



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 2, 2003

Fred Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe ST NE
Albuquerque, New Mexico 87108

RE: WALGREENS @ UNSER & SAPPHIRE (M-10/D15A)
(1201 Unser Blvd SW)
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEERS STAMP DATED 10/29/2002
ENGINEERS CERTIFICATION DATED 5/20/2003

Dear Mr. Arfman:

Based upon the information provided in your Engineers Certification submittal dated 6/27/2003, and based upon the receipt of the Letter of Completion from the City's Construction Division, the above referenced site is approved for a Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin
C *AM* Hydrology Plan Checker
Development & Bldg. Ser. Division

C: Certificate of Occupancy Clerk, COA
~~drainage file~~
approval file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/28/2003rd)

PROJECT TITLE: WALGREENS@UNSER & SAPPHIRE ZONE MAP/DRG. FILE #: M-10/D015A
DRB #: 02DRB-01332 EPC#: 02EPC 00982 WORK ORDER#: 695381

LEGAL DESCRIPTION: TRACT D-1, ALBUQUERQUE SOUTH, UNIT ONE
CITY ADDRESS: 1201 UNSER BLVD. SW

ENGINEERING FIRM: Isaacson & Arfman, P.A.
ADDRESS: 128 Monroe Street NE
CITY, STATE: Albuquerque, NM

CONTACT: FRED C. ARFMAN
PHONE: (505) 268-8828
ZIP CODE: 87108

OWNER: CAPRI, % PETERSON PROPERTIES
ADDRESS: 2325 SAN PEDRO DR. NE
CITY, STATE: ABQ, NM

CONTACT: MIKE ROACH
PHONE: 884-3578
ZIP CODE: 87110
FAX: 894-6793

ARCHITECT: GEORGE RAINHART & ASSOC.
ADDRESS: 2325 SAN PEDRO DR, STE 2-B
CITY, STATE: ABQ, NM

CONTACT: SHAWN ANDERSON
PHONE: 884-9110
ZIP CODE: 87110

SURVEYOR: WILGER ENTERPRISES
ADDRESS: _____
CITY, STATE: _____

CONTACT: STEVE WALKER
PHONE: 843-1024
ZIP CODE: _____

CONTRACTOR: WILGER ENTERPRISES
ADDRESS: 425 EDMON RO. NE
CITY, STATE: ABQ NM

CONTACT: SCOTT WILGER
PHONE: 345-2854
ZIP CODE: 87107

CHECK TYPE OF SUBMITTAL:

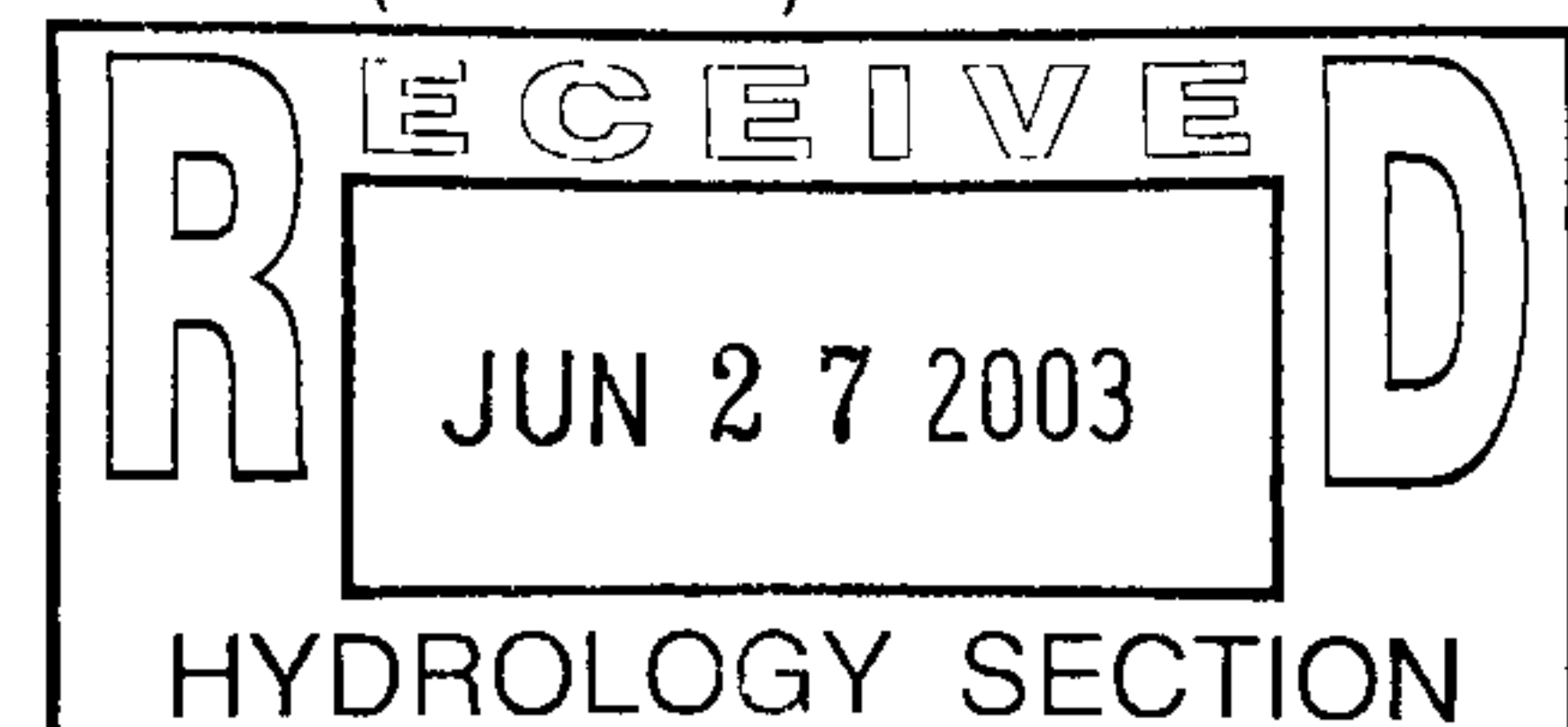
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

