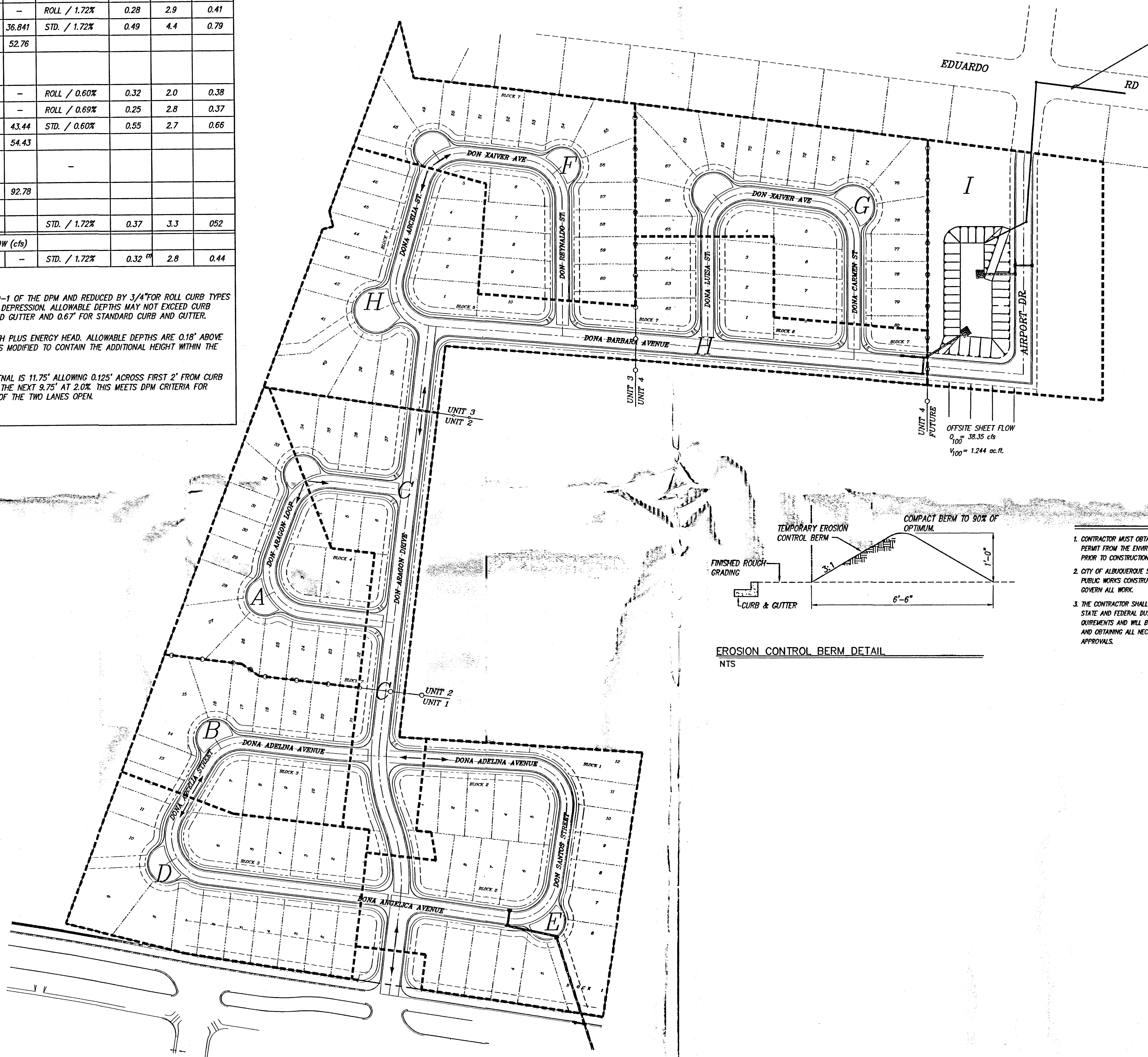
[illegible]

STREET FLOW SUMMARY TABLE								
BASIN NO.	AREA ACRES	% OF TOTAL	100 YEAR FLOW (cfs)	CURB TYPE / SLOPE %	FLOW DEPTH ft.	VELOCITY fps	ENERGY DEPTH ft.	
A	2.63	16.96	8.95	ROLL / 0.70%	0.32	2.0	0.38	
B	2.32	14.96	7.89	ROLL / 1.76%	0.25	2.8	0.37	
C	3.04	19.60	10.34	STD. / 0.50%	0.55	2.7	0.66	
D	2.84	18.31	9.66	ROLL / 1.72%	0.28	2.9	0.41	
D	NO.	NO.	36.841	STD. / 1.72%	0.49	4.4	0.79	
E	4.68	30.17	15.92					
TOTAL BASIN 220	15.51	100.00	52.76					
F	3.44	21.50	11.70	ROLL / 0.60%	0.32	2.0	0.38	
G	3.63	22.69	12.35	ROLL / 0.69%	0.25	2.8	0.37	
H	5.70	35.63	19.39	STD. / 0.60%	0.55	2.7	0.66	
I	3.23	20.19	10.99					
TOTAL BASIN 210	16.00	100.00	54.43					
211	15.13	100.00	38.35					
212	35.58	100.00	107.56					
221	2.40	100.00	12.8cfs	STD. / 1.72%	0.37	3.3	0.52	
10 YEAR FLOW (cfs)								
221	2.40	100.00	8.14	STD. / 1.72%	0.32	2.8	0.44	

¹⁰ FLOW DEPTHS ARE TAKEN FROM PLATE 22.3 D-1 OF THE DPM AND REDUCED BY 3/4" FOR ROLL CURB TYPES TO ACCOUNT FOR THE DIFFERENCE IN GUTTER DEPRESSION. ALLOWABLE DEPTHS MAY NOT EXCEED CURB HEIGHTS WHICH ARE 0.33' FOR ROLL CURB AND GUTTER AND 0.67' FOR STANDARD CURB AND GUTTER.

¹¹ ENERGY DEPTH IS CALCULATED AS FLOW DEPTH PLUS ENERGY HEAD. ALLOWABLE DEPTHS ARE 0.18' ABOVE TOP OF CURB, UNLESS THE STREET SECTION IS MODIFIED TO CONTAIN THE ADDITIONAL HEIGHT WITHIN THE RIGHT-OF-WAY.

¹² SPREAD OF WATER FOR 10 YEAR FLOW IN ARENAL IS 11.75' ALLOWING 0.125' ACROSS FIRST 2' FROM CURB FACE (1.5' GUTTER) AND 0.195' RISE ACROSS THE NEXT 9.75' AT 2.0% THIS MEETS DPM CRITERIA FOR ARTERIAL STREETS LEAVING MORE THAN ONE OF THE TWO LANES OPEN.

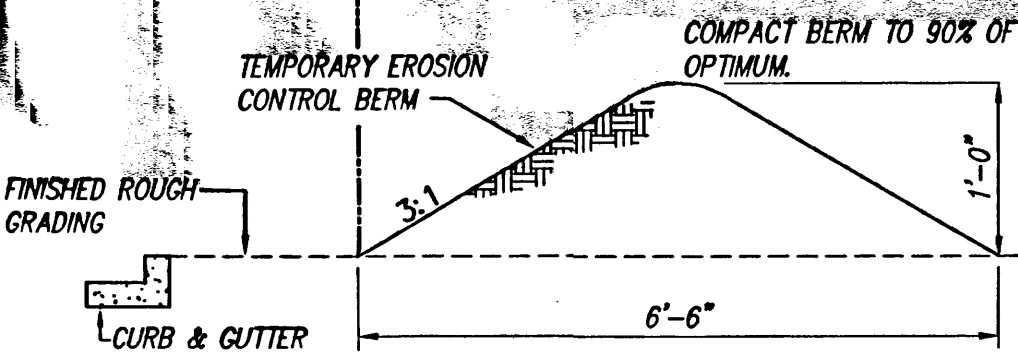


EDUARDO ROAD DRAINAGE CALCULATIONS
 EDUARDO AVERAGE STREET GRADE IS 2% AND OFF-SITE BASIN #212 CONTRIBUTES 108 cfs TO THE REACH BETWEEN COORS RD. AND AIRPORT DR. THE CAPACITY OF THE STREET WITH CURB AND GUTTER IS ONLY ABOUT 54 cfs WHERE THE DEPTH OF FLOW IS 0.55', THE VELOCITY IS ABOUT 5.5 fps AND THE TOTAL ENERGY DEPTH IS 1.00 FEET. SO THE TOP OF CURB WILL HAVE TO BE 0.33' BELOW THE RIGHT OF WAY ELEVATION IN ORDER TO CONTAIN THE JUMP DEPTH IN ACCORDANCE WITH CITY OF ALBUQUERQUE CRITERIA. A 30" PIPE IN EDUARDO CAN CARRY THE OTHER 54 cfs PROVIDED THAT A REGIONAL OFFSITE POND REDUCES THAT PEAK FLOW BEFORE IT IS DISCHARGED INTO THE ARENAL MAIN IRRIGATION CANAL. IN THE INTERIM 1 cfs WILL BE DISCHARGED FROM THIS DEVELOPMENT THROUGH THE 30" PIPE TO A TEMPORARY CONNECTION TO THE EXISTING INLETS AT THE INTERSECTION OF COORS.

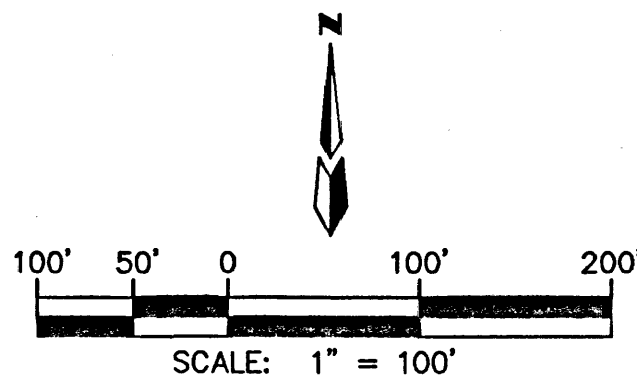
NORTH POND
 100 yr, 6hr VOLUME= 2.97 ac. ft. @ ELEV. 90.10
 100 yr, 10 day VOLUME= 3.88 ac. ft. @ ELEV. 91.83
 TOP OF POND VOLUME= 4.15 ac. ft. @ ELEV. 92.10
 TEMPORARY ON SITE RETENTION POND
 $V_{req'd} = 1.244 + 2.740 = 3.984$ ac.ft.

LEGEND
 --- DRAINAGE AREA BOUNDARY
 --- UNIT BOUNDARY
 I DRAINAGE AREA ID'S

- NOTES**
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 2. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
 3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DTL THIS SHT. AND NETTING THE SOIL TO KEEP IT FROM BLOWING.
 5. THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.
 6. ALL STREET ELEVATIONS SHOWN ARE FINISHED FLOWLINE ELEVATIONS.
 7. ALL FINISHED ELEVATIONS SHOWN ON THESE PLANS ARE TO BE CONSTRUCTED 0.3' HIGHER THAN SHOWN.



