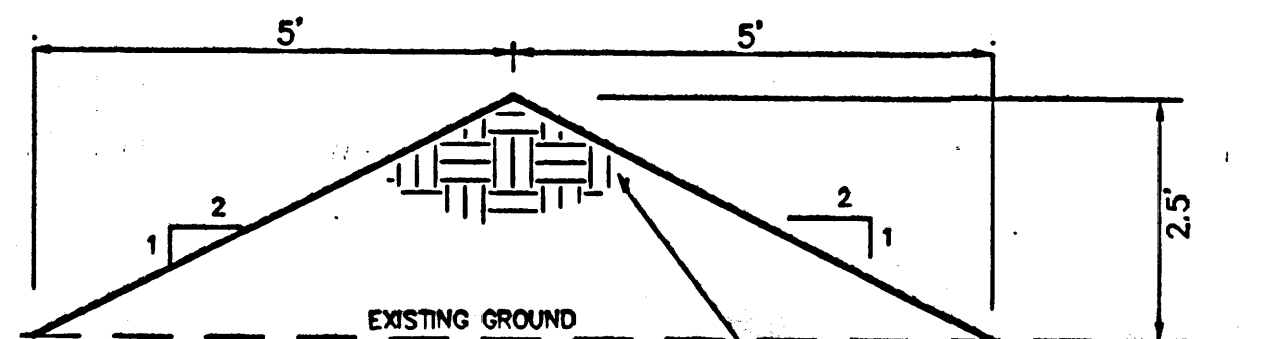


GRADING NOTES:

- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OFFSITE.
- ALL SUBGRADE AND FILL SHALL BE COMPACTED TO A MINIMUM OF 90% ASTM D-1557.
- EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
- CONFORM TO ELEVATIONS AND DIMENSIONS SHOWN ON PLANS WITHIN A TOLERANCE OF 0.3± FEET.
- SCARIFY AND COMPACT SUBGRADE FOR FILLS. PLACE FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH. MOISTEN AS NECESSARY TO PROVIDE OPTIMUM MOISTURE (±2%) CONTENT.
- UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCE, COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
- MAXIMUM SLOPES SHALL BE 3:1 MINIMUM SLOPES SHALL BE 1%.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT ERODED AND WASHED DOWN THE STREET.
- OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. ALLOW TESTING SERVICE TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHALL COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT NO ADDITIONAL EXPENSE.
- OWNER HAS ESTABLISHED SUBDIVISION BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING INCLUDING TRACT CORNERS. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS.

EROSION CONTROL

- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO THE PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING EROSION CONTROL BERMS (AS DETAILED AT RIGHT) AS SHOWN ON THE PLAN AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY ENVIRONMENTAL HEALTH DEPARTMENT PRIOR TO BEGINNING CONSTRUCTION. AN EXCAVATION PERMIT IS REQUIRED FOR ALL WORK WITHIN PUBLIC RIGHT-OF-WAY.
- SEE GRADING NOTES.



EROSION CONTROL BERM
SCALE: 1"=2'

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	100.00	165.93	109.26	147.64	N 49°40'21" E	85°04'12"
C2	2000.00	25.35	12.68	25.35	S 82°25'46" E	0°43'35"
C3	2722.00	173.73	86.89	173.70	N 00°18'32" E	3°39'25"

KEYED NOTES

- 1-TYPE D, SINGLE GRATE INLET
PER COA STD DWG #2206
TOP OF GRATE ELEV=39.3
INV OUT=35.2
INV AT R/W=31.8
27.4 LF 18" SD
- 1-TYPE D, SINGLE GRATE INLET
PER COA STD DWG #2206
TOP OF GRATE ELEV=39.9
INV OUT=35.3
INV AT R/W=34.6
22 LF 18" SD

EXISTING LEGAL DESCRIPTION: TRACT D-1, ALBUQUERQUE SOUTH, UNIT 1

AREA: 2.00 ACRES

BENCHMARK: ACS MONUMENT "1-M10"
ELEV = 5079.88

FLOOD ZONE DESIGNATION: NO PORTION OF THIS SITE LIES WITHIN A FLOOD PLAIN AS DESIGNATED ON PANEL 336 OF 825 OF THE FEMA FLOOD INSURANCE RATE MAP DATE SEPTEMBER 20, 1996 AND REVISED ON APRIL 15, 1999.

EXISTING CONDITIONS: THIS SITE IS AN UNDEVELOPED PARCEL OF LAND WITH NATIVE SHRUBS AND GRASSES, AND SLOPES DOWNHILL TO THE SOUTHEAST AT APPROXIMATELY 3%. UNSER BLVD BOUNDS THE PROPERTY TO THE EAST, AND SAPHIRE ST BOUNDS IT TO THE SOUTH.

EXISTING OFFSITE FLOWS OF 3.4 CFS AND 4.7 CFS ENTER THE SITE FROM TRACT D-2 AND D-3 RESPECTIVELY (BASINS OF1, OF2, AND OF3). THE SITE GENERATES 2.7 CFS OF UNDEVELOPED STORM WATER FLOWS.

A 66" RCP STORM DRAIN IN THE SOUTH SIDE OF SAPHIRE ST TURNS SOUTH IN UNSER BLVD.

EXISTING HYDROLOGY:
(PER THE METHOD DESCRIBED IN THE C.O.A. D.P.M. SECT. 22.2)

PRECIPITATION ZONE: 1

LAND TREATMENTS: 100% A

BASIN OF1: AREA = 0.64 AC

Op = 0.64 (1.29) = 0.8 CFS

BASIN OF2: AREA = 1.98 AC

Op = 1.98 (1.29) = 2.6 CFS

BASIN OF3: AREA = 3.64 AC

Op = 3.64 (1.29) = 4.7 CFS

BASIN A: AREA = 0.31 AC

Op = 0.31 (1.29) = 0.4 CFS

BASIN B: AREA = 0.90 AC

Op = 0.90 (1.29) = 1.2 CFS

BASIN C: AREA = 0.83 AC

Op = 0.83 (1.29) = 1.1 CFS

PROPOSED CONDITIONS: THIS SITE WILL BE A 14,560 SF WALGREENS SITE WITH 74 PARKING SPACES. FUTURE DEVELOPED OFFSITE FLOWS WILL ENTER THE SITE AT 2 COMMON ACCESS DRIVES TO THE NORTH. THIS SITE IS ADDRESSED AS BASIN 405 IN THE ARENAL/UNSER DRAINAGE MANAGEMENT PLAN APPROVED SEPTEMBER 23, 1997 (M10/D10), AND WAS ALSO COVERED IN THE DRAINAGE REPORT FOR TRACT D, ALBUQUERQUE SOUTH DATED AUGUST 3, 1999 (M10/D15).

AS PART OF THE DRAINAGE REPORT FOR TRACT D, TRACT D-3 WILL DISCHARGE 12.5 CFS TO SAPHIRE ST IN THE FUTURE. THE COMBINED ALLOWED DISCHARGE FOR TRACTS D-1 AND D-2 IS 17.1 CFS. THE STORM DRAIN IN UNSER BLVD WILL BE EXTENDED TO THE NORTH PROPERTY LINE OF TRACT D-2, AND 3 INLETS ARE INSTALLED ON THE NORTH SIDE OF SAPHIRE ST.

ASSUMING THAT FUTURE DEVELOPMENT WILL HAVE 90% TYPE D AND 10% TYPE B LAND TREATMENTS, BASIN OF1 CONTRIBUTES 2.7 CFS TO BASIN A, AND BASIN OF2 CONTRIBUTES 8.2 CFS TO BASIN C. BASIN C DISCHARGES 3.8 CFS DIRECTLY TO SAPHIRE ST, WHERE IT IS CAPTURED BY THE NEW STORM INLETS (1.1 CFS FROM BASIN A COMBINED WITH 2.7 CFS FROM BASIN OF1). BASIN B DISCHARGES 3.6 CFS TO A TYPE D, SINGLE-GRATE INLET ON THE SOUTH SIDE OF THE PARKING LOT. BASIN C DISCHARGES 11.3 CFS (3.1 CFS FROM BASIN C AND 8.2 CFS FROM BASIN OF2) TO A TYPE D, SINGLE-GRATE INLET ON THE EAST CURB LINE OF THE EAST PARKING AREA. THE STORM WATER FLOWS FROM BASIN OF2 ARE TEMPORARY, AND WILL BE ALLOWED TO ENTER INTO THE UNSER SYSTEM DIRECTLY. THE PROJECT LAND TREATMENTS FOR LOT D-2 ARE LESS THAN THE 90% D AS FOUND IN THE MASTER DRAINAGE PLAN FOR TRACT D. THEREFORE, THE COMBINED PEAK FLOW WILL COMBINE TO MEET THE ALLOWABLE DISCHARGE OF 17.1 CFS. IF NOT, THE DEVELOPMENT OF LOT D-2 MUST HAVE MINOR DETENTION OF STORM WATER FLOWS IF A "BEATING-THE-PEAK" CANNOT BE DEMONSTRATED.

