

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 2, 2003

Fred Arfman, P.E. Isaacson & Arfman, P.A. 128 Monroe ST NE Albuquerque, New Mexico 87108

WALGREENS @ UNSER & SAPPHIRE RE:

(M-10/D15A)

(1201 Unser Blvd SW)

ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY

ENGINEERS STAMP DATED 10/29/2002

ENGINEERS CERTIFICATION DATED 5/20/2003

Dear Mr. Arfman:

Based upon the information provided in your Engineers Certification submittal dated 6/27/2003, and based upon the receipt of the Letter of Completion from the City's Construction Division, the above referenced site is approved for a Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Terese a. Mato Teresa A. Martin

Hydrology Plan Checker
Development & Bldg. Ser. Division

Certificate of Occupancy Clerk, COA \_\_drainage.file approval file

#### DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: WALGREENS@UNSER & SARPHIR DRB #: 02 DRB - 01332 EPC#: 02 EPC 00982	E ZONE MAP/DRG. FILE #: M-10/D015A  WORK ORDER#: 695381
LEGAL DESCRIPTION: TRACT D-1, ALBUQUE CITY ADDRESS 1201 LINSER BLVD. S	ROWE SOUTH, WIT ONE
ENGINEERING FIRM: Isaacson & Arfman, P.A.  ADDRESS: 128 Monroe Street NE  CITY, STATE: Albuquerque, NM	CONTACT: FRED C. ARFMAN  PHONE: (505) 268-8828  ZIP CODE: 87108
OWNER CAPIL % PETERSON PROPERTIES  ADDRESS: 2325 SAN PEDRO DR. N  CITY, STATE: ABO, NM	1E PHONE: 884-3578  ZIP CODE: 87110
ARCHITECT GEORGE RAINHART & ASSOC ADDRESS: 2325 SAN TEDRO DR, STE CITY, STATE: ABO, NM	FAX 892 - 6793  CONTACT: SHAWN ANDERSON  2-B PHONE: 854- 9110  ZIP CODE: 87110
SURVEYOR: ADDRESS CITY, STATE:	CONTACT: STEVE WALLER PHONE: 943-1024 ZIP CODE:
CONTRACTOR: WILGER ESTER PRISES  ADDRESS: 475 EDMON RO, NE  CITY, STATE: ARO NM	CONTACT: SCOTT WILGER  PHONE: 345-7854  ZIP CODE: 57107
CHECK TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	CIA / EINIANIOIAL OLLADANITEE DEL ELAGE
DRAINAGE PLAN 1 <sup>st</sup> SUBMITTAL, REQUIRES TCL or equal DRAINAGE PLAN RESUBMITTAL CONCEPTUAL GRADING & DRAINAGE PLAN GRADING PLAN EROSION CONTROL PLAN ENGINEER'S CERTIFICATION (HYDROLOGY) CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT (TCL) ENGINEERS CERTIFICATION (TCL) ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN) OTHER	SIA / FINANCIAL GUARANTEE RELEASE PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D. APPROVAL S. DEV. PLAN FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL FINAL PLAT APPROVAL FOUNDATION PERMIT APPROVAL BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY (PERM.) CERTIFICATE OF OCCUPANCY (TEMP.) GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL WORK ORDER APPROVAL OTHER (SPECIEY)
DRAINAGE PLAN 1 <sup>st</sup> SUBMITTAL, REQUIRES TCL or equal DRAINAGE PLAN RESUBMITTAL  CONCEPTUAL GRADING & DRAINAGE PLAN  GRADING PLAN  EROSION CONTROL PLAN  ENGINEER'S CERTIFICATION (HYDROLOGY)  CLOMR/LOMR  TRAFFIC CIRCULATION LAYOUT (TCL)  ENGINEERS CERTIFICATION (TCL)  ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)	PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D. APPROVAL S. DEV. PLAN FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL FINAL PLAT APPROVAL FOUNDATION PERMIT APPROVAL BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY (PERM.) CERTIFICATE OF OCCUPANCY (TEMP.) GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL WORK ORDER APPROVAL OTHER (SPECIFY)  JUN 2 7 2003 HYDROLOGY SECTION

SORMILLED: NO PARTY POOD BA: TKED OF THE WAY

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 23, 2003

Fred Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe NE
Albuquerque, New Mexico 87108

RE: WALGREENS @ UNSER & SAPPHIRE

(M-10/D015A)

(1201 Unser Blvd SW))

CERTIFICATE OF OCCUPANCY APPROVAL-Temporary

**ENGINEERS CERTIFICATION DATED 5/20/2003** 

Dear Mr. Arfman:

Based on the information provided in your submittal dated 4/10/2003, the above referenced project is approved for a **TEMPORARY** Certificate of Occupancy.