EROSION CONTROL BERM DETAIL
 NTS



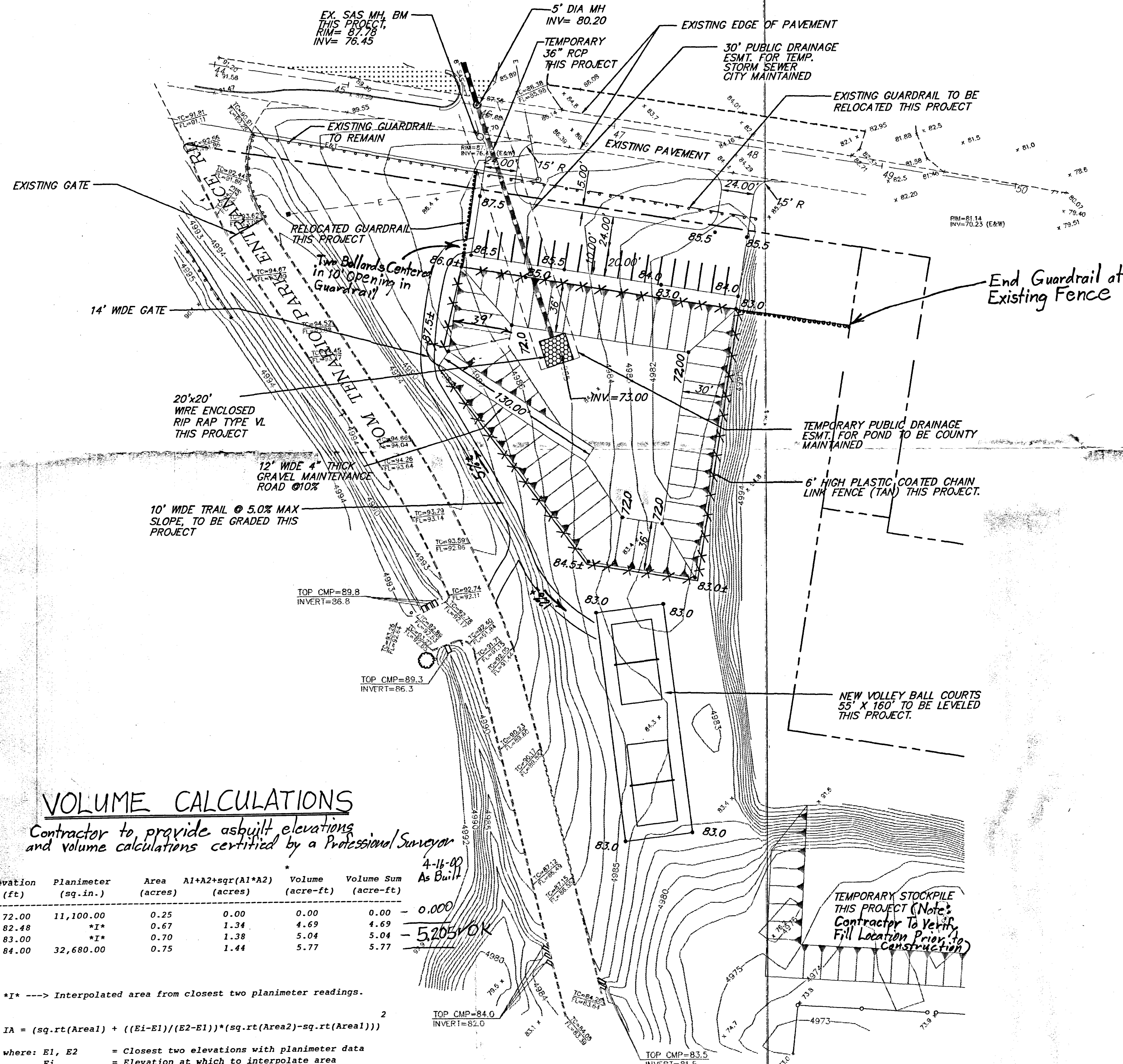
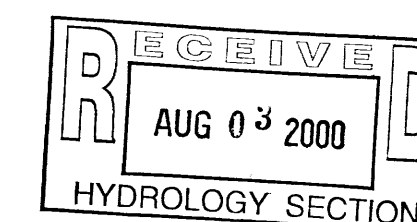
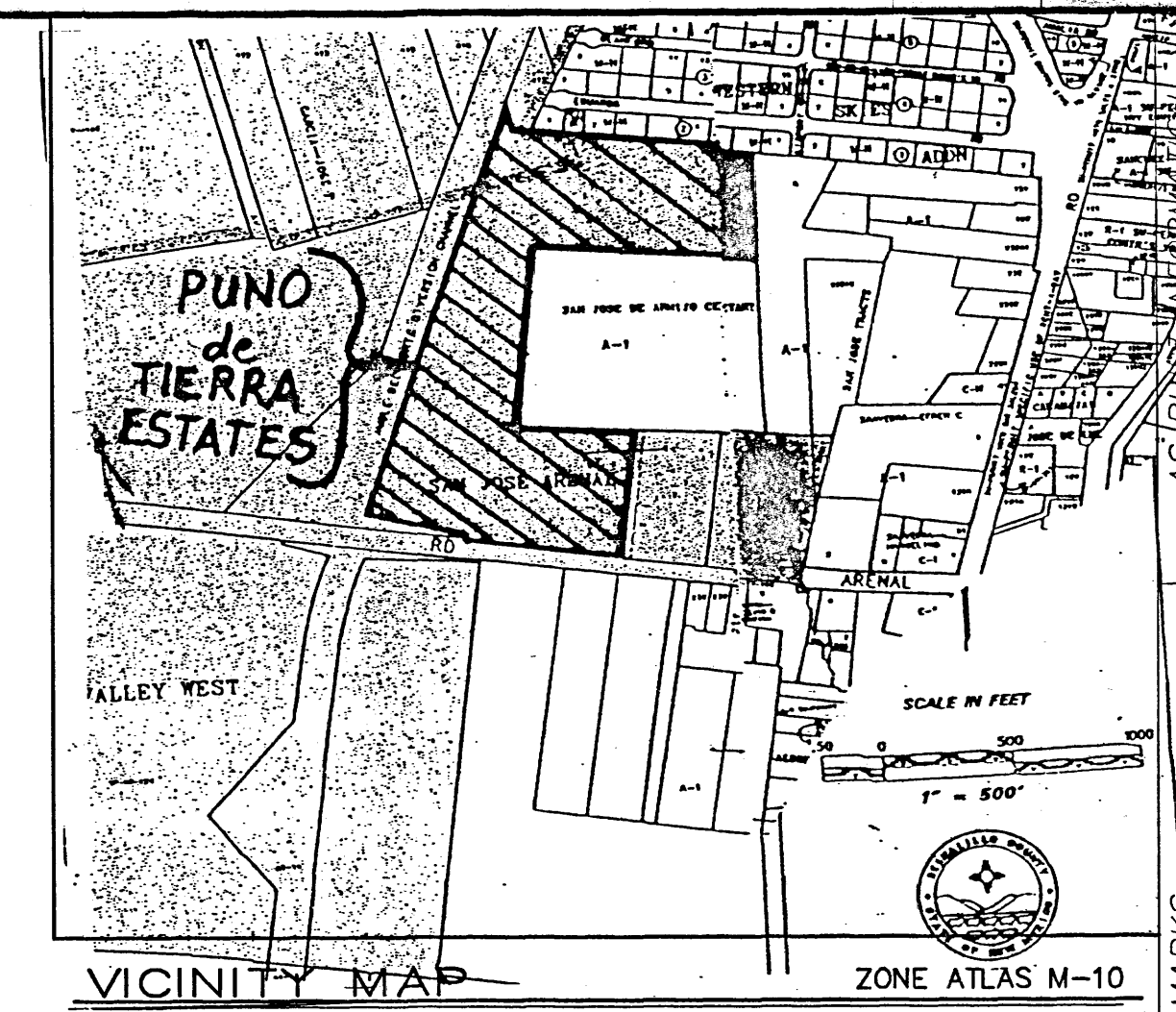
MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505) 828-2200, FAX (505) 797-9539	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	
TITLE: PUÑO DE TIERRA GRADING AND DRAINAGE PLAN	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
LAST DESIGN UPDATE	MO./DAY/YR. MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO. SHEET OF
	M - 10 4 4

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	WORK	NO.	DATE	NO.	DATE	NO.	DATE
STATED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
ACCEPTED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
FIELD	DATE	NO.	DATE	NO.	DATE	NO.	DATE
DRAWINGS	DATE	NO.	DATE	NO.	DATE	NO.	DATE
CORRECTED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
MICRO-FILM	DATE	NO.	DATE	NO.	DATE	NO.	DATE
RECORDED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
NO.		NO.		NO.		NO.	

6-4-98 M. Goodwin Sheet 4 of 4

NOTICE TO CONTRACTORS

1. CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS AMENDED THROUGH UPDATE 6, WILL BE REFERRED TO HEREIN AS THE "STANDARD SPECIFICATIONS".
2. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) AND DETERMINE LOCATION OF EXISTING UTILITIES.
3. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR THE SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITHOUT DELAY.
4. ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC., WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED AND RE-SET BY THE CONTRACTOR.
5. FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION CO-ORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION CO-ORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (768-2551) PRIOR TO OCCUPYING AN INTERSECTION. SEE SECTION 19 OF THE SPECIFICATIONS.
6. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY CONTRACTOR IN EXISTING OR NEW LOCATION AS INDICATED BY THIS SET.
7. THE CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
8. ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY REQUIRES 24 HOURS CONSTRUCTION.



LEGEND:

- EXISTING PAVEMENT
- EXISTING GUARDRAIL TO REMAIN
- EXISTING GUARDRAIL TO BE RELOCATED
- RELOCATED GUARDRAIL
- NEW STORM DRAIN LINE
- TRACT/LOT BOUNDARY
- RIGHT OF WAY
- EASEMENTS
- PROPERTY LINE
- HANDICAP RAMPS PER COA DWG #2418 THIS PROJECT.
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING OVERHEAD TELEPHONE LINE
- EXISTING POWER POLE
- EXISTING STORM SEWER MANHOLE

NOTES

1. 60' WIDE EMERGENCY OVERFLOW WEIR (THROUGH VOLLEYBALL COURTS).
 $Q_{max} = 58.37 cfs = 2.7 \times 60' \times h^{3/2}$
 $h = 0.51$ FEET
 $V = 1.92$ fps
2. 20,000cy ± EXCAVATION IS TO BE STOCKPILED ON ADJACENT PROPERTY AND MADE AVAILABLE FOR RESTORATION OF THE POND AT A LATER DATE.

TEMPORARY POND VOLUME CALCULATIONS

REQ'D VOLUME FOR PUNO DE TIERRA ESTATES=2.66 AC. FT.
 REQ'D VOLUME FOR ARENAL RD. & TENARIO PARK=1.56 AC. FT.
 REQUIRED TOTAL VOLUME=4.21 AC. FT.
 VOLUME @ ELEV. 83.48 = 4.69 AC. FT.
 VOLUME @ ELEV. 83.00 = 5.04 AC. FT.
 FREEBOARD=0.50'

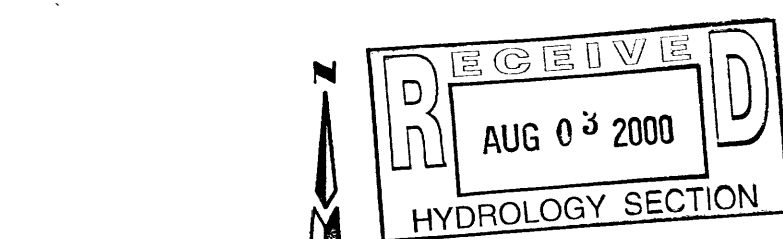
GRADING NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.

ENGINEER'S AS-BUILT CERTIFICATION

I, JAMES D. HUGHES, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE GRADING AND DRAINAGE IS COMPLETE IN SUBSTANTIAL COMPLIANCE WITH THIS APPROVED PLAN. AS-BUILT VOLUMES SHOWN IN VOLUME CALCULATION TABLE THIS SHEET ARE BASED ON AS-BUILT SURVEY PROVIDED BY RUSTY HUGG ON 4-16-00.

James D. Hughes
 JAMES D. HUGHES, PE
 7-21-00
 DATE



50' 25' 0 50' 100'
 SCALE: 1" = 50'

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP

TITLE: PUNO DE TIERRA ESTATES
 PLANS FOR BERNALILLO COUNTY
 CONSTRUCTION ON TENARIO PARK

APPROVED FOR CONSTRUCTION BERNALILLO
 COUNTY PUBLIC WORKS DEPT.
 COUNTY PARKS DEPT.