PROPOSED HYDROLOGY:
(PER THE METHOD DESCRIBED IN THE C.O.A. D.P.M. SECT. 22.2)

PRECIPITATION ZONE: 1

BASIN OF1: LAND TREATMENTS: 10% B, 90% D

AREA = 0.64 AC

Op = 0.06 (2.03) + 0.58 (4.37) = 2.7 CFS

BASIN OF2: LAND TREATMENTS: 10% B, 90% D

AREA = 1.98 AC

Op = 0.20 (2.03) + 1.78 (4.37) = 8.2 CFS

BASIN A: LAND TREATMENTS: 29% B, 71% D

AREA = 0.31 AC

Op = 0.09 (2.03) + 0.22 (4.37) = 1.1 CFS

BASIN B: LAND TREATMENTS: 18% B, 82% D

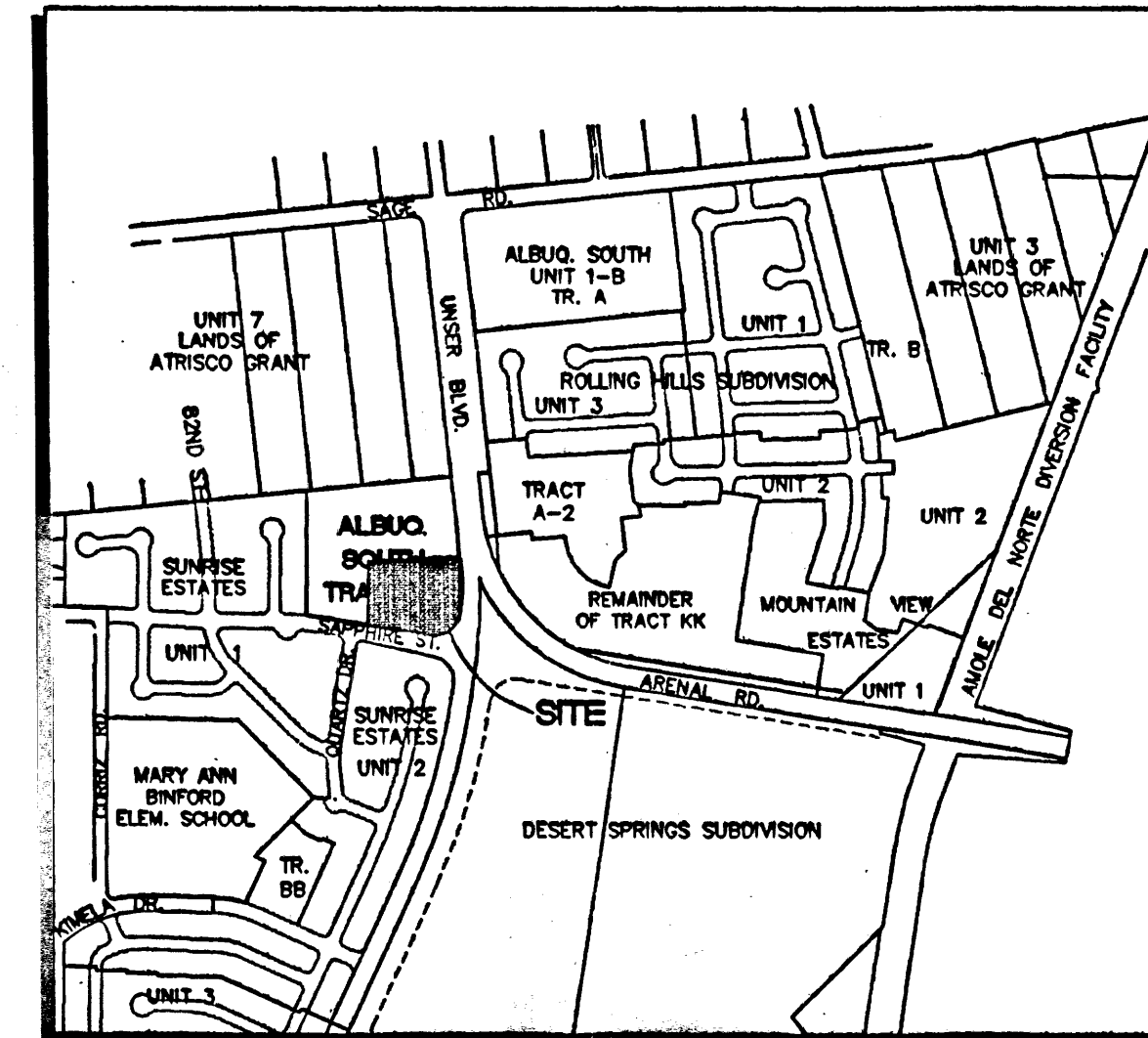
AREA = 0.90 AC

Op = 0.16 (2.03) + 0.74 (4.37) = 3.6 CFS

BASIN C: LAND TREATMENTS: 18% B, 82% D

AREA = 0.83 AC

Op = 0.14 (2.03) + 0.65 (4.37) = 3.1 CFS



VICINITY MAP
1"=750'±

Walgreens

FACILITIES PLANNING AND DESIGN
200 WILMOT ROAD
708-940-2500
DEERFIELD, IL 60015

PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:

☒ WALGREENS' CONSULTANT

☐ LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:

☐ WALGREENS' CONTRACTOR

☐ LANDLORD'S CONTRACTOR

☐ TURKEY CONSTRUCTION

STORE

BUILDING

NEW ☐

REMODELING ☐

RELOCATION ☐

OTHERS ☐

NEW ☐

EXISTING ☐

NEW SHELL ONLY ☐

LEGEND

5040 EXISTING CONTOUR

40 PROPOSED CONTOUR

78.3 PROPOSED SPOT ELEVATION

FLOW ARROW

FF=5043.0 FINISH FLOOR ELEVATION

TC=81.95 TOP OF CURB ELEVATION

FL=81.45 FLOWLINE

PROPOSED RETAINING WALL

TW=42.0 TOP OF WALL ELEVATION

BW=38.0 BOTTOM OF WALL ELEVATION

STORM DRAIN MANHOLE

BASIN A BASIN ID

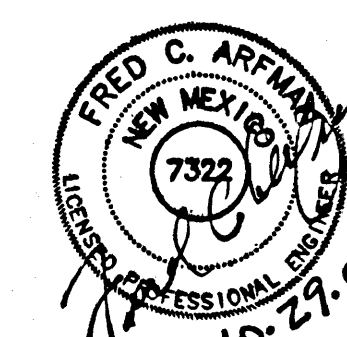
BASIN BOUNDARY

NO.	DATE	BY	DESCRIPTION	CONST.
1	1/20/03	ANW	ADDED SW GRADE @ NE CORNER OF SITE @ UNSER SW CONNECTION	
2	1/16/03	ANW	ADDED LANDSCAPING BERM GRADES, & GRADES AT NORTH BUILDING WALL	

REVISIONS

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF NEW MEXICO AS SIGNIFIED BY MY HAND AND SEAL.



PROJECT NAME
WALGREENS STORE
NWC UNSER BOULEVARD AND ARENAL ROAD
ALBUQUERQUE, NEW MEXICO

GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-8877

DRAWING TITLE

DATE 12/20/02 STORE NO.

DRAWING NO. 1

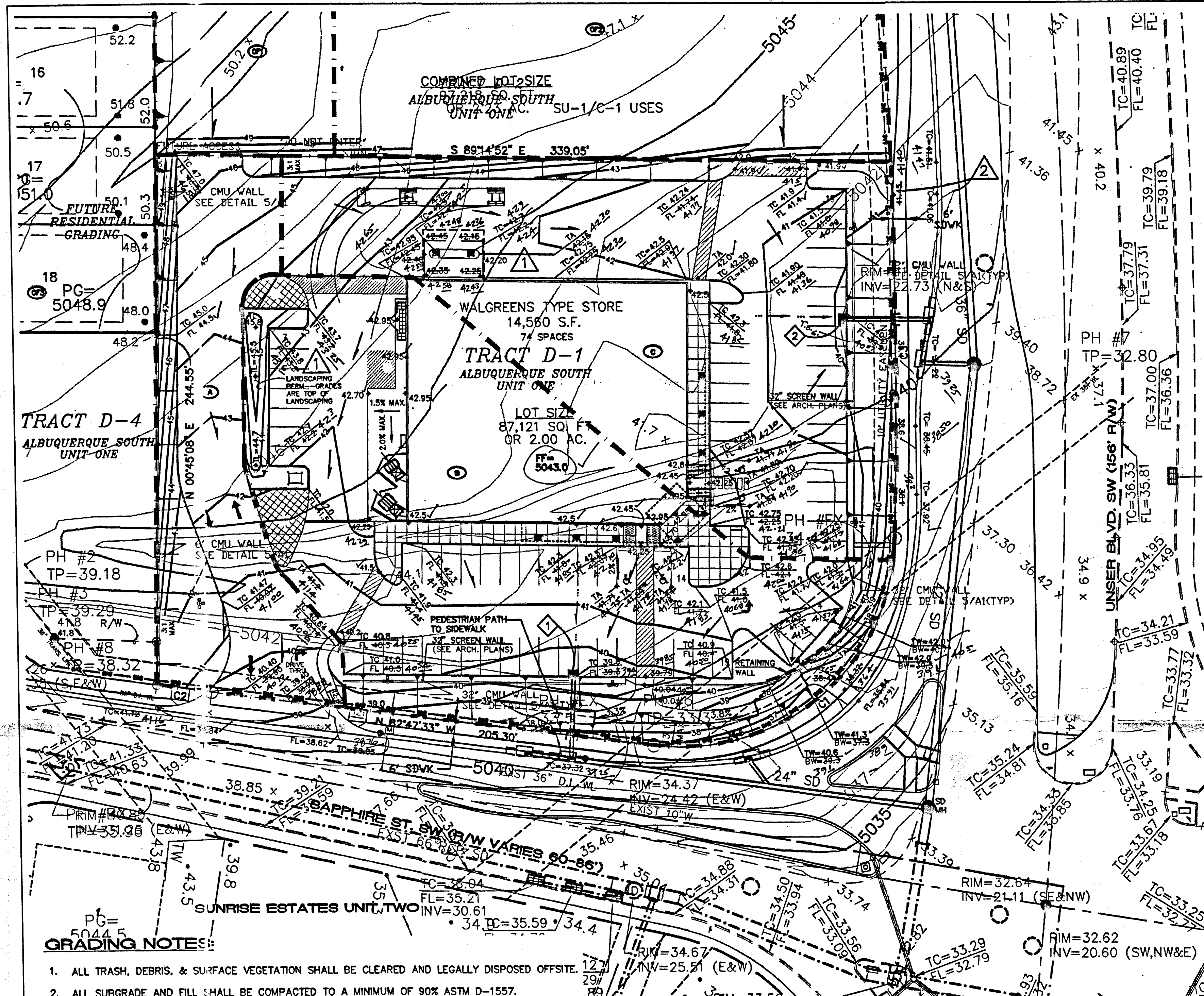
DRAWN BY: ANW SCALE: 1"=30'-0"

RELEASED TO CONSTRUCTION

REVIEWED BY: OF 53 DWGS.