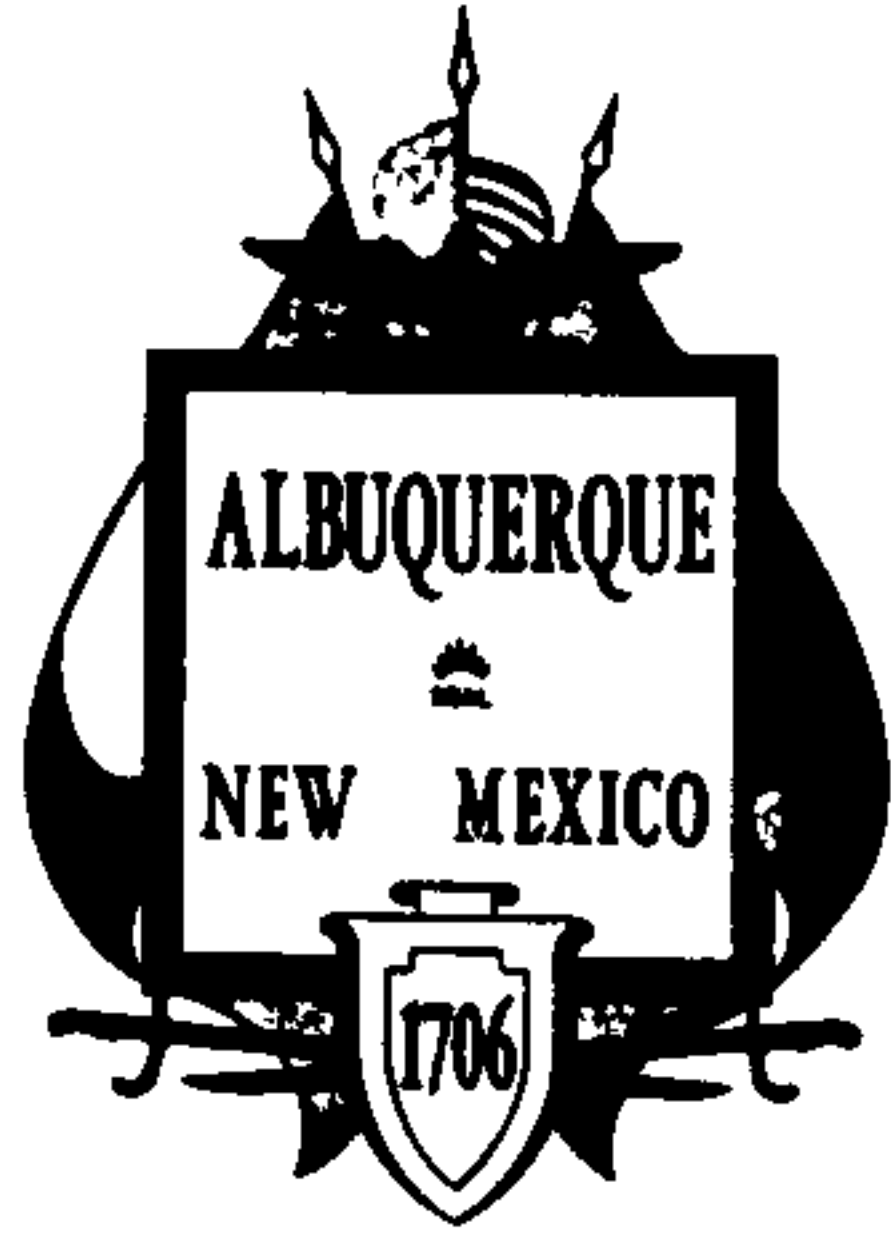
- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: JUNE 27, 2003 BY: FRED C. ARFMAN

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 23, 2003

Fred Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe NE
Albuquerque, New Mexico 87108

RE: WALGREENS @ UNSER & SAPPHIRE (M-10/D015A)
(1201 Unser Blvd SW))
CERTIFICATE OF OCCUPANCY APPROVAL-*Temporary*
ENGINEERS CERTIFICATION DATED 5/20/2003

Dear Mr. Arfman:

Based on the information provided in your submittal dated 4/10/2003, the above referenced project is approved for a **TEMPORARY** Certificate of Occupancy.