CITY PROJECT NO. ZONE MAP NO. SHEET OF
 M-10 1 2

VOLUME CALCULATIONS

Contractor to provide as-built elevations and volume calculations certified by a Professional Surveyor

Elevation (ft)	Planimeter (sq. in.)	Area (acres)	AI+A2+sq.(AI*A2) (acres)	Volume (acre-ft)	Volume Sum (acre-ft)
72.00	11,100.00	0.25	0.00	0.00	0.00
82.48	*I*	0.67	1.34	4.69	4.69
83.00	*I*	0.70	1.38	5.04	5.04
84.00	32,680.00	0.75	1.44	5.77	5.77

I ----> Interpolated area from closest two planimeter readings.

$$IA = (sq.\sqrt{Area1}) + ((E1-E2)/((E2-E1)) * (sq.\sqrt{Area2} - sq.\sqrt{Area1}))^2$$

where: E1, E2 = Closest two elevations with planimeter data
 E1 = Elevation at which to interpolate area
 Area1, Area2 = Areas computed for E1, E2, respectively
 IA = Interpolated area for E1

* Incremental volume computed by the Conic Method for Reservoir Volumes.

$$Volume = (1/3) * (EL2-EL1) * (Area1 + Area2 + sq.\sqrt{Area1*Area2})$$

where: EL1, EL2 = Lower and upper elevations of the increment
 Area1, Area2 = Areas computed for EL1, EL2, respectively
 Volume = Incremental volume between EL1 and EL2

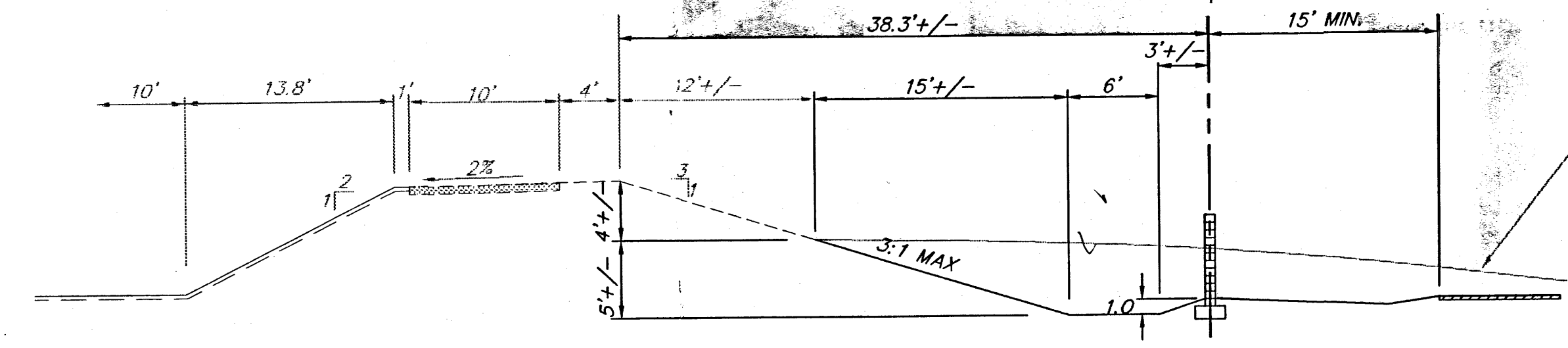
\\MSV12\lanen\grd-2.dwg Fri Feb 06 14:54:59 1998 KJS/dmg-a 828-2200

LEGEND:

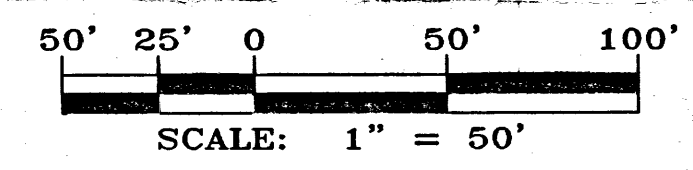
	ARTERIAL PAVEMENT		MOUNTABLE CURB & GUTTER
	TEMPORARY PAVEMENT		
	EXISTING PAVEMENT		NEW STORM DRAIN LINE
	NEW SIDEWALK CONSTRUCTED THIS PROJECT		TRACT/LOT BOUNDARY
	DEFERRED SIDEWALKS		RIGHT OF WAY
	NEW RETAINING WALLS OVER 18"		EASEMENTS
			PROPERTY LINE
			HANDICAP RAMPS PER COA DWG #2418 THIS PROJECT
			EXISTING OVERHEAD ELECTRIC LINE
			EXISTING OVERHEAD TELEPHONE LINE
			EXISTING POWER POLE
			EXISTING STORM SEWER MANHOLE

NOTE: 6' WIDE 1' DEEP SWALE. BOTTOM IS TO BE LEVEL AND 6" BELOW THE TOP OF FOOTING. A MINIMUM 6' WIDE TOP OF BERM SHALL BE LOCATED AT EACH STEP IN THE PERIMETER WALL FOOTER OR EVERY 150' WHICH EVER IS LESS. THE BERMS SHALL EACH BE A MINIMUM OF 12" ABOVE THE HIGHEST ADJACENT SWALE INVERT AND COMPACTED TO 95% DENSITY WITH OPTIMUM MOISTURE.

FUTURE 644LF 36" RCP @ 1.0%
Q_{max} = 58.3cfs Capacity = 66.7cfs.
V_{max} = 8.3fps. BY OTHERS, NOT PART OF THIS PROJECT.



SECTION D-D
NTS



dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

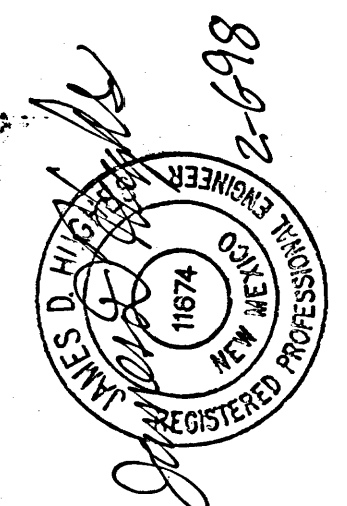
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: **ARENAL RESIDENTIAL GRADE PLAN - UNIT 2**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
	M - 10	2	4

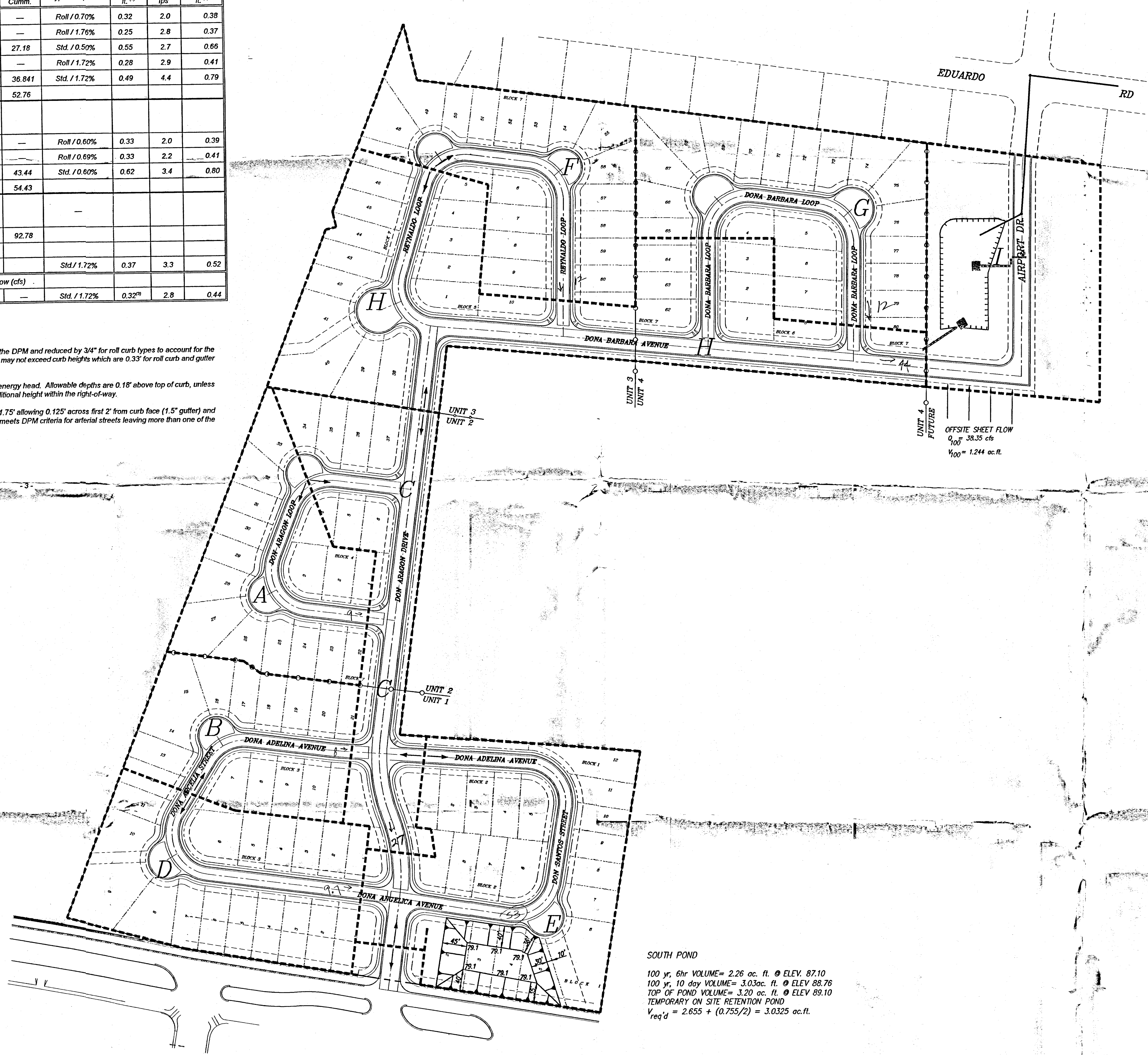
AS BUILT INFORMATION				BENCH MARKS				SURVEY INFORMATION				ENGINEER'S SEAL				REVISIONS			
CONTRACTOR	WORK	DATE						NO.	BY	DATE						NO.	DATE	BY	DATE
	INSPECTED BY	DATE																	
	ACCEPTANCE BY	DATE																	
	VERIFICATION BY	DATE																	
	DRAWINGS	DATE																	
	COORDINATED BY	DATE																	
	MICRO-FILM INFORMATION																		
	RECORDED BY	DATE																	
	NO.																		



NOTES

Basin No.	Area Acres	% of Total	100 Year Flow (cfs)		Curb Type / Slope %	Flow Depth ft. ⁽¹⁾	Velocity fps	Energy Depth ft. ⁽²⁾
			Increment.	Cumm.				
A	2.63	16.96	8.95	—	Roll / 0.70%	0.32	2.0	0.38
B	2.32	14.96	7.89	—	Roll / 1.76%	0.25	2.8	0.37
C	3.04	19.60	10.34	27.18	Std. / 0.50%	0.55	2.7	0.66
D	2.84	18.31	9.66	—	Roll / 1.72%	0.28	2.9	0.41
D				36.841	Std. / 1.72%	0.49	4.4	0.79
E	4.68	30.17	15.92	52.76				
TOTAL BASIN 220	15.51	100.00	52.76					
F	3.44	21.50	11.70	—	Roll / 0.60%	0.33	2.0	0.39
G	3.63	22.69	12.35	—	Roll / 0.69%	0.33	2.2	0.41
H	5.70	35.63	19.39	43.44	Std. / 0.60%	0.62	3.4	0.80
I	3.23	20.19	10.99	54.43				
TOTAL BASIN 210	16.00	100.00	54.43		—			
211	15.13	100.00	38.35	92.78				
212	35.58	100.00	107.56					
221	2.40	100.00	12.8cfs		Std. / 1.72%	0.37	3.3	0.52
			10 Year Flow (cfs)					
221	2.40	100.00	8.14	—	Std. / 1.72%	0.32 ^m	2.8	0.44

⁽²⁾ Spread of water for 10 year flow in Arenal is 11.75' allowing 0.125' across first 2' from curb face (1.5" gutter) and 0.195' rise across the next 9.75' at 2.0%. This meets DPM criteria for arterial streets leaving more than one of the two lanes open.

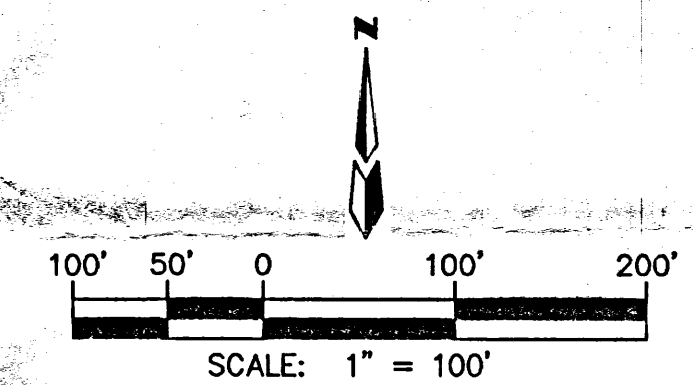


NORTH POND

100 yr, 6hr VOLUME= 2.97 ac. ft. @ ELEV. 90.10
100 yr 10 day VOLUME= 3.98 ac. ft. @ ELEV 91.83
TOP OF POND VOLUME= 4.15 ac. ft. @ ELEV 92.10
TEMPORARY ON SITE RETENTION POND
 $V_{req'd} = 1.244 + 2.740 = 3.984$ ac.ft.