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque New Mexico

1231GRD.DWG.nw 1/15/03

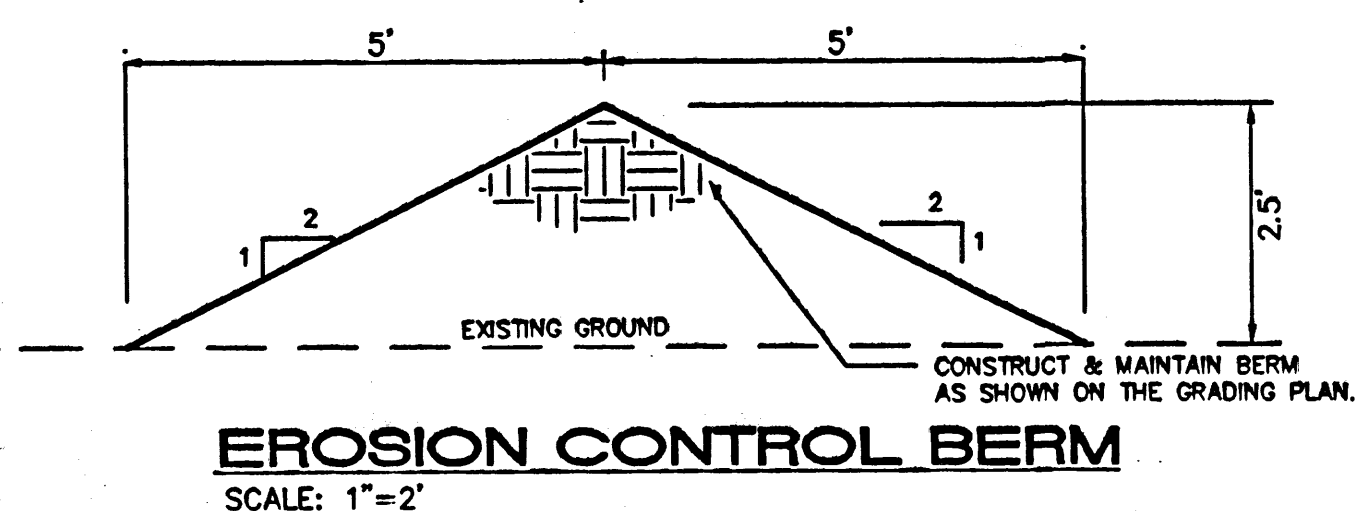


GRADING NOTES:

- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OFFSITE.
- ALL SUBGRADE AND FILL SHALL BE COMPACTED TO A MINIMUM OF 90% ASTM D-1557.
- EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
- CONFORM TO ELEVATIONS AND DIMENSIONS SHOWN ON PLANS WITHIN A TOLERANCE OF 0.3± FEET.
- SCARIFY AND COMPACT SUBGRADE FOR FILLS. PLACE FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH. MOISTEN AS NECESSARY TO PROVIDE OPTIMUM MOISTURE (±2%) CONTENT.
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- OWNER HAS ESTABLISHED SUBDIVISION BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING INCLUDING TRACT CORNERS. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS.

EROSION CONTROL

- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO THE PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING EROSION CONTROL BERMS (AS DETAILED AT RIGHT) AS SHOWN ON THE PLAN AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY ENVIRONMENTAL HEALTH DEPARTMENT PRIOR TO BEGINNING CONSTRUCTION. AN EROSION CONTROL PERMIT IS REQUIRED FOR ALL WORK WITHIN PUBLIC RIGHT-OF-WAY.
- SEE GRADING NOTES.



CURVE TABLE					
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING
C1	100.00	165.93	109.26	147.54	N 49°40'21" E 85°04'12"
C2	2000.00	25.35	12.68	25.35	S 82°25'46" E 0°43'35"
C3	2722.00	173.73	86.89	173.70	N 00°18'32" E 3°39'25"

KEYED NOTES

- 1-TYPE D, SINGLE GRATE INLET PER COA STD DWG #2206 TOP OF GRATE ELEV=39.3 INV OUT=35.2 INV AT R/W=31.8 27.4 LF 18" SD
- 1-TYPE D, SINGLE GRATE INLET PER COA STD DWG #2206 TOP OF GRATE ELEV=39.9 INV OUT=35.3 INV @ R/W=34.6 22 LF 18" SD

EXISTING LEGAL DESCRIPTION: TRACT D-1, ALBUQUERQUE SOUTH, UNIT 1

AREA: 2.00 ACRES

BENCHMARK: ACS MONUMENT "1-M10" ELEV = 5079.88

FLOOD ZONE DESIGNATION: NO PORTION OF THIS SITE LIES WITHIN A FLOOD PLAIN AS DESIGNATED ON PANEL 336 OF 825 OF THE FEMA FLOOD INSURANCE RATE MAP DATE SEPTEMBER 20, 1996 AND REVISED ON APRIL 15, 1999.

EXISTING CONDITIONS: THIS SITE IS AN UNDEVELOPED PARCEL OF LAND WITH NATIVE SHRUBS AND GRASSES, AND SLOPES DOWNHILL TO THE SOUTHEAST AT APPROXIMATELY 3%. UNSER BLVD BOUNDS THE PROPERTY TO THE EAST, AND SAPHIRE ST BOUNDS IT TO THE SOUTH.

EXISTING OFFSITE FLOWS OF 3.4 CFS AND 4.7 CFS ENTER THE SITE FROM TRACT D-2 AND D-3 RESPECTIVELY (BASINS OF1, OF2, AND OF3). THE SITE GENERATES 2.7 CFS OF UNDEVELOPED STORM WATER FLOWS.

A 66" RCP STORM DRAIN IN THE SOUTH SIDE OF SAPHIRE ST TURNS SOUTH IN UNSER BLVD.

EXISTING HYDROLOGY: (PER THE METHOD DESCRIBED IN THE C.O.A. D.P.M. SECT. 22.2)

PRECIPITATION ZONE: 1

LAND TREATMENTS: 100% A

BASIN OF1: AREA = 0.64 AC

Op = 0.64 (1.29) = 0.8 CFS

BASIN OF2: AREA = 1.98 AC

Op = 1.98 (1.29) = 2.6 CFS

BASIN OF3: AREA = 3.64 AC

Op = 3.64 (1.29) = 4.7 CFS

BASIN A: AREA = 0.31 AC

Op = 0.31 (1.29) = 0.4 CFS

BASIN B: AREA = 0.90 AC

Op = 0.90 (1.29) = 1.2 CFS

BASIN C: AREA = 0.83 AC

Op = 0.83 (1.29) = 1.1 CFS

PROPOSED CONDITIONS: THIS SITE WILL BE A 14,560 SF WALGREENS SITE WITH 74 PARKING SPACES. FUTURE DEVELOPED OFFSITE FLOWS WILL ENTER THE SITE AT 2 COMMON ACCESS DRIVES TO THE NORTH. THIS SITE IS ADDRESSED AS BASIN 405 IN THE ARENAL/UNSER DRAINAGE MANAGEMENT PLAN APPROVED SEPTEMBER 23, 1997 (M10/D10), AND WAS ALSO COVERED IN THE DRAINAGE REPORT FOR TRACT D, ALBUQUERQUE SOUTH DATED AUGUST 3, 1999 (M10/D15).

AS PART OF THE DRAINAGE REPORT FOR TRACT D, TRACT D-3 WILL DISCHARGE 12.5 CFS TO SAPHIRE ST IN THE FUTURE. THE COMBINED ALLOWED DISCHARGE FOR TRACTS D-1 AND D-2 IS 17.1 CFS. THE STORM DRAIN IN UNSER BLVD WILL BE EXTENDED TO THE NORTH PROPERTY LINE OF TRACT D-2, AND 3 INLETS ARE INSTALLED ON THE NORTH SIDE OF SAPHIRE ST.

ASSUMING THAT FUTURE DEVELOPMENT WILL HAVE 90% TYPE D AND 10% TYPE B LAND TREATMENTS, BASIN OF1 CONTRIBUTES 2.7 CFS TO BASIN A, AND BASIN OF2 CONTRIBUTES 8.2 CFS TO BASIN C. BASIN A DISCHARGES 3.8 CFS DIRECTLY TO SAPHIRE ST, WHERE IT IS CAPTURED BY THE NEW STORM INLETS (1.1 CFS FROM BASIN A COMBINED WITH 2.7 CFS FROM BASIN OF1). BASIN B DISCHARGES 3.6 CFS TO A TYPE D, SINGLE-GRATE INLET ON THE SOUTH SIDE OF THE PARKING LOT. BASIN C DISCHARGES 11.3 CFS (3.1 CFS FROM BASIN C AND 8.2 CFS FROM BASIN OF2) TO A TYPE D, SINGLE-GRATE INLET ON THE EAST CURB LINE OF THE EAST PARKING AREA. THE STORM WATER FLOWS FROM BASIN OF2 ARE TEMPORARY, AND WILL BE ALLOWED TO ENTER INTO THE UNSER SYSTEM DIRECTLY. THE PROJECT LAND TREATMENTS FOR LOT D-2 ARE LESS THAN THE 90% D AS FOUND IN THE MASTER DRAINAGE PLAN FOR TRACT D. THEREFORE, THE COMBINED PEAK FLOW WILL COMBINE TO MEET THE ALLOWABLE DISCHARGE OF 17.1 CFS. IF NOT, THE DEVELOPMENT OF LOT D-2 MUST HAVE MINOR DETENTION OF STORM WATER FLOWS IF A "BEATING-THE-PEAK" CANNOT BE DEMONSTRATED.