A Temporary Certificate of Occupancy has been issued for 30 days, allowing the remaining drainage issues to be completed within this time scope:

Please Note: Prior to a Permanent Certificate of Occupancy being issued, per letter dated 12/2/2002, "The work order infrasturcture will have to be accepted by the City."

If I can be of further assistance, please feel free to contact me at 924-3981.

Sincerely,

Teresa A. Martin
Hydrology Plan Checker
Development and Building Services Division

c: Certificate of Occupancy Clerk, COA
Drainage file
Approval file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

M-10/DISA

PROJECT TITLE: WALGREEN'S @ UNISER & SAPPHIRE ZONE MAP/DRG. FILE #: K-10
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT D-1, ALBUQUERQUE SOUTH, UNIT ONE
 CITY ADDRESS: _____

ENGINEERING FIRM: Isaacson & Arfman, P.A.
 ADDRESS: 128 Monroe Street NE
 CITY, STATE: Albuquerque, NM

CONTACT: _____
 PHONE: 268-8828
 ZIP CODE: 87108

OWNER: CAP II, % PETERSON PROPERTIES
 ADDRESS: 2325 SAN PEDRO DR. NE
 CITY, STATE: ABQ. NM

CONTACT: Mike Roach
 PHONE: 884-3578
 ZIP CODE: 87110

ARCHITECT: George Rainhart & Assoc.
 ADDRESS: 2325 SAN PEDRO DR. STE 2-B
 CITY, STATE: ABQ. NM

Fax 894-6793
 CONTACT: SHAWN ANDERSON
 PHONE: 884-9110
 ZIP CODE: 87110

SURVEYOR: ALDRICH LAND SURVEYING
 ADDRESS: 4109 MONTGOMERY BLVD.
 CITY, STATE: ABQ. NM

CONTACT: Tim Aldrich
 PHONE: 884-1990
 ZIP CODE: 87109

CONTRACTOR: WILGER ENTERPRISES
 ADDRESS: 425 EDMON RD. NE
 CITY, STATE: ABQ. NM

CONTACT: SWTT WILGER
 PHONE: 345-2854
 ZIP CODE: 87107

CHECK TYPE OF SUBMITTAL:

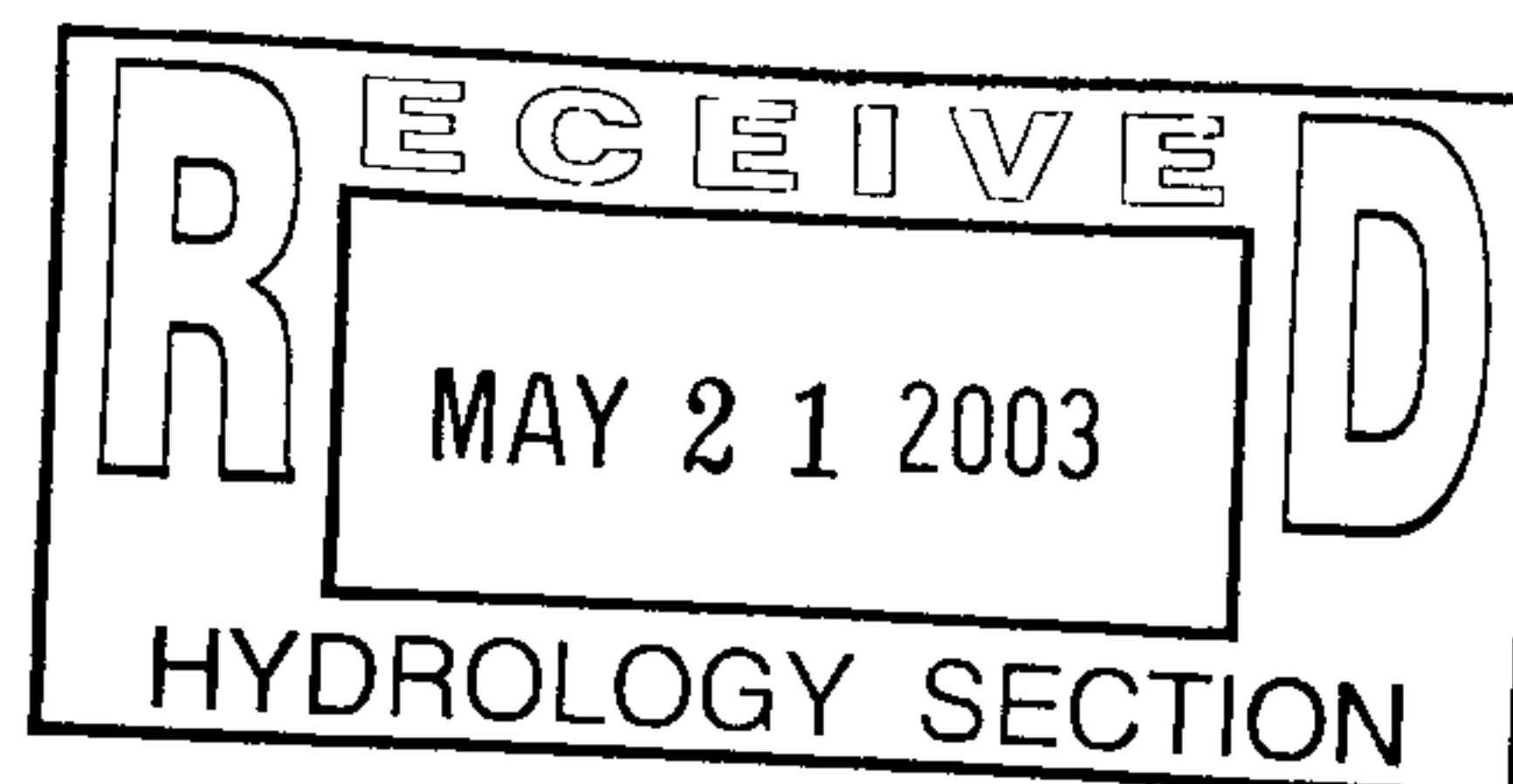
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- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
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- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
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- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 5-20-03