SOUTH POND

100 yr, 6hr VOLUME= 2.26 ac. ft. @ ELEV. 87.10
100 yr, 10 day VOLUME= 3.03 ac. ft. @ ELEV 88.76
TOP OF POND VOLUME= 3.20 ac. ft. @ ELEV 89.10
TEMPORARY ON SITE RETENTION POND
 $V_{req'd} = 2.655 + (0.755/2) = 3.0325 \text{ ac.ft.}$



		MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS						DATE		DESIGNED BY		DRAWN BY		CHECKED BY					
		P.O. BOX 50606 ALBUQUERQUE, NEW MEXICO 87199 (505) 828-2200, FAX (505) 797-9539						NO.											
		CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP																	
TITLE:		<i>PUÑO DE TIERRA MASTER GRADING PLAN</i>																	
DESIGN REVIEW COMMITTEE				CITY ENGINEER APPROVAL				LAST DESIGN UPDATE		MO./DAY/YR.				MO./DAY/YR.					
CITY PROJECT NO.						ZONE MAP NO.						SHEET				OF			
#						#						#				#			

SURVEY INFORMATION		BENCH MARKS	AS BUILT INFORMATION	
NO.	FIELD NOTES		CONTRACTOR	
	DATE		WORK ORDER BY	DATE
			INSPECTOR'S ACCEPTANCE BY	DATE
			FIELD DRAWINGS	DATE
			REVISION BY	DATE
			CORRECTED BY	DATE
			MICRO-FILM INFORMATION	
			RECORDED BY	DATE
			NO.	

[illegible]

LEGEND:

 TEMPORARY PAVEMENT NEW SIDEWALK CONSTRUCTED
THIS PROJECT

DEFERRED SIDEWALKS

 NEW RETAINING WALLS
OVER 18"

NEW STORM DRAIN LINE

----- TRACT/LOT BOUNDARY

_____ RIGHT OF WAY
_____ EASEMENTS

----- *PROPERTY LINE*

DWG #2418 THIS PROJECT.

—T— EXISTING OVERHEAD TELEPHONE LINE

EXISTING POWER POLE

THE STATE OF TEXAS, COUNTY OF DALLAS, ss. I, _____, Clerk of the County Court, do hereby certify that the foregoing is a true and correct copy of the original as the same appears in the records of the County Court of Dallas County, Texas.

[illegible]

VICINITY MAP

ZONE MAP: M-10

LEGAL DESCRIPTION

TRACT 1-A SAN JOSE ARENAL.

- ① TYPE "A" INLET TC= 88.34+/-, INV=84.0+/-.
- ② TYPE DOUBLE "C" INLET TC= 87.99+/-, INV= 82.0+/-.
- ③ TYPE DOUBLE "A" INLET DG DT TC= 90.69+/-, INV= 86.4+/-.
- ④ TYPE DOUBLE "A" INLET DG DT TC= 90.69+/-, INV= 85.7+/-.
- ⑤ TYPE DOUBLE "A" INLET DG DT TC= 90.69+/-, INV= 84.1+/-.

NOTES:

- ① $22+/-\text{LF } 24^{\circ}\text{ RCP } @ S=1.0\%$
 $Q_m=18.14\text{cfs } Q_{capacity}= 22.6\text{cfs}$
 $V_m = 5.8\text{fps}$
- ② $82+/-\text{LF } 30^{\circ}\text{ RCP } @ S=1.0\%$
 $Q_m=36.28\text{cfs } Q_{capacity}= 41.0\text{cfs}$
 $V_m = 7.4\text{fps}$
- ③ $162\text{ LF } 36^{\circ}\text{ RCP } @ S=1.0\%$
 $Q_m=54.42\text{cfs } Q_{capacity}= 66.7\text{cfs}$
 $V_m = 7.7\text{fps}$
- ④ $50\text{ LF } 36^{\circ}\text{ RCP } @ S=1.0\%$
 $Q_m=58.37\text{cfs } Q_{capacity}= 66.7\text{cfs}$
 $V_m = 8.3\text{fps}$
- ⑤ $12\text{ LF } 18^{\circ}\text{ RCP } @ S=1.72\%$
 $Q = 3.95\text{cfs } Q_{capacity}= 13.8\text{cfs}$
 $V_m = 2.2\text{fps}$
- ⑥ $644\text{ LF } 36^{\circ}\text{ RCP } @ S=1.00\%$
 $Q = 58.37\text{cfs } Q_{capacity}= 66.7\text{cfs}$
 $V_m = 8.3\text{fps}$

<i>AS BUILT INFORMATION</i>	
CONTRACTOR	
WORK	
INSPECTED BY	DATE
RECEIVED BY	DATE
ACCEPTANCE BY	DATE
FIELD	
REGISTRATION BY	DATE
CORRECTED BY	DATE
<i>MICRO-FILM INFORMATION</i>	
RECORDED BY	DATE
10.	

MARKS	
Q	
S	
T	
E	
D	
E	
A	

[illegible][illegible][illegible]

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200. FAX (505) 797-9539

 CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: ***PUNO DE TIERRA
GRADING PLAN - UNIT 1***

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	DATE	MO./DAY/YR.

[illegible]

		LAST	
CITY PROJECT NO.	ZONE MAP NO.	SHEET	

	M-10	
--	------	--

SECTION B-B
NTS

SECTION C-C
NTS

50' 25' 0 50' 100'

SCALE: 1" = 50'

7121aren/GRD-1/2/06/98

\\DWGS\7121aren\GRD-1.dwg Fri Feb 06 14:53:34 1998 kjs/dmga- 828-2200

NOTE:
SWALE BOTTOM IS TO BE LEVEL
AND 6" ABOVE TOP OF FOOTING.
A MINIMUM 6" WIDE TOP OF BERM
SHALL BE LOCATED AT EACH STEP
IN THE PERIMETER WALL FOOTER
AND SHALL BE A MINIMUM OF 12"
ABOVE THE HIGHEST ADJACENT
SWALE INVERT.

LEGEND

PIPES

- ⑦ 16 LF. 18" RCP @ S=1.0%
 $Q_m = 7.10\text{cfs}$ $Q_{\text{capacity}} = 10.5\text{cfs}$
 $V_m = 4.0\text{fps}$
- ⑧ 16 LF. 18" RCP @ S=1.0%
 $Q_m = 7.10\text{cfs}$ $Q_{\text{capacity}} = 10.5\text{cfs}$
 $V_m = 4.0\text{fps}$
- ⑨ 16 LF. 24" RCP @ S=1.0%
 $Q_m = 13.05\text{cfs}$ $Q_{\text{capacity}} = 22.6\text{cfs}$
 $V_m = 4.0\text{fps}$

- ⑩ 16 LF. 24" RCP @ S=1.0%
 $Q_m = 13.05\text{cfs}$ $Q_{\text{capacity}} = 22.6\text{cfs}$
 $V_m = 4.0\text{fps}$
- ⑪ 28 LF. 24" RCP @ S=1.0%
 $Q_m = 17.10\text{cfs}$ $Q_{\text{capacity}} = 22.6\text{cfs}$
 $V_m = 5.4\text{fps}$
- ⑫ 55 LF. 30" RCP @ S=1.0%
 $Q_m = 34.20\text{cfs}$ $Q_{\text{capacity}} = 41.0\text{cfs}$
 $V_m = 7.0\text{fps}$

- ⑬ 28 LF. 24" RCP @ S=1.0%
 $Q_m = 19.56\text{cfs}$ $Q_{\text{capacity}} = 22.6\text{cfs}$
 $V_m = 6.2\text{fps}$
- ⑭ 12 LF. 30" RCP @ S=1.0%
 $Q_m = 39.12\text{cfs}$ $Q_{\text{capacity}} = 41.0\text{cfs}$
 $V_m = 8.0\text{fps}$
- ⑮ 55 LF. 36" RCP @ S=1.0%
 $Q_m = 58.68\text{cfs}$ $Q_{\text{capacity}} = 66.7\text{cfs}$
 $V_m = 8.3\text{fps}$

ARTERIAL PAVEMENT

TEMPORARY PAVEMENT

EXISTING PAVEMENT

NEW SIDEWALK CONSTRUCTED
THIS PROJECT

DEFERRED SIDEWALKS

NEW RETAINING WALLS
OVER 18"

MOUNTABLE CURB & GUTTER
STANDARD 8" CURB & GUTTER

NEW STORM DRAIN LINE

TRACT/LOT BOUNDARY

RIGHT OF WAY

EASEMENTS

PROPERTY LINE

HANDICAP RAMPS PER COA
DWG #2418 THIS PROJECT.