PROPOSED HYDROLOGY: (PER THE METHOD DESCRIBED IN THE C.O.A. D.P.M. SECT. 22.2)

PRECIPITATION ZONE: 1

BASIN OF1: LAND TREATMENTS: 10% B, 90% D

AREA = 0.64 AC

Op = 0.06 (2.03) + 0.58 (4.37) = 2.7 CFS

BASIN OF2: LAND TREATMENTS: 10% B, 90% D

AREA = 1.98 AC

Op = 0.20 (2.03) + 1.78 (4.37) = 8.2 CFS

BASIN A: LAND TREATMENTS: 29% B, 71% D

AREA = 0.31 AC

Op = 0.09 (2.03) + 0.22 (4.37) = 1.1 CFS

BASIN B: LAND TREATMENTS: 18% B, 82% D

AREA = 0.90 AC

Op = 0.16 (2.03) + 0.74 (4.37) = 3.6 CFS

BASIN C: LAND TREATMENTS: 18% B, 82% D

AREA = 0.83 AC

Op = 0.14 (2.03) + 0.65 (4.37) = 3.1 CFS

APPROVAL FOR ROUGH GRADING (±0.1')

CONDITION: TOP SOIL DISTURBANCE PERMIT REQUIRED PRIOR TO COMMENCING EARTHWORK OPERATIONS

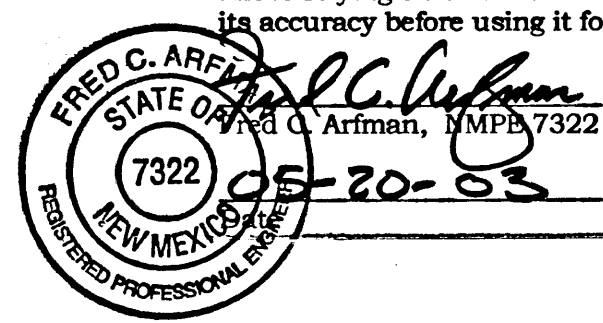
HYDROLOGY DIVISION
PUBLIC WORKS DEPARTMENT
CITY OF ALBUQUERQUE

DATE

DRAINAGE CERTIFICATION (FOR RECORD)

I, Fred C. Arfman, NMPE 7322, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and installed in substantial compliance with and in accordance with the design intent of the approved plan dated 10-29-02. The record information edited onto the original design document has been obtained by David C. Clausen, PLS, NMPS 6547, of the firm Clausen Surveying Company. I further certify that I have personally visited the project site on May 18, 2003 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque New Mexico

1231GRD.DWG.mw 1/16/03

Walgreens

FACILITIES PLANNING AND DESIGN
200 WILMOT ROAD
708-940-2500
DEERFIELD, IL 60015

PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:
☐ WALGREENS' CONSULTANT
☒ LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK UNLESS NOTED OTHERWISE BY:
☐ WALGREENS' CONTRACTOR
☐ LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW <input type="checkbox"/>	NEW <input type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	

LEGEND

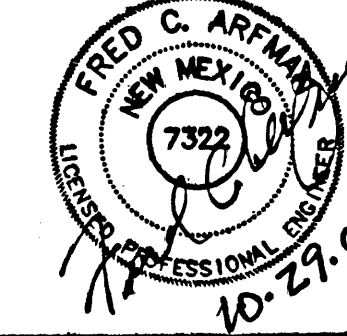
5040 EXISTING CONTOUR
40 PROPOSED CONTOUR
78.3 PROPOSED SPOT ELEVATION
FLOW ARROW
FF=5043.0 FINISH FLOOR ELEVATION
TC=81.95 TOP OF CURB ELEVATION
FL=81.45 FLOWLINE
PROPOSED RETAINING WALL
TW=42.0 TOP OF WALL ELEVATION
BW=38.0 BOTTOM OF WALL
STORM DRAIN MANHOLE
BASIN A BASIN ID
BASIN BOUNDARY

NO.	DATE	BY	DESCRIPTION	CONST.
1	1/20/03	ANW	ADDED SW GRADE @ NE CORNER OF SITE @ UNSER SW CONNECTION	
2	1/16/03	ANW	ADDED LANDSCAPING BERM GRADES, & GRADES AT NORTH BUILDING WALL	

REVISIONS

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF NEW MEXICO AS SIGNIFIED BY MY HAND AND SEAL.

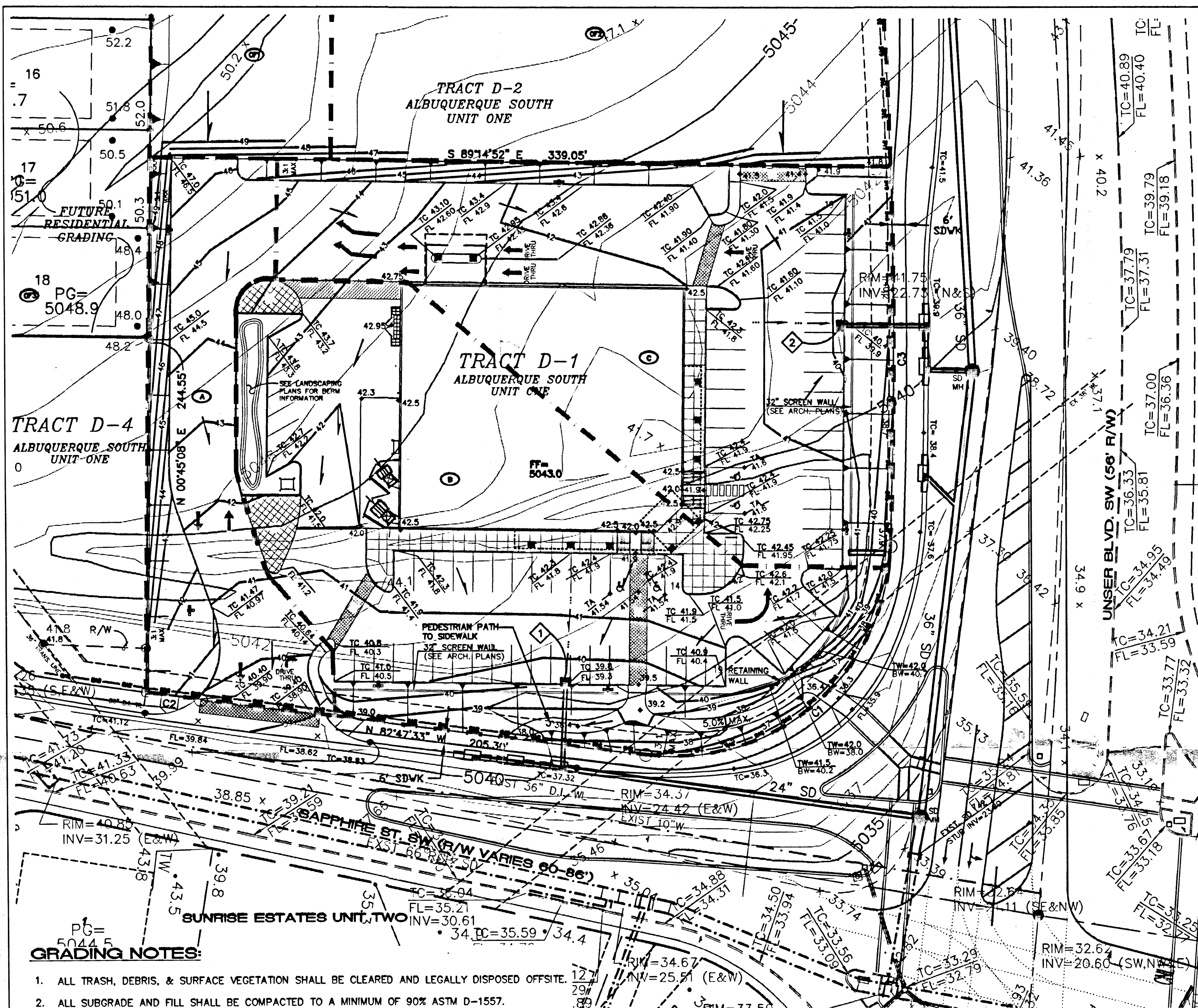


PROJECT NAME:
WALGREENS STORE
NVC UNSER BOULEVARD AND ARENAL ROAD
ALBUQUERQUE, NEW MEXICO

GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

DRAWING TITLE
GRADING & DRAINAGE PLAN
HYDROLOGY SECTION

DATE	STORE NO.	DRAWING NO.
12/20/02		1
DRAWN BY: ANW	SCALE: 1"=30'-0"	C-1
REVIEWED BY:	RELEASED TO CONSTRUCTION	
		OF 53 DWGS.



KEYED NOTES

- 1-TYPE D, SINGLE GRATE INLET
PER COA STD DWG #2206
TOP OF GRATE ELEV=39.3
INV OUT=35.2
INV IN=30.6
38 LF 18" SD
- 1-TYPE D, SINGLE GRATE INLET
PER COA STD DWG #2206
TOP OF GRATE ELEV=39.9
INV OUT=35.3
INV IN=34.0
37 LF 18" SD

EXISTING LEGAL DESCRIPTION: TRACT D-1, ALBUQUERQUE SOUTH, UNIT 1

AREA: 2.00 ACRES

BENCHMARK: ACS MONUMENT "1-M10"
ELEV = 5079.88

FLOOD ZONE DESIGNATION: NO PORTION OF THIS SITE LIES WITHIN A FLOOD PLAIN AS DESIGNATED ON PANEL 336 OF 825 OF THE FEMA FLOOD INSURANCE RATE MAP DATE SEPTEMBER 20, 1996 AND REVISED ON APRIL 15, 1999.

EXISTING CONDITIONS: THIS SITE IS AN UNDEVELOPED PARCEL OF LAND WITH NATIVE SHRUBS AND GRASSES, AND SLOPES DOWNHILL TO THE SOUTHEAST AT APPROXIMATELY 3%. UNSER BLVD BOUNDS THE PROPERTY TO THE EAST, AND SAPPHIRE ST BOUNDS IT TO THE SOUTH.

EXISTING OFFSITE FLOWS OF 3.4 CFS AND 4.7 CFS ENTER THE SITE FROM TRACT D-2 AND D-3 RESPECTIVELY (BASINS OF1, OF2, AND OF3). THE SITE GENERATES 2.7 CFS OF UNDEVELOPED STORM WATER FLOWS.

A 66" RCP STORM DRAIN IN THE SOUTH SIDE OF SAPPHIRE ST TURNS SOUTH IN UNSER BLVD.

EXISTING HYDROLOGY:
(PER THE METHOD DESCRIBED IN THE C.O.A. D.P.M. SECT. 22.2)

PRECIPITATION ZONE: 1

LAND TREATMENTS: 100% A

BASIN OF1:
AREA = 0.64 AC
Op = 0.64 (1.29) = 0.8 CFS

BASIN OF2:
AREA = 1.98 AC
Op = 1.98 (1.29) = 2.6 CFS

BASIN OF3:
AREA = 3.64 AC
Op = 3.64 (1.29) = 4.7 CFS

BASIN A:
AREA = 0.31 AC
Op = 0.31 (1.29) = 0.4 CFS

BASIN B:
AREA = 0.90 AC
Op = 0.90 (1.29) = 1.2 CFS

BASIN C:
AREA = 0.83 AC
Op = 0.83 (1.29) = 1.1 CFS

PROPOSED CONDITIONS: THIS SITE WILL BE A 14,560 SF WALGREENS SITE WITH 74 PARKING SPACES. FUTURE DEVELOPED OFFSITE FLOWS WILL ENTER THE SITE AT 2 COMMON ACCESS DRIVES TO THE NORTH. THIS SITE IS ADDRESSED AS BASIN 405 IN THE ARENAL/UNSER DRAINAGE MANAGEMENT PLAN APPROVED SEPTEMBER 23, 1997 (M10/D10), AND WAS ALSO COVERED IN THE DRAINAGE REPORT FOR TRACT D, ALBUQUERQUE SOUTH DATED AUGUST 3, 1999 (M10/D15).