BY: FRED C. ARFMAN
 For: Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 2, 2002

Fred Arfman, PE
Isaacson & Arfman
128 Monroe NE
Albuquerque, NM 87108

**Re: Walgreens @ Unser/Sapphire Grading and Drainage Plan
Engineer's Stamp dated 10-29-02, (M10/D15A)**

Dear Mr. Arfman,

Based upon the information provided in your submittal dated 10-29-02, the above referenced plan is approved for Building Permit. However, Hydrology cannot sign off on the construction sets until the Work Order for the down stream storm drain is issued. Prior to Certificate of Occupancy, please address the following comments.

- There is a low point in the profile of the south-to-east lane that should have an inlet installed or redesigned to drain to one of the other proposed inlets.
- The work order infrastructure would have to be accepted by the City.

If you have any questions about my comments, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept
Development and Building Services

C: Terri Martin, CoA
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/11/2002)

M-10/DISA

PROJECT TITLE: WALGREEN'S @ UNISER & SAPPHIRE ZONE MAP/DRG. FILE #: M-10
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT D-1, ALBUQUERQUE SOUTH, UNIT ONE
CITY ADDRESS: _____

ENGINEERING FIRM: Isaacson & Arfman, P.A.
ADDRESS: 128 Monroe Street NE
CITY, STATE: Albuquerque, NM

CONTACT: _____
PHONE: 268-8828
ZIP CODE: 87108

OWNER: CAP II, % PETERSON PROPERTIES
ADDRESS: 2325 SAN PEDRO DR. NE
CITY, STATE: ABQ. NM

CONTACT: Mike Roach
PHONE: 884-3578
ZIP CODE: 87110

ARCHITECT: George Rainhart & Assoc.
ADDRESS: 2325 SAN PEDRO DR. STE 2-B
CITY, STATE: ABQ. NM