EXISTING OVERHEAD ELECTRIC LINE

EXISTING OVERHEAD TELEPHONE LINE

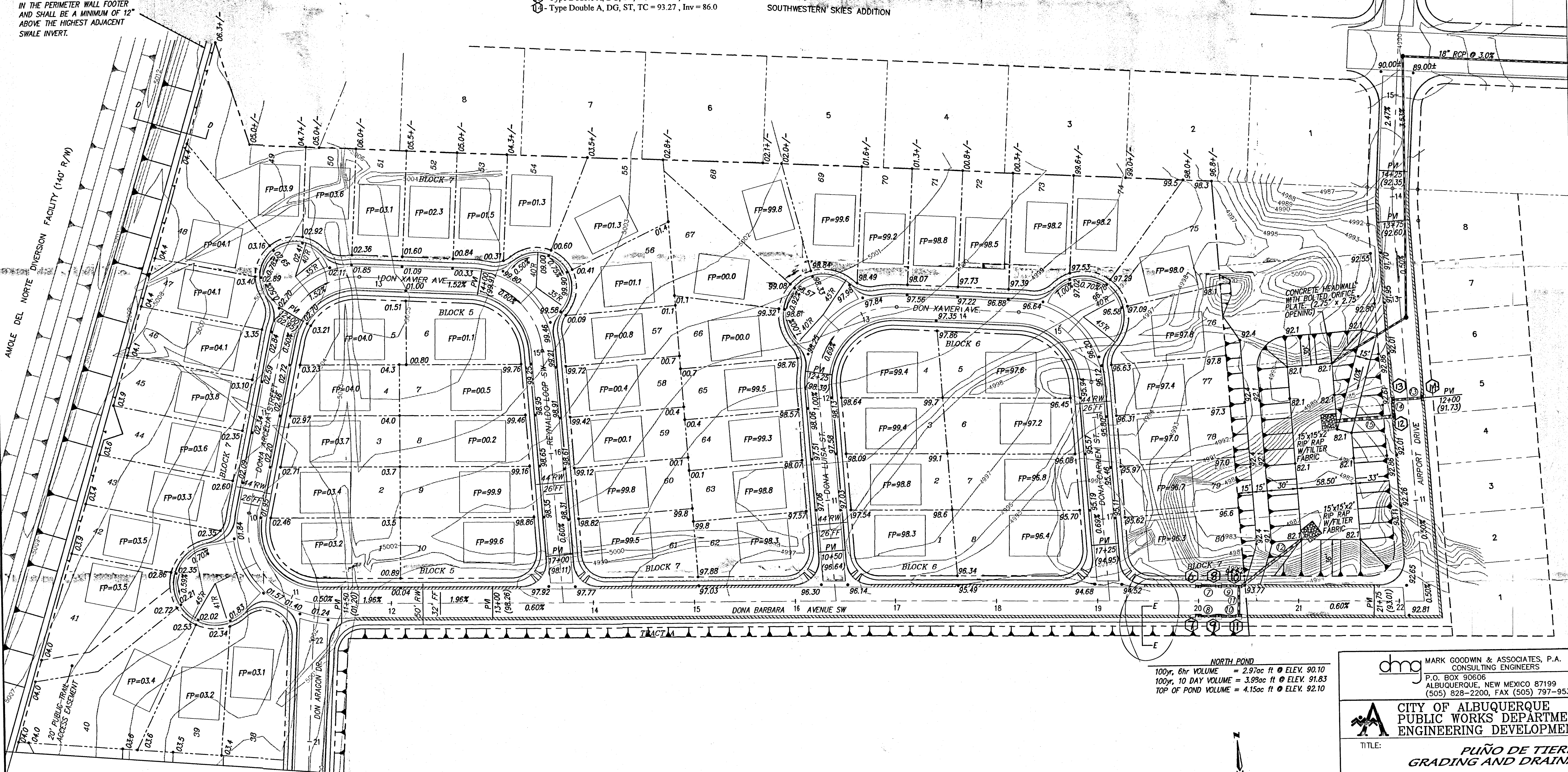
EXISTING POWER POLE

EXISTING STORM SEWER MANHOLE

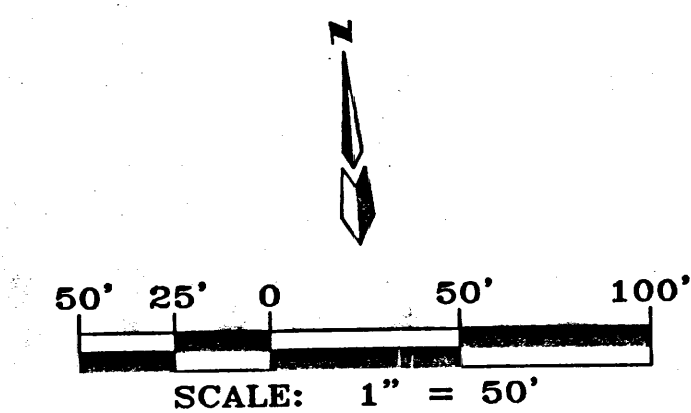
INLETS

- ① Type A, TC = 94.73, Inv = 90.00
② Type A, TC = 94.72, Inv = 90.00
③ Type C, TC = 94.61, Inv = 89.30
④ Type C, TC = 94.61, Inv = 89.30
⑤ Type C, TC = 94.49, Inv = 88.30
⑥ Type C, TC = 94.49, Inv = 89.10
⑦ Type Double A, DG, ST, TC = 93.33, Inv = 84.5
⑧ Type Double A, DG, ST, TC = 93.27, Inv = 85.2
⑨ Type Double A, DG, ST, TC = 93.27, Inv = 86.0

SOUTHWESTERN SKIES ADDITION



NORTH POND
100yr, 6hr VOLUME = 2.97ac ft @ ELEV. 90.10
100yr, 10 DAY VOLUME = 3.99ac ft @ ELEV. 91.83
TOP OF POND VOLUME = 4.15ac ft @ ELEV. 92.10



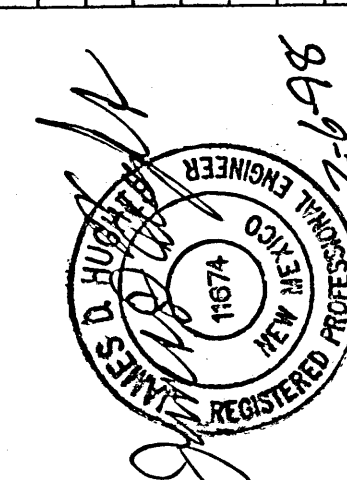
AS BUILT INFORMATION			
CONTRACTOR	DATE	NO.	BY

SURVEY INFORMATION			
FIELD NOTES	DATE	NO.	BY

ENGINEER'S SEAL			
NO.	DATE	REVISIONS	DESIGN

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP			
TITLE: PUÑO DE TIERRA GRADING AND DRAINAGE PLAN			
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	NO./DAY/YR.

CITY PROJECT NO.		ZONE MAP NO.		SHEET OF	
		M-10		3 4	



dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: PUÑO DE TIERRA
GRADING AND DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	NO./DAY/YR.	NO./DAY/YR.

CITY PROJECT NO.	ZONE MAP NO.	SHEET OF
	M-10	3 4

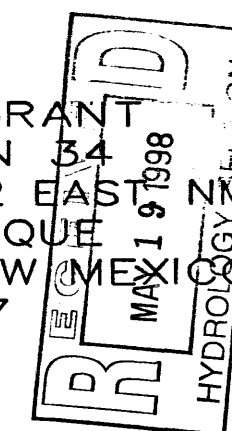
7121AREN/GRD-3/2-6-98

PRELIMINARY

PLAT OF Puño de Tierra Estates

UNITS 1,2,

within the
TOWN OF ATRISCO GRANT
PROJECTED SECTION 34
TOWNSHIP 10 NORTH, RANGE 2 EAST NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER 1997

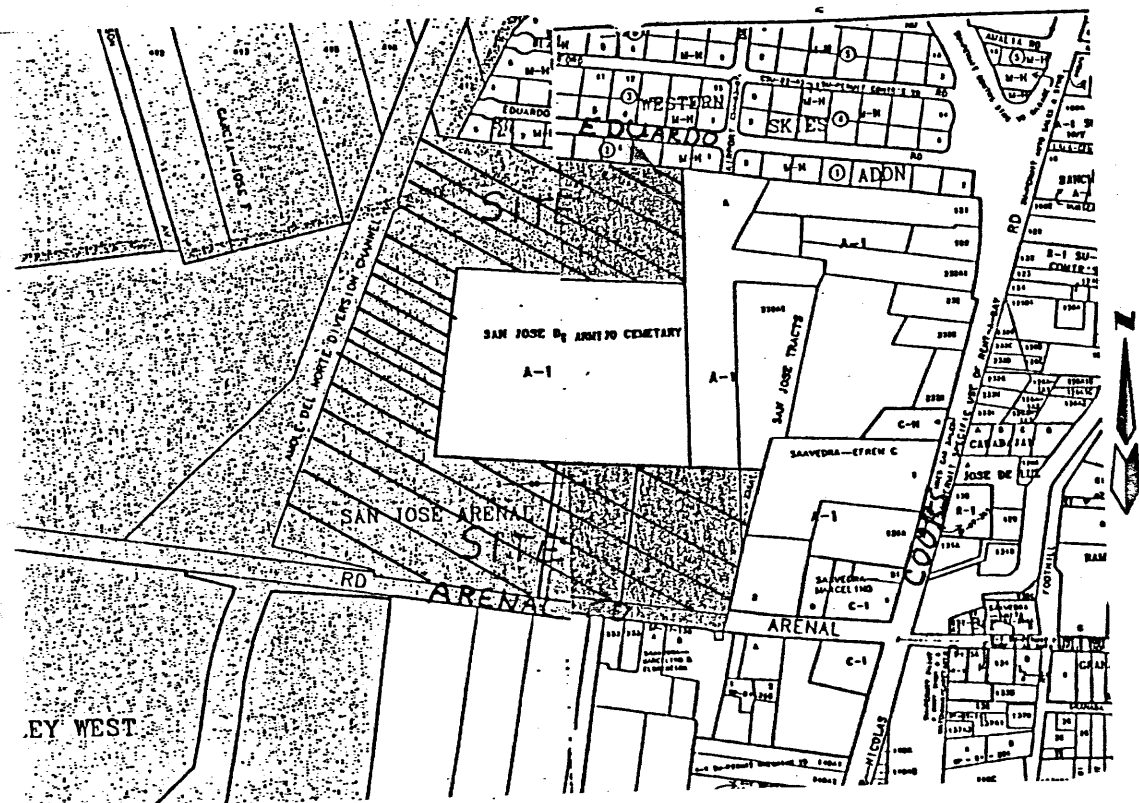


LEGAL DESCRIPTION (SEE SHEET 2)

NOTES (SEE SHEET 2)

PURPOSE OF PLAT

1. TO SUBDIVIDE THE EXISTING TRACT 1-A, SAN JOSE ARENAL, INTO 75 RESIDENTIAL LOTS AND ONE TRACT.
2. DEDICATE PUBLIC STREET RIGHT-OF-WAY, DRAINAGE, AND TRAIL ACCESS AS SHOWN HEREON.
3. GRANT PUBLIC UTILITY EASEMENTS AS SHOWN HEREON.



LOCATION MAP

ZONE ATLAS M-10
NOT TO SCALE

SUBDIVISION DATA

PLAT CASE NOS. DRB. 97-498 S V.
GROSS ACREAGE 28.2670
ZONE ATLAS NO. M10
NO. OF EXISTING TRACTS/LOTS 1 TRACT
NO. OF TRACTS/LOTS CREATED 75 LOTS, 1 TRACTS
NO. OF TRACTS/LOTS ELIMINATED 1 TRACT
MILES OF FULL WIDTH STREETS CREATED 0.66
AREA DEDICATED TO THE CITY OF ALBUQUERQUE 4.1349 AC

DATE OF SURVEY NOVEMBER 12, 1997
UTILITY CONTROL LOCATION SYSTEM LOG NUMBER: 97112415010414

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets and public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

Barbara Page

BARBARA PAGE, PRESIDENT & C.E.O., WESTLAND DEVELOPMENT CO., INC.

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO }
COUNTY OF BERNALILLO } ss

This instrument was acknowledged before me on JANUARY 21, 1998

Janice Blair
NOTARY PUBLIC

8/5/2001
MY COMMISSION EXPIRES

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions effective December 25, 1991 and February 2, 1994), and is true and correct to the best of my knowledge and belief."



TIMOTHY ALDRICH, P.S. No. 7719

02-06-98
DATE

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque Subdivision Ordinance, Article XI of Chapter 7 of the Revised Ordinances of Albuquerque, New Mexico.

William C. Lee
City Surveyor, City of Albuquerque, N.M.

020698
Date

DWG: 7121PLT1	Drawn: BJG	Checked: ALS	Sheet 1 of 1
Scale: 1"=50'	Date: 12-18-97	Job: 97121	

LEGAL DESCRIPTION

A tract of land situate with the Town of Atrisco Grant, projected Section 34, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 1-A, SAN JOSE ARENAL as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on May 1, 1997 in Volume 97C, Folio 131 and being more particularly described as follows:

BEGINNING at the most northerly point on the herein described tract, said point being on the westerly line of the REMAINDER OF TRACT 417, UNIT 3, TOWN OF ATRISCO GRANT as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 11, 1976 in Volume B11, Folio 170 and further being on the easterly right-of-way line of the Amole Del Norte Diversion Facility from whence the Albuquerque Control Survey Monument "1-M10" bears N 83°18'58" W, 2709.44 feet;

THENCE leaving said easterly right-of-way line S 13°36'30" E, 105.71 feet along a line common with the westerly line of said REMAINDER OF TRACT 417 to a point;

THENCE S 82°48'50" E, 954.29 feet along a line common with the southerly line of SOUTHWESTERN SKIES ADDITION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on January 7, 1955 in Book D1, Page 132, to the northeast corner, said point being common with the northwest corner of TRACT A, SAN JOSE TRACTS as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 24, 1990 in Volume 90C, Folio 229;

THENCE S 00°12'19" W, 449.95 feet along a line common with the west line of said TRACT A to a point, said point being common with the northeast corner of SAN JOSE DE ARMIJO CEMETERY as the same is shown and designated in said deed filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 20, 1985 in Book D250A, Page 814;

THENCE N 85°04'59" W, 893.35 feet along a line common with the north line of said SAN JOSE DE ARMIJO CEMETERY to a point, said point being common with the northwest corner of said SAN JOSE DE ARMIJO CEMETERY;

THENCE S 07°04'32" W, 719.91 feet along a line common with the west line of said SAN JOSE DE ARMIJO CEMETERY to a point, said point being common with the southwest corner of said SAN JOSE DE ARMIJO CEMETERY;

THENCE S 85°48'19" E, 448.69 feet along a line common with the south line of said SAN JOSE DE ARMIJO CEMETERY to a point, said point being common with the northwest corner of TRACT 2-A, SAN JOSE ARENAL as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on May 1, 1997 in Volume 97C, Folio 131;

THENCE S 08°49'52" W, 487.22 feet along a line common with the west line of said TRACT 2-A to the southeast corner, said point being common with the southwest corner of said TRACT 2-A, and further being on the northerly right-of-way line of Arenal Road S.W.;

THENCE along said northerly right-of-way line N 81°01'13" W, 782.51 feet to a point;

THENCE continuing N 75°35'47" W, 225.89 feet to the southwest corner, said point being on the easterly right-of-way line of said AMOLE DEL NORTE DIVERSION FACILITY;

THENCE leaving said northerly right-of-way line along said easterly right-of-way line N 20°52'33" E, 1355.33 feet to a point, said point being on the south line of the REMAINDER OF TRACT 415, UNIT 3, TOWN OF ATRISCO GRANT as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 11, 1976 in Volume B11, Folio 170;

THENCE leaving said easterly right-of-way line N 76°23'23" E, 19.93 feet along a line common with the south line of said REMAINDER OF TRACT 415 to a point, said point being common with the southeast corner of said TRACT 415;

THENCE N 13°37'02" W, 29.01 feet along a line common with the east line of said REMAINDER OF TRACT 415 to a point, said point being on said easterly right-of-way line of said AMOLE DEL NORTE DIVERSION FACILITY;

THENCE along said easterly right-of-way line N 20°52'33" E, 370.97 feet to the point of beginning and containing 28.2670 acres more or less.