A Temporary Certificate of Occupancy has been issued for 30 days, allowing the remaining drainage issues to be completed within this time scope:

Please Note: Prior to a Permanent Certificate of Occupancy being issued, per letter dated 12/2/2002, "The work order infrasturcture will have to be accepted by the City."

If I can be of further assistance, please feel free to contact me at 924-3981.

Sincerely,

Inve-A. Math

Teresa A. Martin

Hydrology Plan Checker

Development and Building Services Division

c: Certificate of Occupancy Clerk, COA
Drainage file
Approval file

PROJECT THLE: WALGREEN'S	SQUISSE SAPHIRE EPCII:	ZONE MAP/DRG. FILE #:KI_LD _WORK ONDER#:
LEGAL DESCRIPTION. TREET	D-1, ALBUGIERO	SOUTHILDNIT ONE
ENGINEETING FITM: Isaacson ADDRESS:128 Monro CHY, STATE:_Albuquerq	e Street NE ue, Mi	CONTACT:
	STATERSON PROPOR STAT DEDRO DR. NE NM	7131 () () () () ()
ANCHITECT George Rais ADDRESS: 7325 CHY, STATE: ABO.	SAU PEDRO DR. STE Z	FAX 894-6793  CONTACT: SHAWA AND SDED.  PHONE: 87110  ZIP CODE: 87110
SURVEYOR ALDRICH LA ADDRESS ALO9 V CITY, STATE: ABO	ND SURVETING 10NTGOMSRY BUND. NM	CONTACT: TIM ALDRICH PHONE: 884-1990 ZIP CODE: 87109
COMMACION WILGER ADDRESS: 425 CILY, SIATE: ASQ	EDMON RD. NE NON	CONTACT: SUSTA WILLGER PHONE: 345-2854 ZIP CODE: 87457
CHECK TYPE OF SUBMITTAL:	CHECK TYF	PE OF APPROVAL SOUGHT:
DRAINAGE REPORT DRAINAGE PLAN 1 <sup>SI</sup> SUBMITTAL, REQU DRAINAGE PLAN RESUBMITTAL CONCEPTUAL GRADING & DRAINAGE GRADING PLAN EROSION CONTROL PLAN ENGINEER'S CERTIFICATION (HYDRO) CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT (TCL) ENGINEERS CERTIFICATION (DRB API OTHER	PRE S. D. S. D. SEC SEC FINAL SUIL CER GRAPAV WOR	FINANCIAL GUARANTEE RELEASE LIMINARY PLAT APPROVAL EV. PLAN FOR SUB'D. APPROVAL EV. PLAN FOR BLDG. PERMIT APPROVAL TOR PLAN APPROVAL AL PLAT APPROVAL INDATION PERMIT APPROVAL LIFICATE OF OCCUPANCY (PERM.) ATIFICATE OF OCCUPANCY (TEMP.) ADING PERMIT APPROVAL ING PERMIT APPROVAL
WAS A PRE-DESIGN CONFERENCE ATTENDED YES NO COPY PROVIDED	<u>)</u> :	MAY 2 1 2003
DATE SUBMITTED: 5-20-03	BY: FRED C. F For: Isaacson.	HYDROLOGY SECTION  ARMAN
Requests for approvals of Site Development in The particular nature, location and scope of more of the following levels of submittal may in the second secon	Plans and/or Subdivision Plats shat the proposed development defin	all be accompanied by a drainage submittal. nes the degree of drainage detail. One or

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five

2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5)

3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

(5) acres and Sector Plans.

acres.

more.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 2, 2002

Fred Arfman, PE Isaacson & Arfman 128 Monroe NE Albuquerque, NM 87108

Re: Walgreens @ Unser/Sapphire Grading and Drainage Plan

Engineer's Stamp dated 10-29-02, (M10/D15A)

Dear Mr. Arfman,

Based upon the information provided in your submittal dated 10-29-02, the above referenced plan is approved for Building Permit. However, Hydrology cannot sign off on the construction sets until the Work Order for the down stream storm drain is issued. Prior to Certificate of Occupancy, please address the following comments.

- There is a low point in the profile of the south-to-east lane that should have an inlet installed or redesigned to drain to one of the other proposed inlets.
- The work order infrastructure would have to be accepted by the City.