CONTACT: SHAWN ANDERSON
PHONE: 884-9110
ZIP CODE: 87110

SURVEYOR: ALDRICH LAND SURVEYING
ADDRESS: 4109 MONTGOMERY BLVD.
CITY, STATE: ABQ. NM

CONTACT: Tim Aldrich
PHONE: 884-1990
ZIP CODE: 87109

CONTRACTOR: WILGER ENTERPRISES
ADDRESS: 425 EDMON RD. NE
CITY, STATE: ABQ. NM

CONTACT: SWETT WILGER
PHONE: 345-2854
ZIP CODE: 87107

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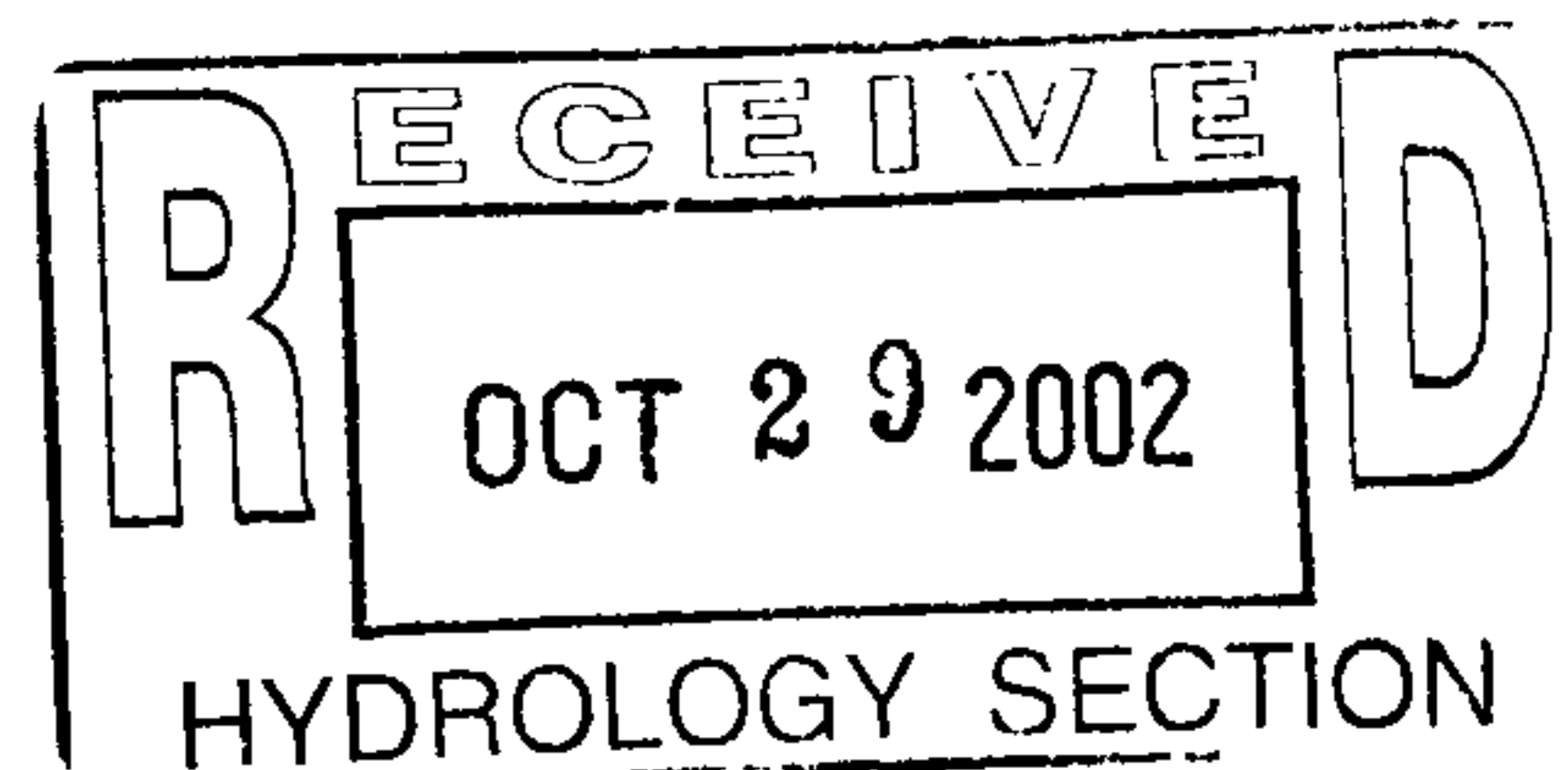
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☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

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☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED: 10-29-02 BY: FRED C. ARFMAN

FOR: ISAACSON & ARFMAN, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

M-10/DISA

PROJECT TITLE: WALGREENS ZONE MAP/DRG. FILE #: M-10
 DRB #: _____ EPC#: 02 EPC00984 WORK ORDER#: _____

LEGAL DESCRIPTION: SEC. 34, TOWNSHIP 10N, RANGE 2E TOWN OF ATRISCO
 CITY ADDRESS: 1201 UNSER GRANT

ENGINEERING FIRM: ISAACSON + ARFMAN
 ADDRESS: 128 MONROE ST NE
 CITY, STATE: ALBU NM

CONTACT: FRED ARFMAN
 PHONE: 262-8828
 ZIP CODE: _____

OWNER: CAP II UNSER + ARENAL LLC
 ADDRESS: 2325 SAN PEDRO 2A NE
 CITY, STATE: ALBU NM

CONTACT: MIKE ROASCH
 PHONE: _____
 ZIP CODE: _____

ARCHITECT: GEORGE RAIN HART
 ADDRESS: 2325 SAN PEDRO NE 2B
 CITY, STATE: ALBU NM

CONTACT: SHAWN ANDERSON
 PHONE: 884-9110 EXT 205
 ZIP CODE: _____

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: WILGER
 ADDRESS: _____
 CITY, STATE: ALBU NM

CONTACT: SCOT
 PHONE: _____
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