NOTES:

1. A 10' Private Drainage Easement is centered on all common side lot lines and on rear lot lines where they abut the side yard of the adjacent lot.
2. City of Albuquerque Water and Sanitary Sewer Service to: Puño de Tierra Estates must be verified and coordinated with the Public Works Department, City of Albuquerque.

SURVEYOR'S NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary are the following plats of record entitled:

"SAN JOSE TRACTS" (09-24-90, 90C-229)

"SAN JOSE DE ARMIJO CEMETERY" (09-20-85, BK. D250-A, PG. 814)

"SAN JOSE ARENAL" (10-16-90, 90C-254)

"AMOLE DEL NORTE DIVERSION FACILITY" (09-11-80, C17-66)

"TOWN OF ATRISCO GRANT" (08-11-76, B11-170)

"SOUTHWESTERN SKIES ADDITION" (01-07-55, D1-132)

"SAN JOSE ARENAL" (05-01-97, 97C-131)

all being records of Bernalillo County, New Mexico.

5. Field Survey performed on November 12, 1997.

6. Title Report: None provided.

7. Address of Property: None provided.

8. City of Albuquerque, New Mexico Zone: SU-1

9. Flood Zone Designation: ZONE X as shown on Panel 337 of 825, Flood Insurance Rate Map, Bernalillo County, New Mexico dated September 20, 1996.

10. Utility Council Location System Log No: 97112415010414

11. These tracts are affected by a RIGHT-OF-WAY EASEMENT to American Telephone and Telegraph Company, dated December 13, 1929, recorded in Book 112, Page 290, said easement amended by a MODIFICATION EASEMENT, dated January 31, 1973, recorded in Book Misc., 298, Page 635, said easement assigned to the Mountain States Telephone and Telegraph Company by ASSIGNMENT dated December 26, 1974, recorded in Book Misc. 575, Page 928 all being records of Bernalillo County, New Mexico.

PLAT OF
Puño de Tierra
Estates
Units 1 and 2
within the
TOWN OF ATRISCO GRANT
PROJECTED SECTION 34
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER 1997

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of :

1. The PNM Electric Services Division for the installation, maintenance and service of underground electrical lines, communication lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.

2. The PNM Gas Services Division for installation, maintenance and services of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.

3. U.S. West for installation, maintenance and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.

4. Jones Intercable for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.

5. The New Mexico Utilities, Inc., for the installation, maintenance and service of water and sanitary sewer lines and any other equipment, fixtures, structures and related facilities reasonably necessary to provide water and sewer services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

DWG:	7121Pla2	Drawn:	DBC	Checked:	ALS	Sheet	2 of
Scale:	1"=50'	Date:	5-19-98	Job:	97121		

CURVE DATA

CURVE DATA

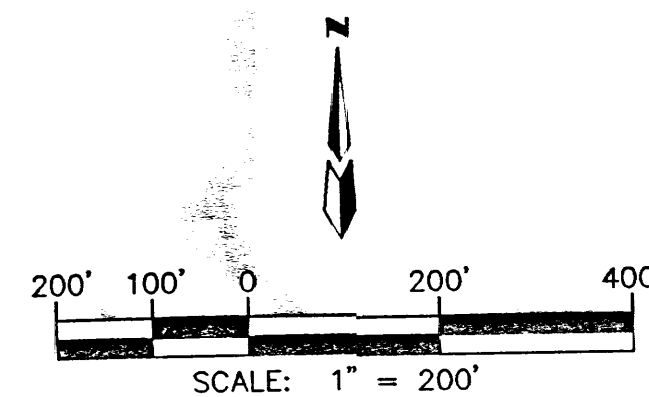
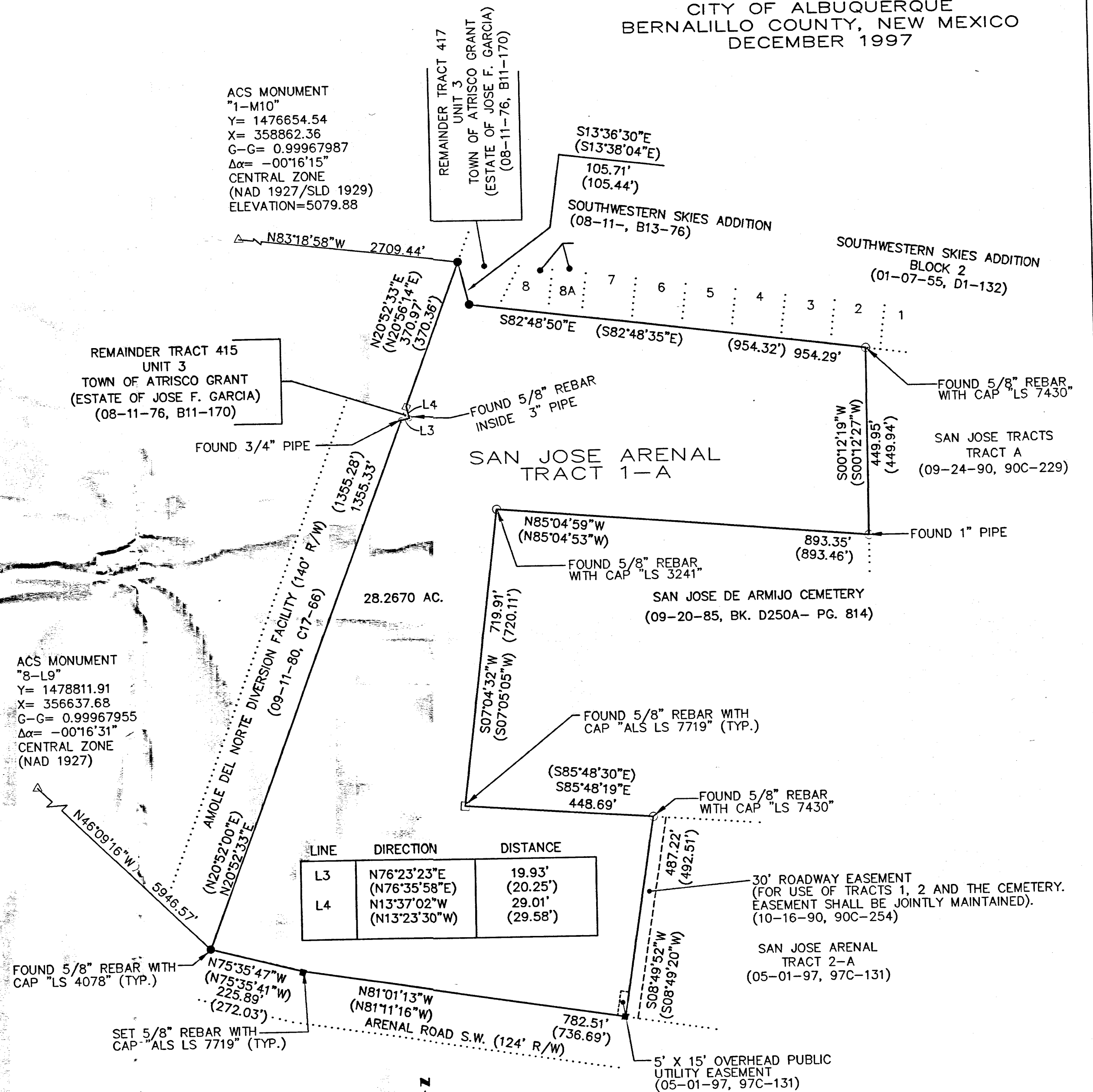
PLAT OF
Puño de Tierra
Estates
Units 1 and 2

within the
TOWN OF ATRISCO GRANT
PROJECTED SECTION 34
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER 1997

NO.	RADIUS	DELTA	LENGTH	CHORD BEARING & DISTANCE
1	30.00'	91° 54' 15"	48.12'	N 53° 01' 39" E 43.13'
2	30.00'	88° 05' 45"	46.13'	N 36° 58' 21" W 41.72'
3	25.00'	91° 45' 20"	40.04'	N 52° 57' 12" E 35.89'
4	25.00'	88° 14' 40"	38.50'	N 37° 02' 48" W 34.81'
5	25.00'	101° 35' 22"	44.33'	N 48° 02' 11" E 38.74'
6	25.00'	81° 44' 59"	35.67'	N 40° 17' 39" W 32.72'
7	53.00'	113° 55' 26"	105.38'	N 25° 57' 45" W 88.86'
8	75.00'	113° 55' 26"	149.13'	N 25° 57' 45" W 125.75'
9	75.00'	60° 46' 11"	79.55'	N 00° 36' 52" E 75.87'
10	75.00'	53° 09' 15"	69.58'	N 59° 41' 13" W 69.22'
11	97.00'	21° 08' 16"	35.79'	N 72° 21' 20" W 35.58'
12	25.00'	52° 17' 41"	22.82'	N 87° 56' 02" W 22.03'
13	40.00'	168° 37' 20"	117.72'	N 29° 46' 13" W 79.61'
14	25.00'	52° 17' 41"	22.82'	N 28° 23' 37" E 22.03'
15	97.00'	28° 45' 11"	48.68'	N 16° 37' 22" E 48.17'
16	97.00'	22° 30' 19"	38.10'	N 19° 44' 48" E 37.86'
17	97.00'	6° 14' 52"	10.58'	N 05° 22' 12" E 10.57'
18	40.00'	31° 07' 06"	21.72'	N 38° 58' 54" E 21.46'
19	40.00'	29° 28' 53"	20.58'	N 08° 40' 54" E 20.36'
20	40.00'	45° 40' 10"	31.88'	N 28° 53' 38" W 31.05'
21	40.00'	62° 21' 10"	43.53'	N 82° 54' 18" W 41.41'
22	25.00'	13° 50' 24"	6.04'	N 72° 50' 20" E 6.02'
23	25.00'	38° 27' 16"	16.78'	N 81° 00' 50" W 16.47'
24	97.00'	20° 17' 22"	34.35'	N 71° 55' 53" W 34.17'
25	97.00'	0° 50' 54"	1.44'	N 82° 30' 01" W 1.44'
26	53.00'	66° 04' 34"	61.12'	N 64° 02' 15" E 57.79'
27	75.00'	66° 04' 34"	86.49'	N 64° 02' 15" E 81.78'
28	75.00'	21° 43' 40"	28.44'	N 44° 56' 50" E 36.16'
29	75.00'	34° 30' 08"	45.16'	N 77° 59' 07" E 49.06'
30	97.00'	6° 09' 50"	10.44'	N 86° 00' 23" W 10.43'
31	25.00'	52° 17' 41"	22.82'	N 62° 56' 28" W 22.03'
32	40.00'	168° 17' 16"	117.49'	N 59° 03' 44" E 79.58'
33	25.00'	56° 04' 51"	24.47'	N 02° 57' 32" E 23.50'
34	25.00'	19° 44' 22"	8.61'	N 21° 07' 47" E 8.57'
35	25.00'	36° 20' 29"	15.86'	N 06° 54' 39" W 15.59'
36	40.00'	53° 21' 04"	37.25'	N 01° 35' 38" E 35.91'
37	40.00'	43° 36' 02"	30.44'	N 50° 04' 11" E 29.71'
38	40.00'	50° 19' 43"	35.14'	N 82° 57' 56" W 34.02'
39	40.00'	21° 00' 27"	14.67'	N 47° 17' 51" W 14.58'
40	278.00'	1° 07' 08"	5.43'	N 83° 29' 02" W 5.43'
41	278.00'	2° 14' 57"	10.91'	N 85° 10' 15" W 10.91'
42	278.00'	3° 22' 05"	16.34'	N 84° 36' 31" W 16.34'
43	300.00'	3° 22' 05"	17.64'	N 84° 36' 31" W 17.63'
44	322.00'	3° 22' 05"	18.93'	N 84° 36' 31" W 18.93'
45	322.00'	0° 57' 58"	5.43'	N 83° 24' 27" W 5.43'
46	322.00'	2° 24' 08"	13.50'	N 85° 05' 30" W 13.50'
47	25.00'	80° 24' 32"	35.08'	N 46° 05' 17" W 32.28'
48	25.00'	86° 37' 55"	37.80'	N 50° 23' 29" E 34.30'
50	25.00'	103° 29' 21"	45.16'	N 41° 57' 46" E 39.26'
51	53.00'	95° 07' 25"	87.99'	N 38° 43' 51" W 78.23'
52	75.00'	95° 07' 25"	124.52'	N 38° 43' 51" W 110.70'
53	97.00'	95° 07' 25"	161.04'	N 38° 43' 51" W 143.17'
54	97.00'	53° 05' 34"	89.88'	N 59° 44' 46" W 86.70'
55	97.00'	33° 10' 05"	56.15'	N 16° 36' 56" W 55.37'
56	97.00'	8° 51' 46"	15.00'	N 04° 23' 59" E 14.99'
57	53.00'	90° 00' 00"	83.25'	N 53° 49' 52" E 74.95'
58	75.00'	90° 00' 00"	117.81'	N 53° 49' 52" E 106.07'
59	75.00'	45° 00' 00"	58.90'	N 31° 19' 52" E 57.40'
60	75.00'	45° 00' 00"	58.90'	N 76° 19' 52" E 57.40'
61	97.00'	12° 59' 01"	21.98'	N 87° 39' 38" W 21.93'
62	25.00'	52° 17' 41"	22.82'	N 68° 00' 18" W 22.03'
63	40.00'	168° 37' 20"	117.72'	N 53° 49' 52" E 79.61'
64	25.00'	52° 17' 41"	22.82'	N 04° 19' 58" W 22.03'
65	97.00'	12° 59' 01"	21.98'	N 15° 19' 22" E 21.93'
66	97.00'	0° 45' 49"	1.29'	N 09° 12' 46" E 1.29'
67	97.00'	12° 13' 12"	20.69'	N 15° 42' 17" E 20.65'
68	40.00'	28° 48' 02"	20.11'	N 16° 04' 47" W 19.90'
69	40.00'	91° 35' 19"	63.94'	N 44° 06' 53" E 57.35'
70	40.00'	48° 13' 59"	33.67'	N 65° 58' 28" W 32.69'
71	25.00'	13° 54' 21"	6.07'	N 48° 48' 39" W 6.05'
72	25.00'	90° 00' 00"	39.27'	N 37° 55' 28" W 35.36'
73	25.00'	90° 00' 00"	39.27'	N 52° 04' 32" E 35.36'
74	53.00'	103° 47' 58"	96.02'	N 31° 01' 29" W 83.41'
75	75.00'	103° 47' 58"	135.87'	N 31° 01' 29" W 118.04'
76	75.00'	53° 55' 34"	70.59'	N 55° 57' 41" W 68.01'
77	75.00'	49° 52' 24"	65.28'	N 04° 03' 42" W 63.24'
78	97.00'	18° 01' 22"	30.51'	N 11° 51' 49" E 30.39'
79	25.00'	50° 13' 46"	21.92'	N 27° 58' 01" E 21.22'
80	40.00'	164° 09' 35"	114.61'	N 28° 59' 54" W 79.24'
81	25.00'	50° 13' 46"	21.92'	N 85° 57' 49" W 21.22'
82	97.00'	22° 04' 32"	37.37'	N 71° 53' 12" W 37.14'
83	97.00'	12° 23' 24"	20.98'	N 76° 43' 46" W 20.94'
84	97.00'	9° 41' 08"	16.40'	N 65° 41' 30" W 16.38'
85	40.00'	19° 56' 59"	13.93'	N 78° 53' 48" E 13.86'
86	40.00'	45° 25' 23"	31.71'	N 68° 25' 00" W 30.89'
87	40.00'	42° 24' 56"	29.61'	N 24° 29' 51" W 28.94'
88	40.00'	56° 22' 16"	39.35'	N 24° 53' 45" E 37.79'
89	25.00'	6° 52' 53"	3.00'	N 49° 38' 27" E 3.00'
90	25.00'	43° 20' 53"	18.91'	N 24° 31' 34" E 18.47'