If you have any questions about my comments, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE

Sr. Engineer, Planning Dept

Development and Building Services

Terri Martin, CoA file

#### DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

	M-10/D15A
PROJECT TITLE: WALGREEN'S @ UNSSE & SAMP DRB #:EPC#:EPC#:	HIRE ZONE MAP/DRG. FILE #:
LEGAL DESCRIPTION: TRACT D-1, ALEXON	EP MARCHOEH#:
	CHOOS TOTH LINE
ENGINEERING FIRM: Isaacson & Arfman, P.A.  ADDRESS: 128 Monroe Street NE  CITY, STATE: Albuquerque, NM	CONTACT: PHONE:268-8828
	ZIP CODE: 87108
ADDRESS: 2325 SAN DEDRO DA. CITY, STATE: ABQ.	PHONE: 884-3578
ARCHITECT GENERAL ROLL 1	ZIP CODE: 多フルる
ADDRESS VOZZZZZZZZZZZZZZZZZZZZZZZZZZZZZZZZZZZ	STE Z-B PHONE: STATE OF TO SERVICE STATE OF THE STATE OF
SURVEYOR: ALOPICII A. A.	ZIP CODE: 87110
SURVEYOR: ALOPICAL LAND SURVETING ADDRESS 4109 MONTGOMSRY BUXD.  CITY, STATE: ABO. NM	CONTACT: Tim Acdrical PHONE: 884-1990 ZIP CODE: 77109
CONTRACTOR: WILGER ENTERPRISES ADDRESS: 425 EDMAN RO. NO CITY, STATE: ABO NOM	
CHECK TYPE OF SUBMITTAL:  DRAINAGE REPORT  DRAINAGE PLAN  CONCEPTUAL GRADING & DRAINAGE PLAN  GRADING PLAN  EROSION CONTROL PLAN  ENGINEER'S CERTIFICATION (HYDROLOGY)  CLOMR/LOMR  TRAFFIC CIRCULATION LAYOUT (TCL)  ENGINEERS CERTIFICATION (TCL)  ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)  OTHER	CHECK TYPE OF APPROVAL SOUGHT:  SIA / FINANCIAL GUARANTEE RELEASE PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D. APPROVAL S. DEV. PLAN FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL FINAL PLAT APPROVAL FOUNDATION PERMIT APPROVAL CERTIFICATE OF OCCUPANCY (PERM.) CERTIFICATE OF OCCUPANCY (TEMP.) GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL WORK ORDER APPROVAL OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED: YES NO COPY PROVIDED	D C E V E D OCT 2 9 2002 HYDROLOGY SECTION
DATE SUBMITTED: 16-29.02 BY: T	RSD C. AREMAN

FOR: IBAACSON & ARFMAN, P.A. Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5)
- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

DRAINAGE AND TRANSPORTATION	INFORMATION SHEFT
(REV. 1/11/2002)	

	(M-10 D15A)
PROJECT TITLE: WALGREENS ZONE  DRB #:EPC#: 02 EPC 00984 WOR	MAP/DRG. FILE #:
LEGAL DESCRIPTION: SEC. 34, TOWNSHIP 1010, RANGE	EZETOWN OF ATRISON
ENGINEERING FIRM: TSAACSON + ARFMAN ADDRESS: 128 MONROE ST NE CITY, STATE: ALBO NM	CONTACT: FIRED ARFINAN PHONE: 268-8828 ZIP CODE:
OWNER: CAP II UNSER + ARENAL LLC ADDRESS: 2325 SAN PORO 2A NE CITY, STATE: A-LBQ NM	CONTACT: MIKE ROASCH PHONE: ZIP CODE:
ADDRESS: 2325 SAN PEDRO NE ZB CITY, STATE: ALBO NN	CONTACT: SHAWN AMBERSON PHONE: BBY -9110 EXT 205 ZIP CODE:
ADDRESSCITY, STATE:	CONTACT:PHONE:
CITY, STATE: ALIBER UM	CONTACT: SCOT PHONE: ZIP CODE:
DRAINAGE PLAN  CONCEPTUAL GRADING & DRAINAGE PLAN  GRADING PLAN  EROSION CONTROL PLAN  ENGINEER'S CERTIFICATION (HYDROLOGY)  CLOMR/LOMR  TRAFFIC CIRCULATION LAYOUT (TCL)  ENGINEERS CERTIFICATION (TCL)  ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)  OTHER  SIA/  PREL  S. DE  S. DE	FINANCIAL GUARANTEE RELEASE IMINARY PLAT APPROVAL EV. PLAN FOR SUB'D, APPROVAL EV. PLAN FOR BLDG. PERMIT APPROVAL FOR PLAN APPROVAL L PLAT APPROVAL NDATION PERMIT APPROVAL DING PERMIT APPROVAL FIFICATE OF OCCUPANCY (PERM.) FIFICATE OF OCCUPANCY (TEMP.) DING PERMIT APPROVAL NG PERMIT APPROVAL K ORDER APPROVAL ER (SPECIFY)
AS A PRE-DESIGN CONFERENCE ATTENDED: YES NO COPY PROVIDED	OCT 31 2002 HYDROLOGY SECTION
ATE SUBMITTED: 10-31-02 BY: 5HAW	NANDERSON
Action and scope of the proposed development defines the degree of drainage detail. One or some of the following levels of submittal may be required based on the following:  1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five 2. Drainage Plana: Required for building permits, grading permits, paving permits and site plans less than five (5)  3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or	
No. ICC - REQUIRED - EPC-SITE CALLED- PRChiteH-1-MIRE ROLASCH-	11-06-0-2- KEQUITE, OF
	15-90-11-90-11-00-10-10-10-10-10-10-10-10-10-10-10