AS PART OF THE DRAINAGE REPORT FOR TRACT D, TRACT D-3 WILL DISCHARGE 12.5 CFS TO SAPPHIRE ST IN THE FUTURE. THE COMBINED ALLOWED DISCHARGE FOR TRACTS D-1 AND D-2 IS 17.1 CFS. THE STORM DRAIN IN UNSER BLVD WILL BE EXTENDED TO THE NORTH PROPERTY LINE OF TRACT D-2, AND 3 INLETS ARE INSTALLED ON THE NORTH SIDE OF SAPPHIRE ST.

ASSUMING THAT FUTURE DEVELOPMENT WILL HAVE 90% TYPE D AND 10% TYPE B LAND TREATMENTS, BASIN OF1 CONTRIBUTES 2.7 CFS TO BASIN A, AND BASIN OF2 CONTRIBUTES 8.2 CFS TO BASIN C. BASIN A DISCHARGES 3.8 CFS DIRECTLY TO SAPPHIRE ST, WHERE IT IS CAPTURED BY THE NEW STORM INLETS (1.1 CFS FROM BASIN A COMBINED WITH 2.7 CFS FROM BASIN OF1). BASIN B DISCHARGES 3.6 CFS TO A TYPE D, SINGLE-GRATE INLET ON THE SOUTH SIDE OF THE PARKING LOT. BASIN C DISCHARGES 11.3 CFS (3.1 CFS FROM BASIN C AND 8.2 CFS FROM BASIN OF2) TO A TYPE D, SINGLE-GRATE INLET ON THE EAST CURB LINE OF THE EAST PARKING AREA. THE STORM WATER FLOWS FROM BASIN OF2 ARE TEMPORARY, AND WILL BE ALLOWED TO ENTER INTO THE UNSER SYSTEM DIRECTLY. THE PROJECT LAND TREATMENTS FOR LOT D-2 ARE LESS THAN THE 90% D AS FOUND IN THE MASTER DRAINAGE PLAN FOR TRACT D. THEREFORE, THE COMBINED PEAK FLOW WILL COMBINE TO MEET THE ALLOWABLE DISCHARGE OF 17.1 CFS. IF NOT, THE DEVELOPMENT OF LOT D-2 MUST HAVE MINOR DETENTION OF STORM WATER FLOWS IF A "BEATING-THE-PEAK" CANNOT BE DEMONSTRATED.

PROPOSED HYDROLOGY:
(PER THE METHOD DESCRIBED IN THE C.O.A. D.P.M. SECT. 22.2)

PRECIPITATION ZONE: 1

BASIN OF1: LAND TREATMENTS: 10% B, 90% D

AREA = 0.64 AC

Op = 0.06 (2.03) + 0.58 (4.37) = 2.7 CFS

BASIN OF2: LAND TREATMENTS: 10% B, 90% D

AREA = 1.98 AC

Op = 0.20 (2.03) + 1.78 (4.37) = 8.2 CFS

BASIN A: LAND TREATMENTS: 29% B, 71% D

AREA = 0.31 AC

Op = 0.09 (2.03) + 0.22 (4.37) = 1.1 CFS

BASIN B: LAND TREATMENTS: 18% B, 82% D

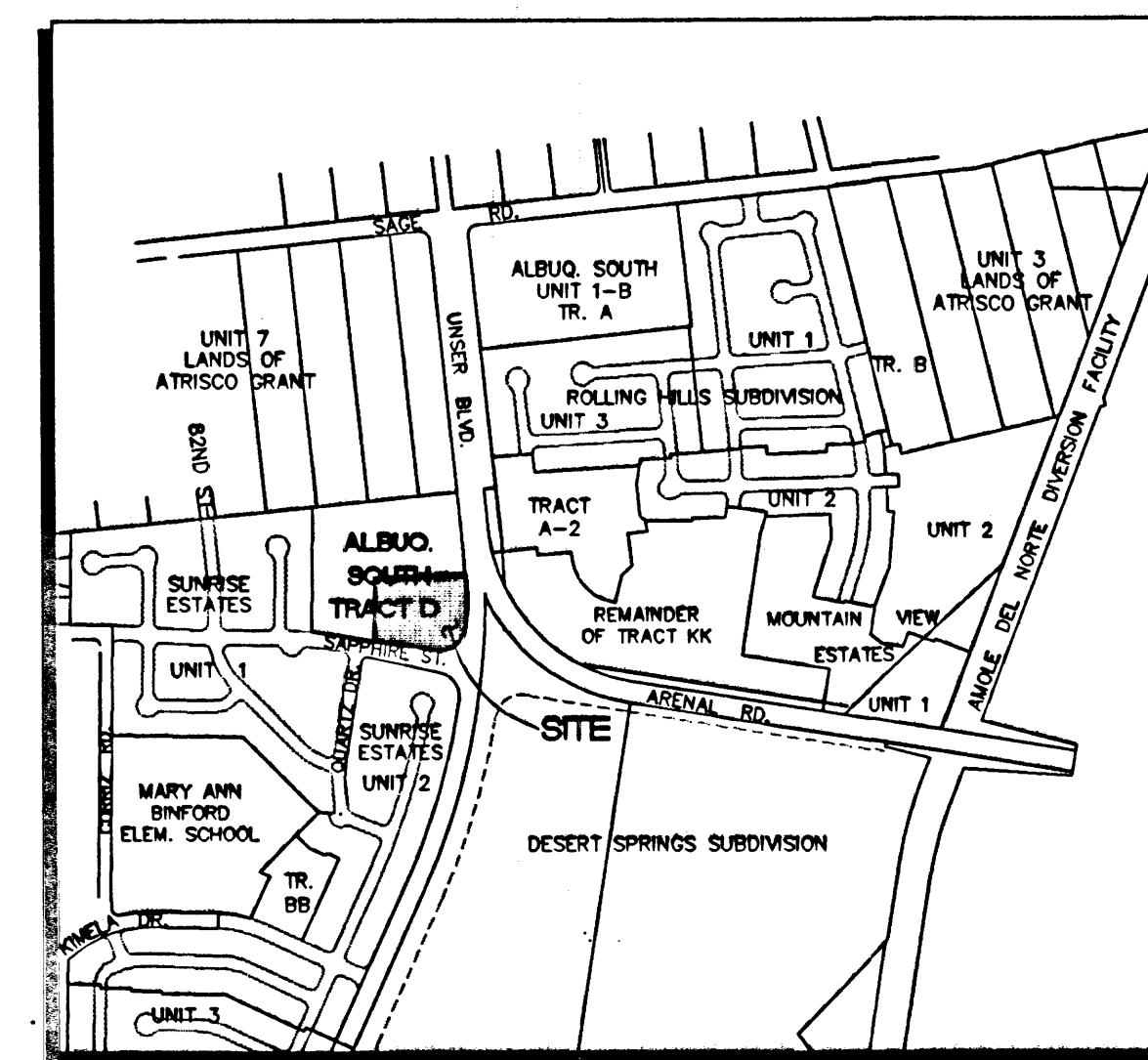
AREA = 0.90 AC

Op = 0.16 (2.03) + 0.74 (4.37) = 3.6 CFS

BASIN C: LAND TREATMENTS: 18% B, 82% D

AREA = 0.83 AC

Op = 0.14 (2.03) + 0.65 (4.37) = 3.1 CFS



VICINITY MAP

Walgreens

FACILITIES PLANNING AND DESIGN
200 WILMOT ROAD
708-940-2300

DEERFIELD, IL
60015

PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:

☒ WALGREENS' CONSULTANT

☐ LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:

☐ WALGREENS' CONTRACTOR

☐ LANDLORD'S CONTRACTOR

TURNKEY CONSTRUCTION

STORE

BUILDING

NEW ☐

REMODELING ☐

RELOCATION ☐

OTHERS ☐

NEW ☐

EXISTING ☐

NEW SHELL ONLY ☐

LEGEND

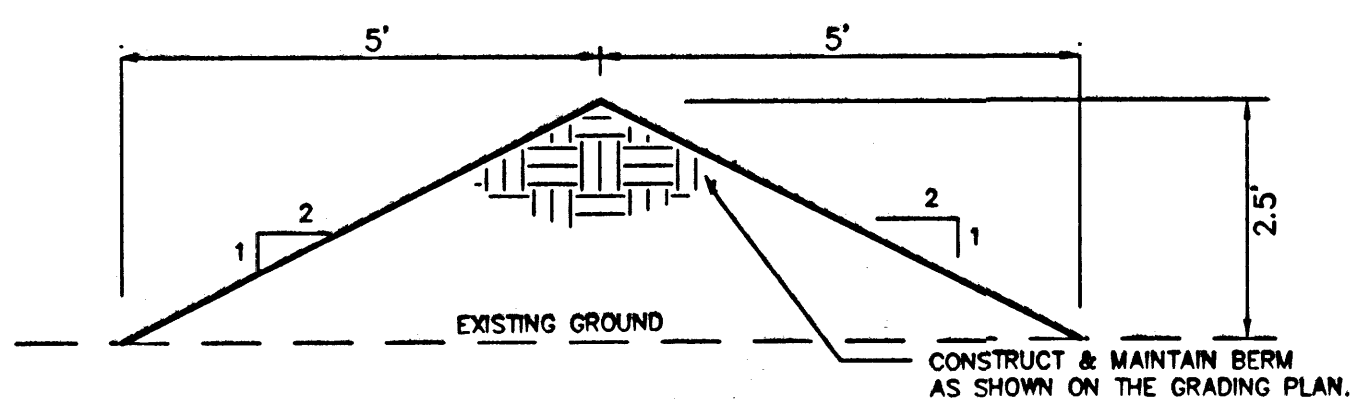
- 5040 EXISTING CONTOUR
- 40 PROPOSED CONTOUR
- 78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF=5043.0 FINISH FLOOR ELEVATION
- TC=81.95 TOP OF CURB ELEVATION
- FL=81.45 FLOWLINE
- PROPOSED RETAINING WALL
- TW=42.0 TOP OF WALL ELEVATION
- BW=38.0 BOTTOM OF WALL ELEVATION
- STORM DRAIN MANHOLE
- BASIN A BASIN ID
- BASIN BOUNDARY

GRADING NOTES:

1. ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OFFSITE.
2. ALL SUBGRADE AND FILL SHALL BE COMPACTED TO A MINIMUM OF 90% ASTM D-1557.
3. EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
4. CONFORM TO ELEVATIONS AND DIMENSIONS SHOWN ON PLANS WITHIN A TOLERANCE OF 0.3± FEET.
5. SCARIFY AND COMPACT SUBGRADE FOR FILLS. PLACE FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH. MOISTEN AS NECESSARY TO PROVIDE OPTIMUM MOISTURE (±2%) CONTENT.
6. UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCE, COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
7. MAXIMUM SLOPES SHALL BE 3:1 MINIMUM SLOPES SHALL BE 1%.
8. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
9. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
10. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT ERODED AND WASHED DOWN THE STREET.
11. OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. ALLOW TESTING SERVICE TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHALL COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT NO ADDITIONAL EXPENSE.
12. OWNER HAS ESTABLISHED SUBDIVISION BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING INCLUDING TRACT CORNERS. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS.