NO.	RADIUS	DELTA	LENGTH	CHORD BEARING & DISTANCE
91	53.00'	76° 12' 02"	70.49'	N 58° 58' 31" E 65.41'
92	75.00'	76° 12' 02"	99.75'	N 58° 58' 31" E 92.56'
93	75.00'	40° 56' 05"	53.58'	N 41° 20' 32" E 52.45'
94	75.00'	35° 15' 57"	46.16'	N 79° 26' 33" E 45.44'
95	97.00'	3° 07' 26"	5.29'	N 84° 29' 11" E 5.29'
96	25.00'	54° 47' 03"	23.90'	N 58° 39' 22" E 23.00'
97	40.00'	173° 51' 09"	121.37'	N 61° 48' 35" E 79.88'
98	25.00'	54° 47' 03"	23.90'	N 02° 16' 32" E 23.00'
99	97.00'	8° 14' 33"	14.89'	N 25° 16' 17" E 14.87'
100	97.00'	2° 48' 59"	4.77'	N 22° 16' 59" E 4.77'
101	97.00'	5° 58' 35"	10.12'	N 26° 40' 46" E 10.11'
102	40.00'	30° 34' 31"	21.35'	N 09° 49' 44" W 21.09'
103	40.00'	63° 28' 04"	44.31'	N 37° 11' 34" E 42.08'
104	40.00'	48° 13' 27"	33.67'	N 86° 57' 40" W 32.68'
105	40.00'	31° 35' 06"	22.05'	N 47° 03' 24" W 21.77'
106	25.00'	90° 00' 00"	39.27'	N 37° 55' 28" W 35.36'
107	25.00'	90° 00' 00"	39.27'	N 52° 04' 32" E 35.36'
196	25.00'	38° 23' 19"	16.75'	N 74° 57' 29" W 16.44'
197	300.00'	28° 15' 10"	147.93'	N 07° 03' 03" W 146.44'
198	325.00'	21° 45' 28"	123.42'	N 10° 17' 54" W 122.68'
199	275.00'	18° 17' 49"	87.82'	N 12° 01' 43" W 87.45'
200	275.00'	15° 30' 19"	74.42'	N 10° 37' 59" W 74.19'
201	275.00'	2° 47' 30"	13.40'	N 19° 46' 53" W 13.40'
202	325.00'	16° 25' 21"	93.15'	N 07° 37' 50" W 92.83'
203	325.00'	5° 20' 07"	30.26'	N 18° 30' 34" W 30.25'
204	325.00'	15° 17' 36"	86.75'	N 13° 31' 50" W 86.49'
205	300.00'	22° 43' 22"	118.98'	N 09° 48' 57" W 118.20'
206	275.00'	11° 23' 43"	54.69'	N 15° 28' 46" W 54.60'
207	300.00'	5° 31' 47"	28.95'	N 04° 18' 38" E 28.94'
208	300.00'	1° 45' 20"	9.19'	N 82° 02' 48" W 9.19'
209	322.00'	1° 45' 20"	9.87'	N 82° 02' 48" W 9.87'
210	278.00'	1° 45' 20"	8.52'	N 82° 02' 48" W 8.52'

PLAT OF
Puño de Tierra
Estates
Units 1 and 2
 within the
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 34
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 DECEMBER 1997



DWG: 7121PLa4	Drawn: BJG	Checked: ALS	Sheet 4 of 7
Scale: 1"=200'	Date: 5-18-98	Job: 97121	

△ CENTERLINE MONUMENTATION
Centerline (in lieu of R/W monumentation)
to be installed at all centerline PC's, PT's,
angle points, and street intersections
as shown hereon, and will consist of a
four inch (4") aluminum alloy cap stamped:
CITY OF ALBUQUERQUE
CENTERLINE MONUMENT
DO NOT DISTURB
PLS #7719

PLAT OF
**Puño de Tierra
Estates**
Units 1 and 2
within the
TOWN OF ATRISCO GRANT
PROJECTED SECTION 34
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER 1997

SAN JOSE DE ARMIJO CEMETERY
(09-20-85, BK. D250A- PG. 814)

ACS MONUMENT
"8-L9"
Y= 1478811.91
X= 356637.68
G-G= 0.99967955
Δα= -00°16'31"
CENTRAL ZONE
(NAD 1927)

FOUND 5/8" REBAR WITH
CAP "LS 4078" (TYP.)

TRACT 'A'

KEY: not to scale
Puño de Tierra Estates

ARENAL ROAD SW
(124' R/W)

50' 25' 0 50' 100'
SCALE: 1" = 50'

DWG: 7121PLa5	Drawn: DBC	Checked: ALS	Sheet 5 of 7
Scale: 1"=50'	Date: 5-18-98	Job: 97121	

PLAT OF
Puño de Tierra
Estates
Units 1 and 2
 within the
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 34
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 DECEMBER 1997

N85°04'59"W
 (N85°04'53"W)
 893.35'
 (893.46')
 FOUND 5/8" REBAR
 WITH CAP "LS 3241"

TRACT 'A'

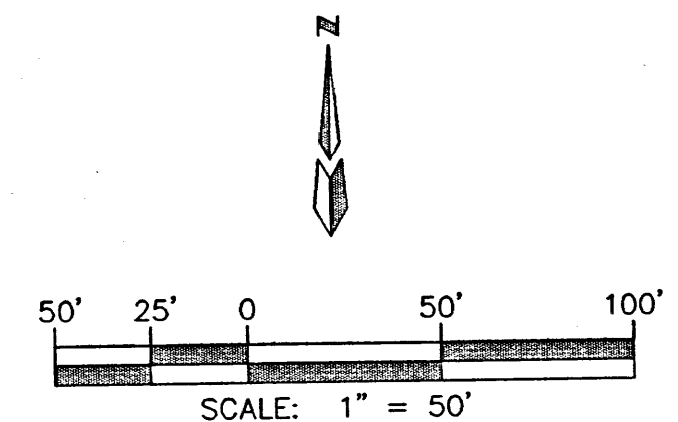
UNIT 2

AMOLE DEL NORTE DIVERSION FACILITY (140' R/W)
 (09-11-80, C17-66)

DON ARAGON DRIVE SW

SAN JOSE DE ARMIJO CEMETERY
 (09-20-85, BK. D250A- PG. 814)

△ CENTERLINE MONUMENTATION
 Centerline (in lieu of R/W monumentation)
 to be installed at all centerline PC's, PT's,
 angle points, and street intersections
 as shown hereon, and will consist of a
 four inch (4") aluminum alloy cap stamped:
 CITY OF ALBUQUERQUE
 CENTERLINE MONUMENT
 DO NOT DISTURB
 PLS #7719



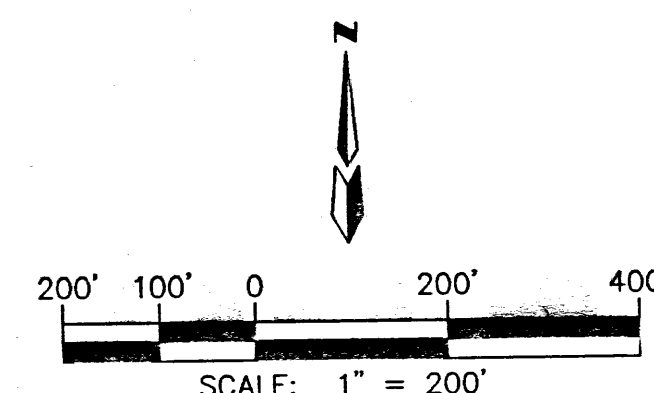
TRACT 'A'

KEY: not to scale
 Puño de Tierra Estates

SEE SHEET 5

DWG: 7121PLa6	Drawn: DBC	Checked: ALS	Sheet 6 of 7
Scale: 1"=50'	Date: 5-18-98	Job: 97121	

within the
TOWN OF ATRISCO GRANT
PROJECTED SECTION 34
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER 1997