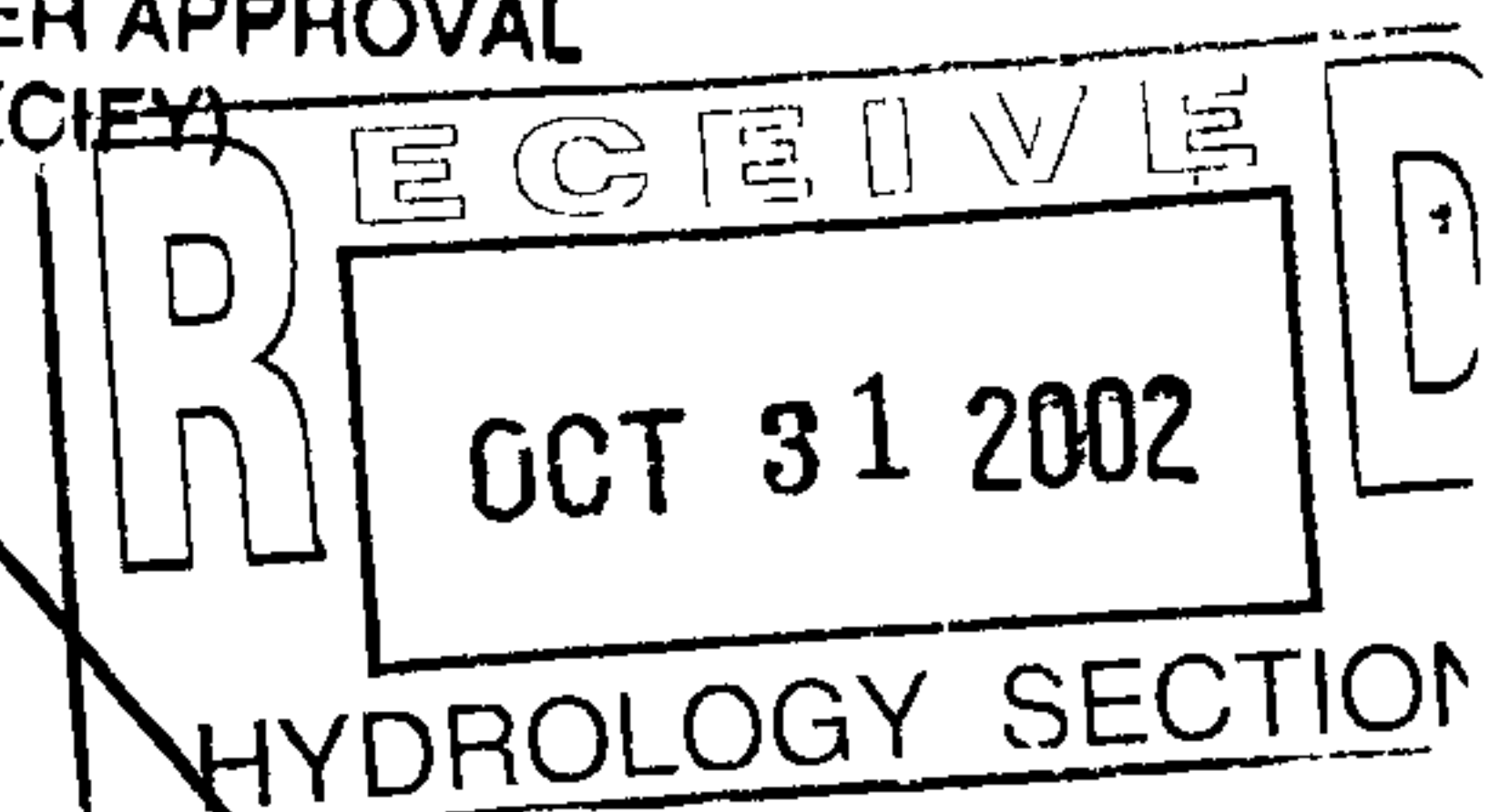
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- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 10-31-02 BY: SHAWN ANDERSON

Requests for approval of City of Albuquerque and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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No. 1, 2, 3 - REQUIRED - EPC SITE PLAN WAS REQUIRED
CALL - ARCHITECT - MIKE ROASCH - 11-06-02

Richard L. Dourte 11-06-02



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Planning Department
Transportation Development Services Section***

May 20, 2003

George Rainhart, Registered Architect
2325 San Pedro NE, Ste 2-B
Albuquerque, NM 87110

Re: Certification Submittal for Final Building Certificate of Occupancy for
Walgreens, [M-10 /-D15A]
1201 Unser SW
Architect's Stamp Dated 05/20/03

Dear Mr. Rainhart:

The TCL / Letter of Certification submitted on May 20, 2003 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
—Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

M-10/DISA

PROJECT TITLE: WALGREENS

DRB #: 299-64 99-226EPC#:

ZONE MAP/DRG. FILE #:

WORK ORDER#:

LEGAL DESCRIPTION: TRACT D ALB. SOUTH UNIT ONE

CITY ADDRESS: 1201 UNSED

ENGINEERING FIRM: ISAACSON + ARFMAN

ADDRESS:

CITY, STATE:

CONTACT: ASA

PHONE:

ZIP CODE:

OWNER:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

ARCHITECT: GEORGE DAINHART

ADDRESS:

CITY, STATE:

CONTACT: SHAWN ANDERSON

PHONE: 884 9110

ZIP CODE:

SURVEYOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CONTRACTOR: WILGER

ADDRESS:

CITY, STATE:

CONTACT: SCOT

PHONE:

ZIP CODE:

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
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- ☒ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
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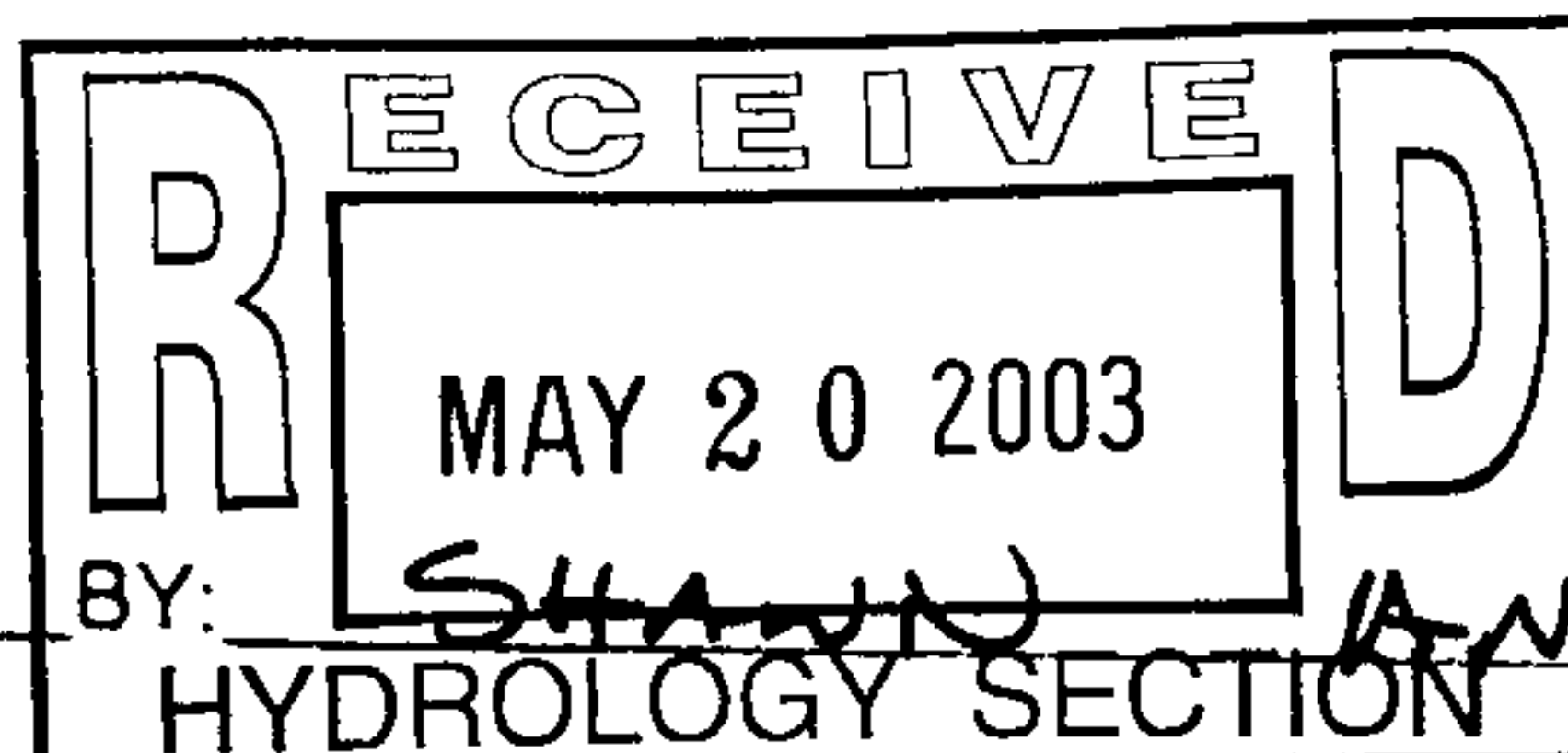
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES

☐ NO

☐ COPY PROVIDED

DATE SUBMITTED 5-20-03



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May, 19 2003

Mr. Mike Zamora
City of Albuquerque
Transportation Division
600 2nd Street NW
Albuquerque, NM 87102


Re: Walgreen Drugstore
1201 Unser Rd.
Albuquerque, NM
Transportation Certification