EROSION CONTROL

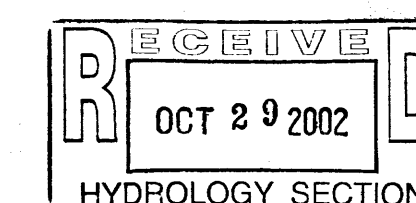
1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO THE PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING EROSION CONTROL BERMS (AS DETAILED AT RIGHT) AS SHOWN ON THE PLAN AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
2. THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY ENVIRONMENTAL HEALTH DEPARTMENT PRIOR TO BEGINNING CONSTRUCTION. AN EXCAVATION PERMIT IS REQUIRED FOR ALL WORK WITHIN PUBLIC RIGHT-OF-WAY.
3. SEE GRADING NOTES.



EROSION CONTROL BERM

SCALE: 1"=2"

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	100.00	165.93	109.26	147.54	N 49°40'21" E	95°04'12"
C2	2000.00	25.35	12.68	25.35	S 82°25'46" E	0°43'35"
C3	2722.00	173.73	86.89	173.70	N 00°18'32" E	3°39'25"



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque New Mexico

1231GRD.DWG.mw 10/28/02

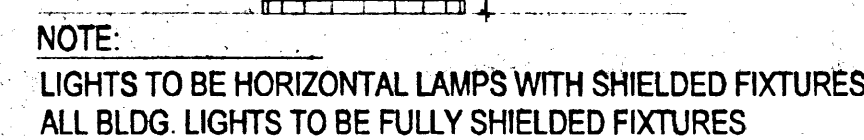
GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

DRAWING TITLE
GRADING & DRAINAGE PLAN

DATE	10/28/02	STORE NO.		DRAWING NO.	1
DRAWN BY:	ANV	SCALE:	1"=30'-0"		
REVIEWED BY:		RELEASED TO CONSTRUCTION			

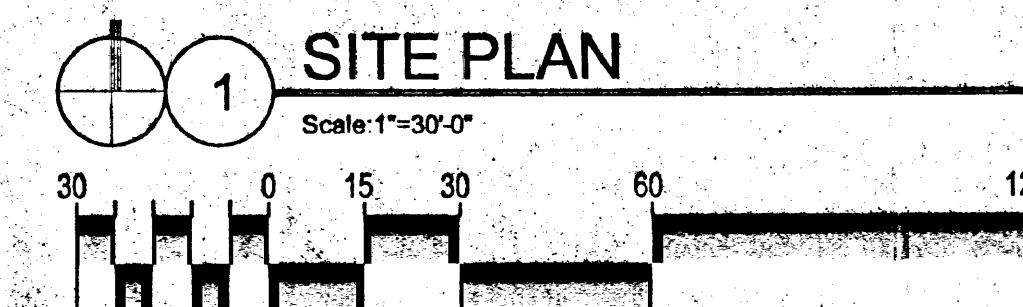
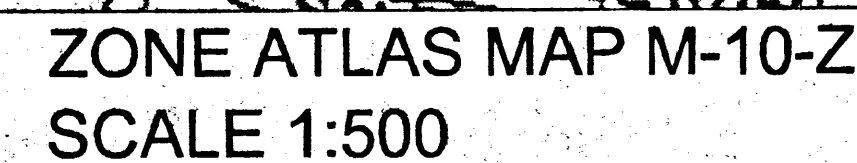
C-1

OF 53 DWGS.



- KEYED NOTES:

1. RAISED & TEXTURED CONCRETE LT. TAN
W/ ROLL-OVER CURB
2. TRANSFORMER LOCATION PER LOCAL REQ.
3. COMPACTOR LOCATION - PAD AND ENCLOSURE TO
CURRENT CITY REQUIREMENTS. SEE A1.4
4. SITE LIGHT. SEE 4/A1 & E0.1
5. WHITE PAINTED ARROW
6. WALGRANDES STANDARD MONUMENT SIGN. SEE A/5.1
7. NEW LANDSCAPE BUFFERS/ISLANDS. SEE CIVIL.
8. BICYCLE RACK LOCATION - 4 BIKES. SEE 11/A1.4
9. PROPOSED NEW CURB CUT. SIZE AND FINAL LOCATION
PER APPROVAL FROM LOCAL GOVERNMENTAL AGENCY.
10. NEW CONCRETE SIDEWALK
11. PEDESTRIAN CROSS WALK RAISED &
TEXTURED RED IN COLOR.
12. STRIPING, WHITE, 4" WIDE (TYPICAL)
13. HANDICAPPED SPACE WITH PAINTED SYMBOL &
SIGN PER CITY REQUIREMENTS.
14. HANDICAP VAN SPACE.
15. GAS METER & BOLLARDS PER LOCAL REQ. SEE MECH.
16. STANDARD ASPHALT PAVING FOR CAR TRAFFIC-
ASPHALTIC CONCRETE OVER SUBGRADE. SEE
GEOTECHNICAL REPORT.
17. GAS METER & BOLLARDS PER CITY STANDARDS
18. PHARMACY DRIVE THRU. SEE A4.4
19. 1:12 MAXIMUM SLOPE ON H/C RAMP. RED STAINED
CONCRETE.
20. NEW CONCRETE SIDEWALK SHALL TIE INTO EXISTING OR
NEW CITY SIDEWALK AS REQUIRED PER LOCAL CODE.
21. 8'-0" x 20'-0" TYPICAL YELLOW STRIPED HANDICAP
PARKING SPACE AND ACCESS AISLE.
22. 9'-0" x 18'-0" STALLS TYPICAL
23. HEAVY DUTY ASPHALT PAVING FOR TRUCK TRAFFIC-
ASPHALTIC CONCRETE OVER SUBGRADE. SEE
GEOTECHNICAL REPORT.
24. F.D. CONNECTION.
25. YELLOW PAINTED ARROW AND 24" HIGH LETTERS.
26. 9'-0" x 18'-0" STALLS TYPICAL



RECEIVED
OCT 31 2002
HYDROLOGY SECTION

Walgreens

FACILITIES PLANNING AND DESIGN
200 WILMOT ROAD
708-840-2500

DEERFIELD, IL
60015

PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:

☐ WALGREENS' CONSULTANT
☒ LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:

☐ WALGREENS' CONTRACTOR
☒ LANDLORDS'S CONTRACTOR

STORE	BUILDING
1	1
2	2
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100	100

STORE		BUILDING	
NEW	<input checked="" type="checkbox"/>	NEW	<input checked="" type="checkbox"/>
REMODELING ..	<input type="checkbox"/>	EXISTING	<input type="checkbox"/>
RELOCATION ..	<input type="checkbox"/>	NEW SHELL ONLY	<input type="checkbox"/>
OTHERS	<input type="checkbox"/>		

PROJECT INFORMATION

LOCATION:
DEVELOPMENT IS LOCATED AT THE NORTHWEST CORNER
OF UNSER BOULEVARD AND ARENAL ROAD
ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION: A CERTAIN TRACT OF LAND SITUATE WITHIN SECTION 34, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, TOWN OF ATRISCO GRANT BEING AND COMPRISING A PORTION OF TRACT D, ALBUQUERQUE SOUTH UNIT 1, BERNALILLO COUNTY, NEW MEXICO

ARCHITECTS:
GEORGE RAINHART ARCHITECT & ASSOCIATES, P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110

ZONING: SU-1/C-1 USES
FUTURE USES TO BE PERMISSIBLE AND CONDITIONAL TO C-1
FAR: LOT: 87,121/ BLDG: 14,560= 5.9

OCCUPANT LOAD: 381 OCCUPANTS

OCCUPANCY GROUP: M (MERCANTILE)

TOTAL ACREAGE: ± 2.00 ACRES

CONSTRUCTION TYPE: V-N SPRINKLERED

TOTAL BUILDING AREA: 14,560 SQUARE FEET

PARKING ANALYSIS:

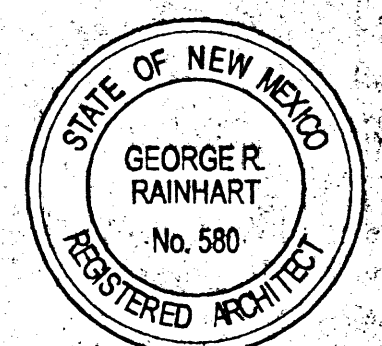
69 REQUIRED PARKING SPACES
74 PROVIDED PARKING SPACES
INCLUDING 71 STANDARD PARKING SPACES
AND 4 HANDICAP SPACES (1 VAN ACCESSIBLE SPACE)

12	9-20-02	MPS	MOVED N. PARKING TO W. BERM		
11	9-20-02	MPS	SHIFT BUILDING WEST 3'		
10	6-26-02	SMA	DRB COMMENTS		
9	6-21-02	SMA	WAG+COA COMMENTS		
8	4-26-02	FAW	ADDED LOT 19		
7	4-22-02	FAW	24' DRIVE @ NWC		
6	4-18-02	FAW	STORE SIZE @ 14,560		
5	3-4-02	FAW	NOTE MONUMENT SIGN		
4	2-29-02	FAW	LOT AREA OF 2.23 AC.		
3	2-26-02	FAW	PER WAG COMMENTS		
2	2-20-02	FAW	PER CAP II COMMENTS		
1	10-15-01	FAW	PER GRA COMMENTS		
NO.	DATE	BY	DESCRIPTION		CONST.