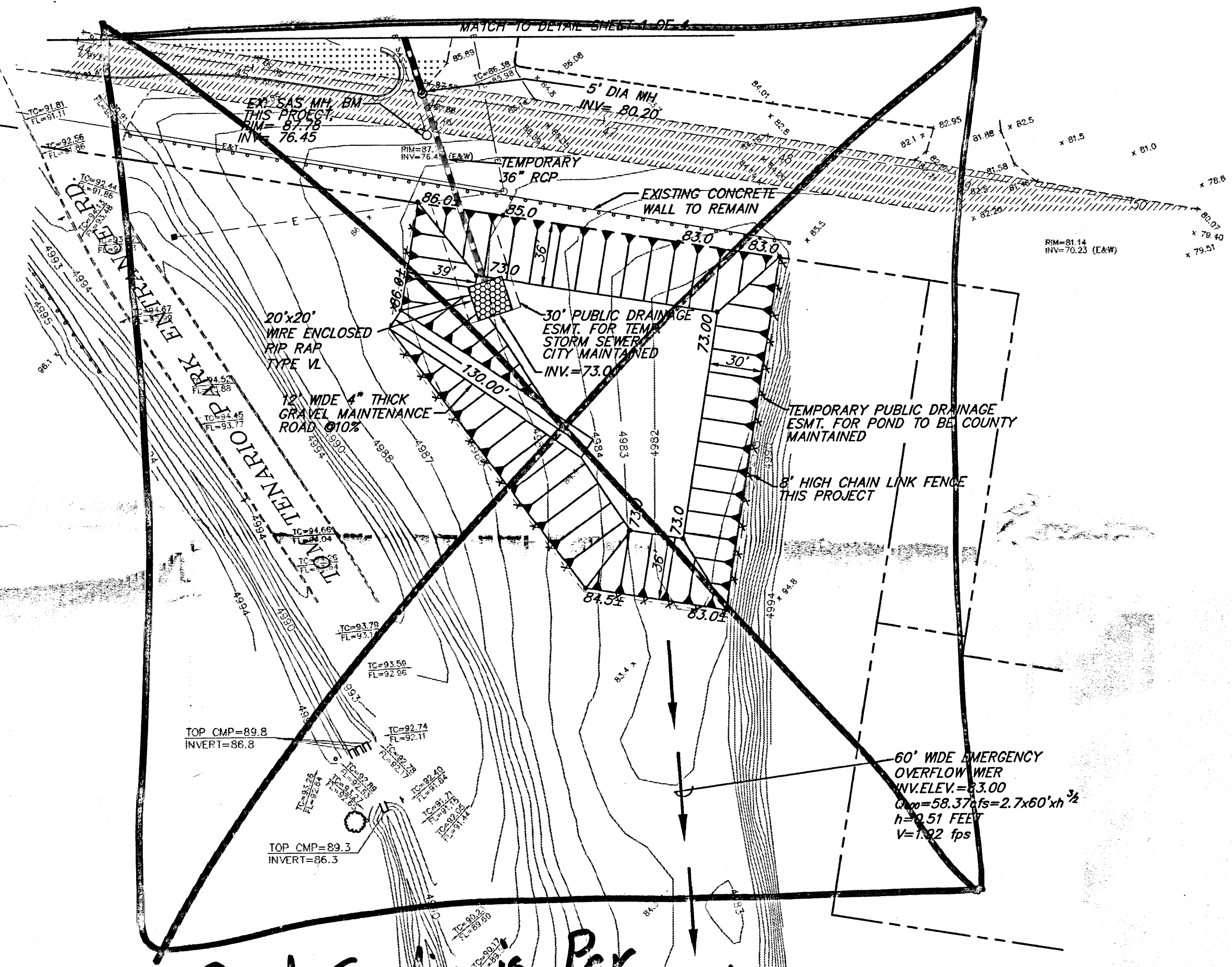
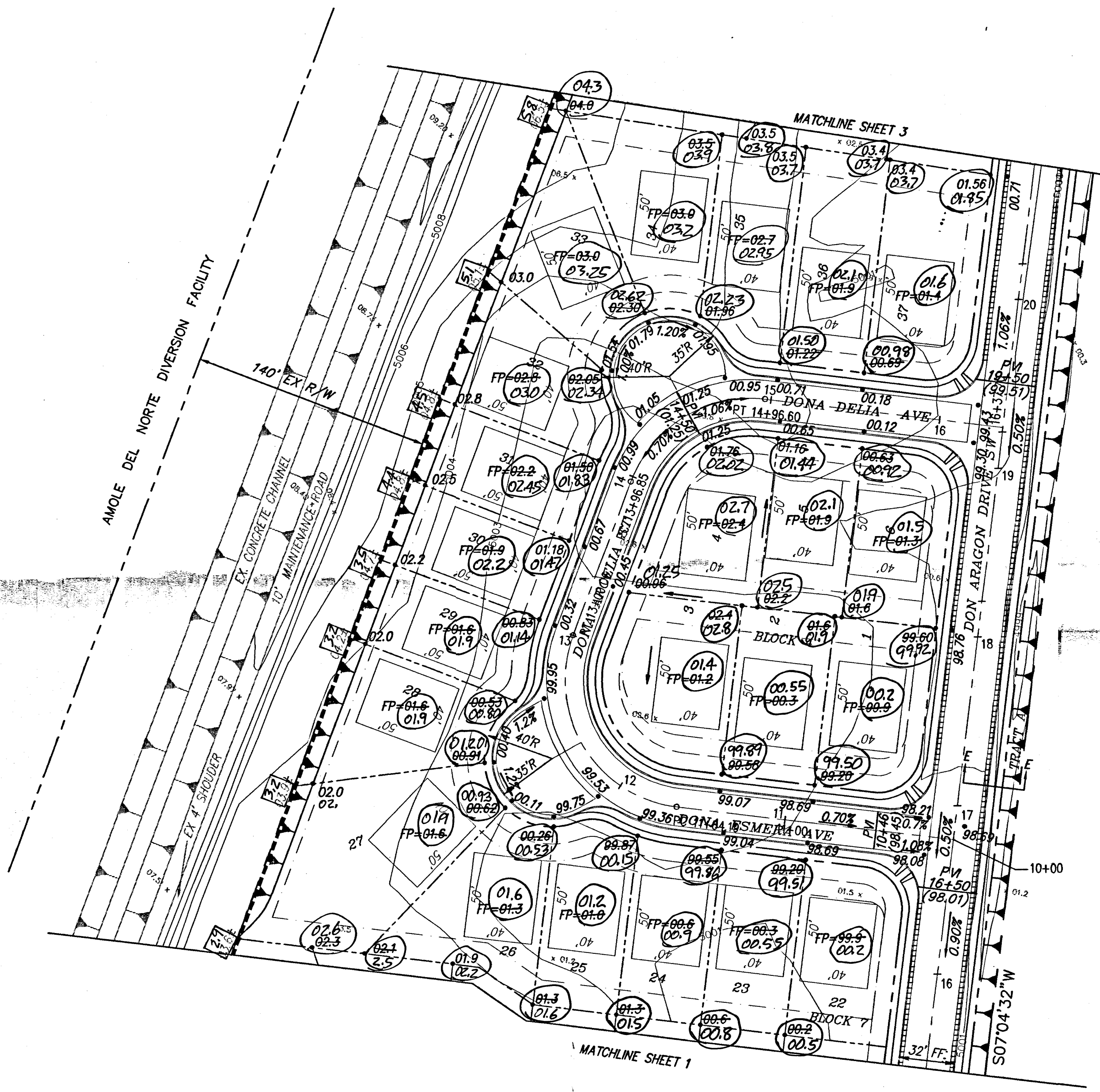
LINE	DIRECTION	DISTANCE
L3	N76°23'23"E (N76°35'58"E)	19.93' (20.25')
L4	N13°37'02"W (N13°23'30"W)	29.01' (29.58')

LEGEND:

- ARTERIAL PAVEMENT
- TEMPORARY PAVEMENT
- EXISTING PAVEMENT
- NEW SIDEWALK CONSTRUCTED THIS PROJECT
- DEFERRED SIDEWALKS
- NEW RETAINING WALLS OVER 18"
- FLOOD WALL
- MOUNTABLE CURB & GUTTER
- STANDARD 8" CURB & GUTTER
- NEW STORM DRAIN LINE
- TRACT/LOT BOUNDARY
- RIGHT OF WAY
- EASEMENTS
- PROPERTY LINE
- HANDICAP RAMPS PER COA DWS #2418 THIS PROJECT.
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING OVERHEAD TELEPHONE LINE
- EXISTING POWER POLE
- EXISTING STORM SEWER MANHOLE

TEMPORARY POND VOLUME CALCULATIONS

REQ'D VOLUME FOR PUNO DE TIERRA ESTATES=2.66 AC. FT.
REQ'D VOLUME FOR ARENAL RD. & TENARIO PARK=1.56 AC. FT.
REQUIRED TOTAL VOLUME=4.21 AC. FT.
VOLUME @ ELEV. 83.48 = 4.21 AC. FT.
VOLUME @ ELEV. 83.00 = 3.22 AC. FT.
FREEBOARD=0.50'
OK 5-3-00 JDN
Volume @ Elev 82.0 = 4.5 ac ft

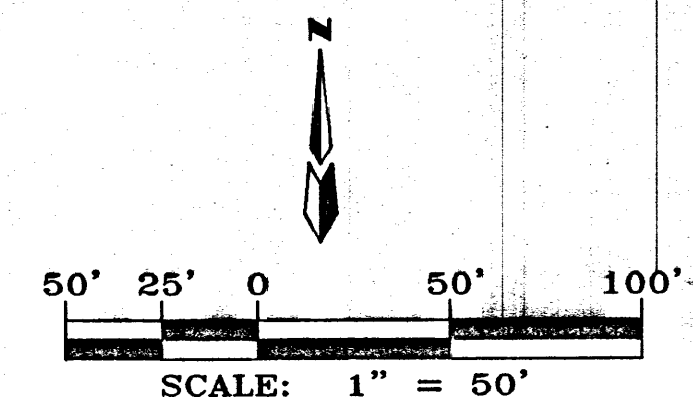


Pond Grading is Per
Separate Plans Approved
by Bernalillo County for
construction.

ENGINEER'S AS-BUILT CERTIFICATION

AS-BUILT ELEVATIONS FROM SURVEY BY KEVIN DAGGETT ON 6/4/99 ARE SHOWN HEREIN INSIDE CIRCLES. NO WALLS OR INFRASTRUCTURE HAD BEEN CONSTRUCTED ON THAT DATE.
AS-BUILT ELEVATIONS FROM SURVEY BY SURV-TEK ON 7/13/00 ARE SHOWN HEREIN INSIDE BOXES. PERIMETER BLOCK WALLS WERE IN ON THE SOUTH AND EAST SIDE OF THE SUBDIVISION RETAINING WALLS AND FLOODWALLS AS SHOWN HEREIN WERE ALSO IN ON THE DATE OF THE SURVEY.
I, JAMES D. HUGHES, DO HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THE PRIVATE GRADING AND DRAINAGE AS SHOWN HEREON IS CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING AND DRAINAGE PLAN AS OF THE DATE OF THIS CERTIFICATION.

James D. Hughes
JAMES D. HUGHES, PE #11674 5-3-00



dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: ARENAL RESIDENTIAL
GRADE AND DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. ZONE MAP NO. SHEET OF
M-10 2 4

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	STATION IS A STANDARD C.O.A. BRASS CAP SET IN CONCRETE 0.20'	NO.	DATE	NO.	DATE	NO.	DATE
WORK STARTED BY	ADJ. GROUND AND STAMPED "H-MU"	BY	DATE	BY	DATE	BY	DATE
ACCEPTANCE BY	FROM THE INTERSECTION OF SOUTH COORS RD. ROSENDO GARCIA RD.	REMARKS	DATE	REVISIONS	DATE	REVISIONS	DATE
FIELD LOCATION BY	AND SAGE RD. TRAIL WEST ON SAGE RD. APPROXIMATELY 1.1 MI.	DESIGNED BY	DATE	DESIGNED BY	DATE	DESIGNED BY	DATE
DRAWINGS	TO UNER BLVD. STATION IS LOCATED 64.0' EAST FROM CENTERLINE	DRAWN BY	DATE	DRAWN BY	DATE	DRAWN BY	DATE
CHECKED BY	OF UNER AND 66.0' SOUTH FROM CENTERLINE OF SAGE	CHECKED BY	DATE	CHECKED BY	DATE	CHECKED BY	DATE
RECORDED BY							
NO.							

James D. Hughes
JAMES D. HUGHES, PE #11674
REGISTERED PROFESSIONAL ENGINEER
NEW MEXICO
6-4-98