Mr. Zamora,

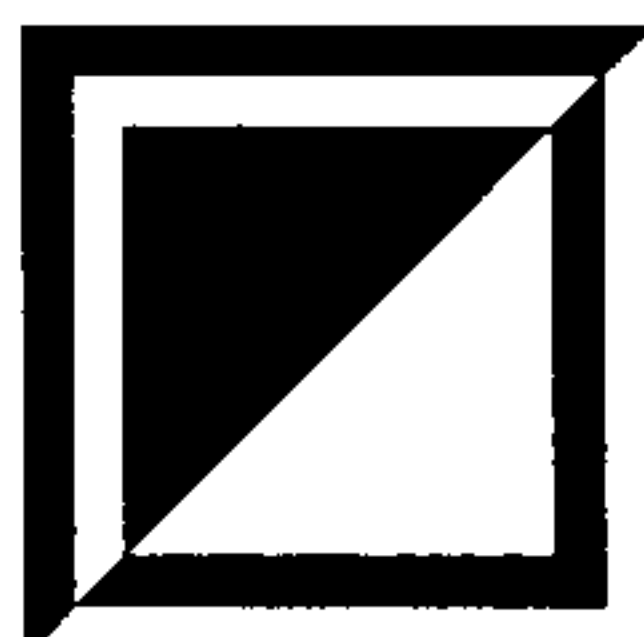
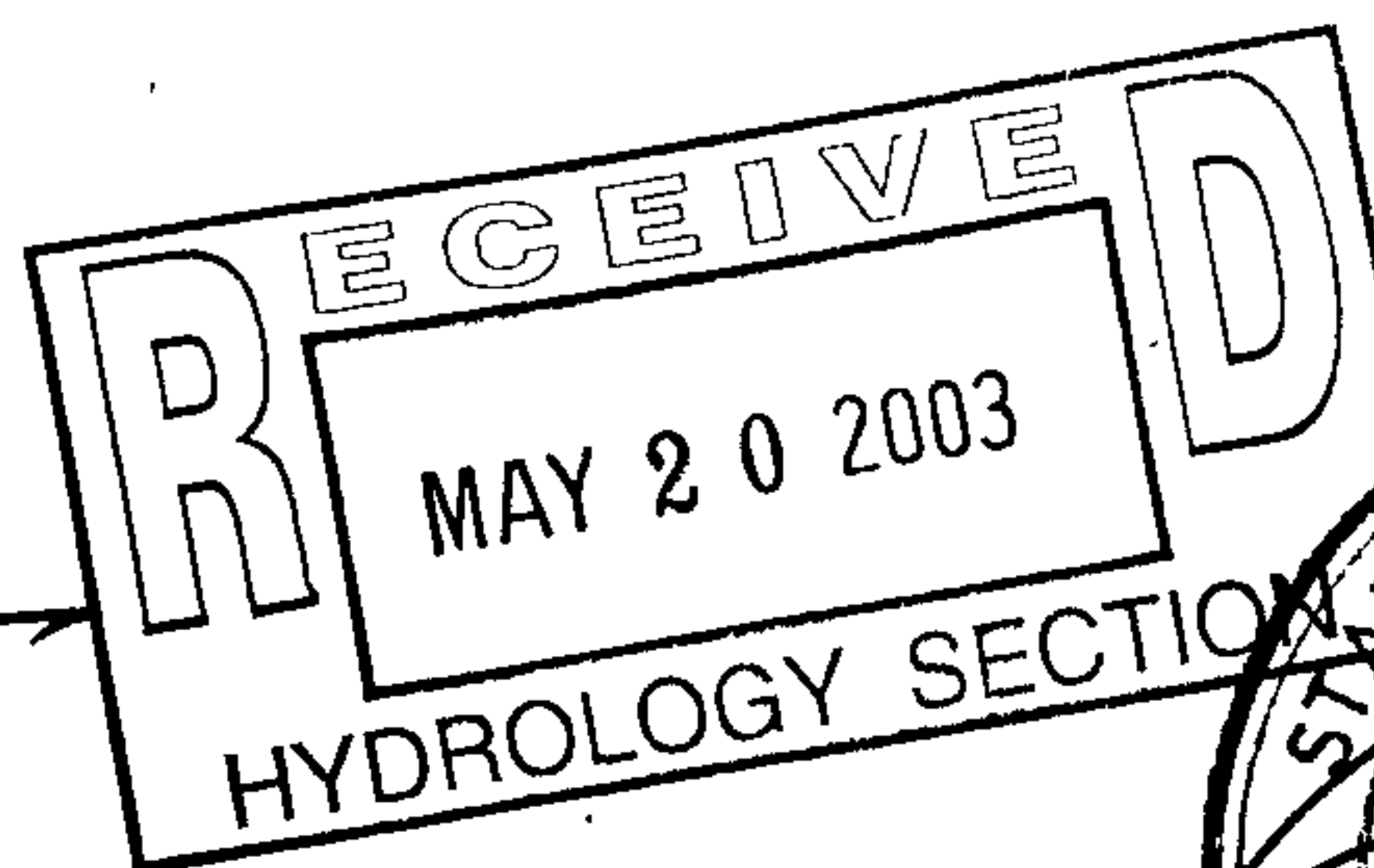
Walgreen's is a 14,560sf. Drugstore serving the surrounding community. The traffic circulation will be from the surrounding residential community. There is no access from Unser Boulevard; all access is from one point at Arenal. The Walgreen's will compliment the adjacent retail zoned site. Terry Brown P.E prepared a TIS study on 1/02. There are no variances attached to this site.

This letter hereby certifies that the site construction referenced above has been completed to the best of my knowledge. The site is constructed within substantial compliance with the approved Traffic Circulation Layout, as of the date of this certification. Please see the attached site plan which indicates the as-built conditions of the site.

Sincerely,


George Rainhart AIA

George Rainhart, Architect and Associates P.C.



GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110
PHONE: 505-884-9110 ■ FAX: 505-837-9877 ■ Email: graa@gra-arch.com