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

#### Planning Department Transportation Development Services Section

May 20, 2003

George Rainhart, Registered Architect 2325 San Pedro NE, Ste 2-B Albuquerque, NM 87110

Re: Certification Submittal for Final Building Certificate of Occupancy for

Walgreens, [M-10/-D15A]

1201 Unser SW

Architect's Stamp Dated 05/20/03

Dear Mr. Rainhart:

The TCL / Letter of Certification submitted on May 20, 2003 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.

Senior Traffic Engineer

Development and Building Services

Planning Department

c: Engineer
—Hydrology\_file
CO Clerk

#### DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

THOM SHEET	
M-10/15A	
PRG. FILE #:	<b></b> -
we	
- <del></del>	

PROJECT TITLE: WALGREEUS  DRB #: 299-64 99-226EPC#:	ZONE MAP/DRG. FILE #:
DHB #:	WORK ORDER#:
LEGAL DESCRIPTION: TRACT D AUB. SOUTH CITY ADDRESS: 1201 UNSED	UNITONE
ENGINEERING FIRM: TSAAC 2000 + MRFMAN ADDRESS: CITY, STATE:	CONTACT: ASA PHONE:
	ZIP CODE:
OWNER: ADDRESS:	CONTACT:
CITY, STATE:	PHONE: ZIP CODE:
ARCHITECT: GEORGE TARWHART ADDRESS:	
CITY, STATE:	CONTACT: SHAWN ANDERSON PHONE: B84 410 ZIP CODE:
SURVEYOR:	ZIF CODE:
ADDRESS	CONTACT:
CITY, STATE:	PHONE: ZIP CODE:
CONTRACTOR: WVLGER	
ADDRESS:	CONTACT: SCOT PHONE:
CITY, STATE:	ZIP CODE:
CHECK TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
OTHER	SIA / FINANCIAL GUARANTEE RELEASE PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D. APPROVAL S. DEV. PLAN FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL FINAL PLAT APPROVAL FOUNDATION PERMIT APPROVAL BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY (PERM.) CERTIFICATE OF OCCUPANCY (TEMP.) GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL WORK ORDER APPROVAL OTHER (SPECIFY)
YAS A PRE-DESIGN CONFERENCE ATTENDED:  YES  NO	
COPY PROVIDED	20203
ATE SUBMITTED 5-20-03 BY: SH	ANDERSON
HYDROLO equests for approvals of Site Development Plans and/or Subdivision he particular nature, location and scope of the proposed development	Plate shall be seen
he particular nature, location and scope of the proposed development of the following levels of submitted moves and another submitted moves.	ment defines the degree of drainage detail. One or

nore of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5)
- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

May, 19 2003

Mr. Mike Zamora
City of Albuquerque
Transportation Division
600 2<sup>nd</sup> Street NW
Albuquerque, NM 87102

Re: Walgreen Drugstore

1201 Unser Rd.
Albuquerque, NM
Transportation Certification

Mr. Zamora,

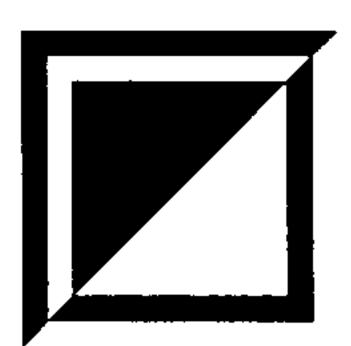
Walgreen's is a 14,560sf. Drugstore serving the surrounding community. The traffic circulation will be from the surrounding residential community. There is no access from Unser Boulevard; all access is from one point at Arenal. The Walgreen's will compliment the adjacent retail zoned site. Terry Brown P.E prepared a TIS study on 1/02. There are no variances attached to this site.

This letter hereby certifies that the site construction referenced above has been completed to the best of my knowledge. The site is constructed within substantial compliance with the approved Traffic Circulation Layout, as of the date of this certification. Please see the attached site plan which indicates the as-built conditions of the site.

Sincerely

George Rainhart AIA

George Rainhart, Architect and Associates P.C.



GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.

2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110

PHONE: 505-884-9110 ■ FAX: 505-837-9877 ■ Email: graa@gra-arch.com

MAY 20 2003

HYDROLOGY SECTIONS