REVISIONS

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT
THIS PLAN AND SPECIFICATION WAS PREPARED BY
ME OR UNDER MY DIRECT
SUPERVISION AND THAT I
AM A DULY REGISTERED
ARCHITECT OR ENGINEER
UNDER THE LAWS OF THE
STATE OF NEW MEXICO
AS SIGNIFIED BY MY HAND
AND SEAL



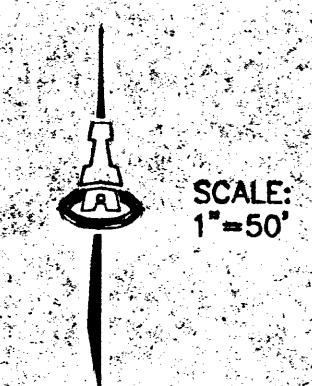
PROJECT NAME
WALGREENS STORE
NWC UNSER BOULEVARD AND ARENAL ROAD
ALBUQUERQUE, NEW MEXICO

GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

DRAWING TITLE
SITE PLAN FOR BLDG. PERMIT

DATE	08-16-01	STORE NO.	7442	DRAWING NO.	A1.0
DRAWN BY:	SMA	SCALE:	1"=30'-0"		
REVIEWED BY:		RELEASED TO CONSTRUCTION:		OF DWGS	

202



LEGAL DESCRIPTION

TRACT D, ALBUQUERQUE SOUTH, UNIT ONE (VOL. C34, FOLD 74; FILED 08/03/)

AREA

9.4835 ACRES - TOTAL TRACT
7.9131 AC. - NET AREA
1.5704 AC. - PUBLIC ROADWAY EASEMENT TO BE DEDICATED AS RIGHT-OF-WAY

APPROVED USES

RESIDENTIAL: 3.2928 ACRES
COMMERCIAL: 4.6205 ACRES

SITE ACCESS

RESIDENTIAL: THE RESIDENTIAL DEVELOPMENT SHALL BE SERVED BY A PUBLIC ROADWAY (46' R.O.W. : 28' F-F) OFF OF SAPPHIRE ST. SW

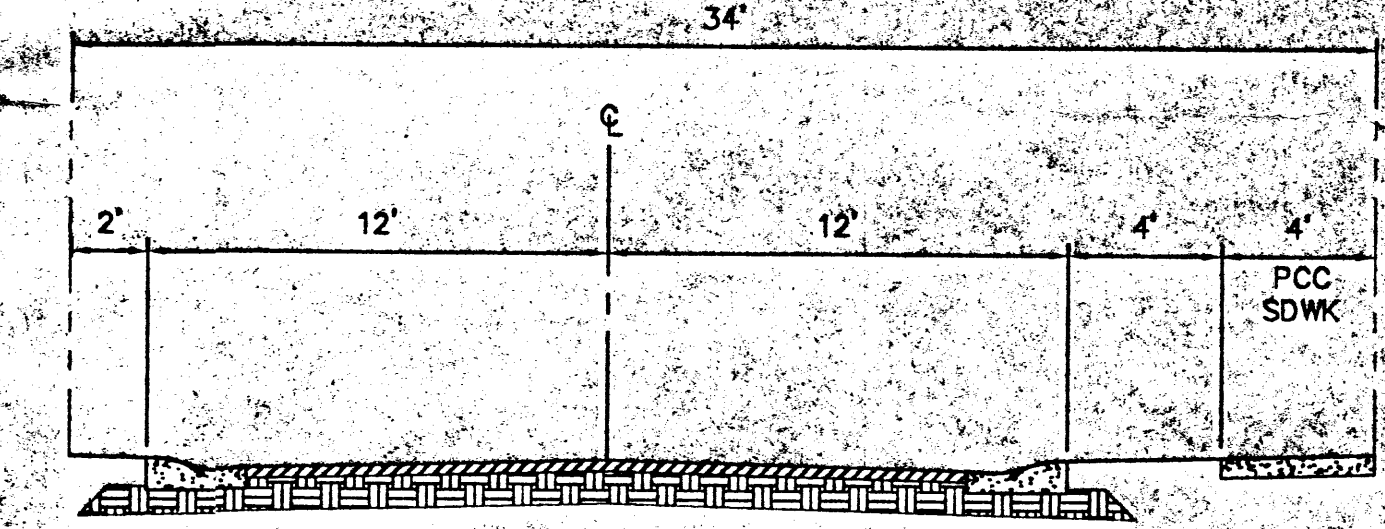
COMMERCIAL: PROPOSED TRACTS D-1 AND D-2 SHALL HAVE NO DIRECT VEHICULAR ACCESS OFF OF OR ONTO UNSER BLVD.

TRACT D-1: WALGREENS SITE SHALL BE LIMITED TO ACCESS ONTO SAPPHIRE STREET ONLY ON THE WESTERLY 110 FEET OF THE SITE AND MAY HAVE A FUTURE PRIVATE ACCESS CONNECTION TO THE CUL-DE-SAC THROUGH PROPOSED LOT 19. LOT 19 WOULD THEN BE DEVELOPED ONLY AS A PRIVATE LANDSCAPED AREA MAINTAINED BY THE WALGREENS DEVELOPMENT.

TRACT D-2: FUTURE COMMERCIAL TRACT SHALL BE ACCESSED THROUGH THE WALGREENS SITE WITHIN THE SHOWN PRIVATE ACCESS EASEMENTS.

DRAINAGE:

STORM WATERS GENERATED ON TRACT D-2 SHALL PASS THROUGH TRACT D-1 AND BE COLLECTED BY THE ONSITE STORM DRAINS AND THEN CONVEYED TO THE PUBLIC STORM DRAIN SYSTEMS IN SAPPHIRE STREET AND UNSER BLVD.



PEDESTRIAN ACCESS NOTE:

FINAL PLAT APPROVAL TO INCLUDE A 10' WIDE (MINIMUM) PEDESTRIAN ACCESS EASEMENT FROM THE RESIDENTIAL DEVELOPMENT TO THE VILLAGE CENTER CORE IN ACCORDANCE WITH THE EPC CONDITION OF APPROVAL NO. 3 (Z-99-64).

CASE NUMBER: Z-99-64, DRB-99-220

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on JUNE 17, 1999 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

N/A	Date
Now Mexico Utilities, Inc.	9/29/02
<i>Ruth A. Dan</i> Traffic Engineer, Transportation Division	Date
<i>Christina Sandoval</i> Design and Development, City Parks & Recreation	9/4/02
<i>Roger A. Huerfano</i> Public Works, Water Utilities Division	9/4/02
<i>Brad A. Bil</i> City Engineer, Engineering Division/AMAFCA	11/12/02
<i>Sharon Nelson</i> City Planner, Albuquerque/Bernalillo County Planning Division	12/03/2002

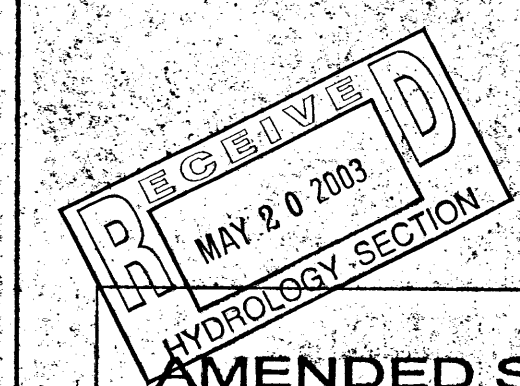
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

BOUNDARY CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	759.20	256.43	129.45	253.21	S 15°37'40" E	19°21'08"
C2	2799.99	290.49	145.38	290.36	N 02°34'50" E	5°56'39"

LEGEND

- LIMITED ACCESS ALONG UNSER BLVD. AND A PORTION OF SAPPHIRE ST. SW
- EXISTING CURB & GUTTER
- FUTURE ROADWAY IMPROVEMENTS ADJACENT TO TRACT D
- EXIST SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXIST WATER LINE
- PROPOSED 6" WATER LINE
- CONTOUR INTERVAL (10')



AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION PURPOSES

TRACT D
ALBUQUERQUE SOUTH, UNIT 1
JULY, 2002

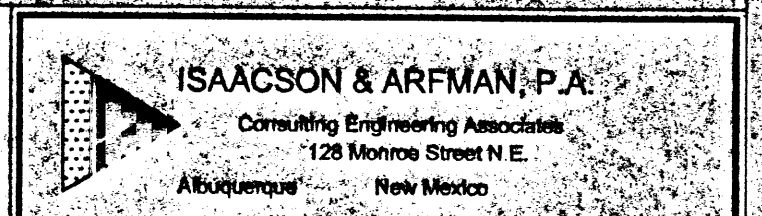


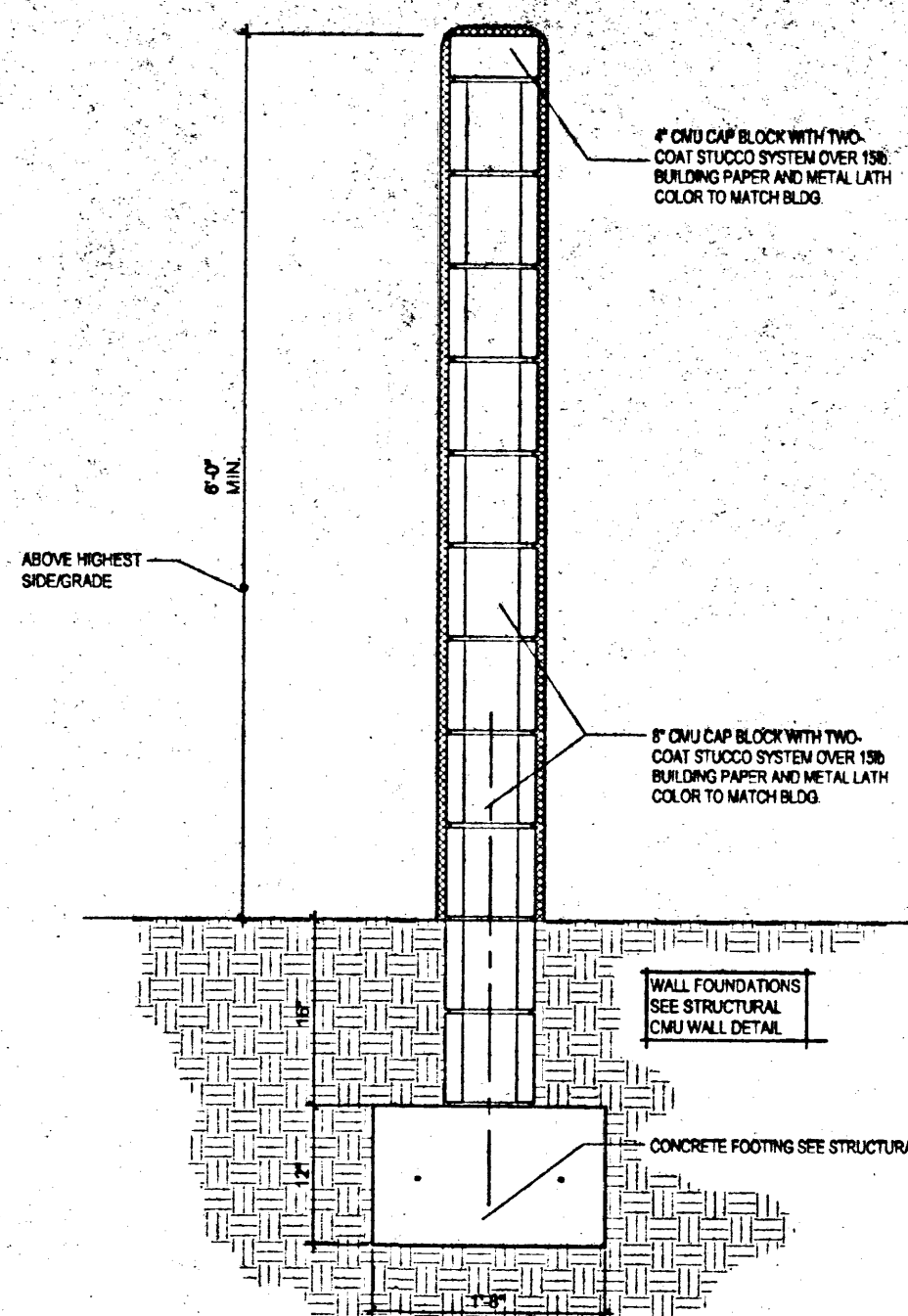
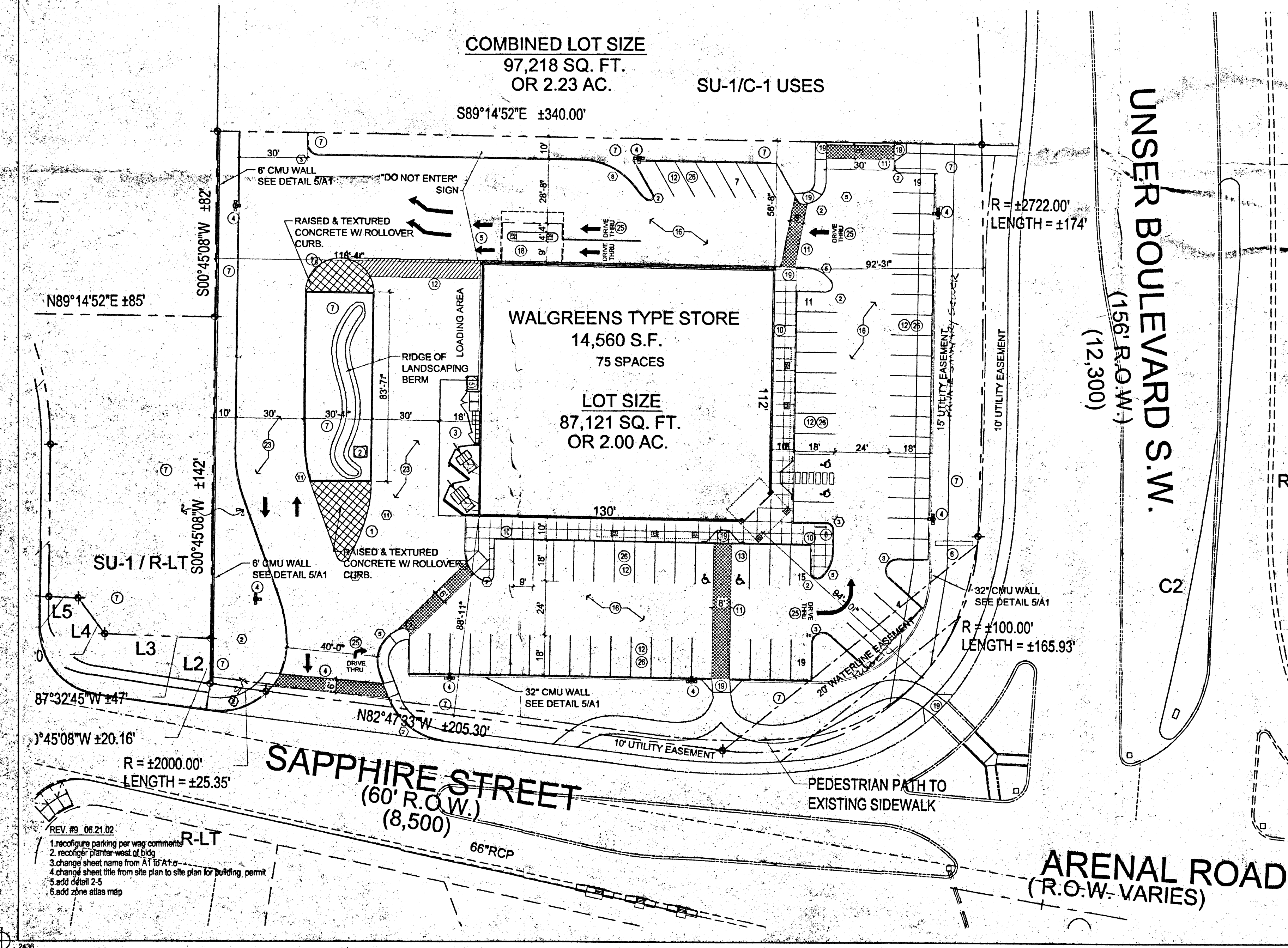
Diagram of a 10'0" x 2'0" sign structure. The structure is divided into two horizontal sections. The top section is labeled "50sf INTERNALLY ILLUMINATED SIGNAGE". The bottom section is labeled "50sf INTERNALLY ILLUMINATED READER BOARD". The overall dimensions are 10'0" in height and 2'0" in width. The diagram shows a cross-section of the structure with internal dimensions and labels.













3 NOT USED
Scale: Not to Scale

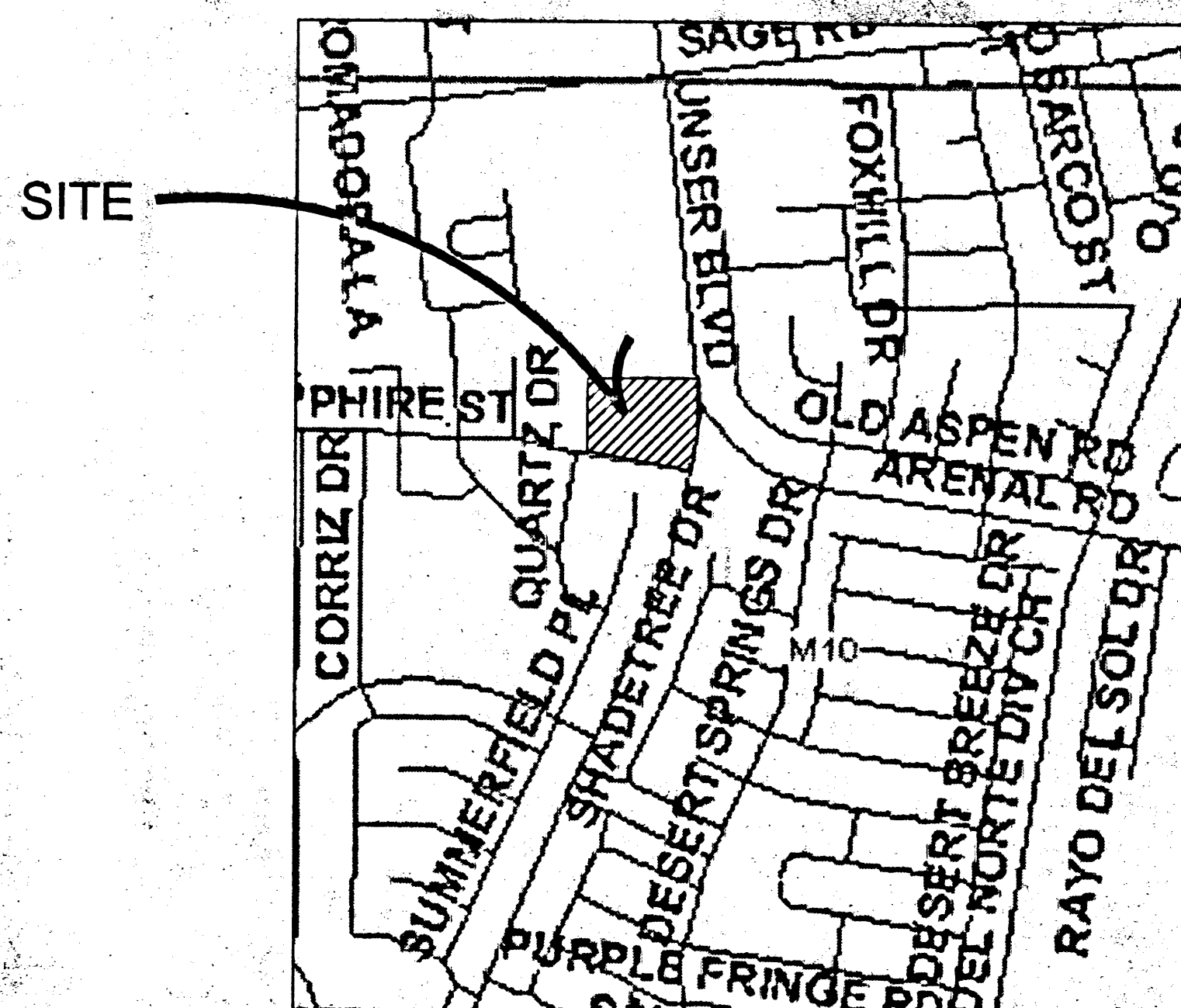
5 SCREEN WALL

- KEYED NOTES:**
1. RAISED CONCRETE W/ ROLL-OVER CURB
 2. TRANSFORMER LOCATION
 3. COMPACTOR LOCATION - PAD AND ENCLOSURE TO CURRENT CITY OF ALBUQUERQUE REQUIREMENTS.
 4. SITE LIGHT. SEE 4/A1
 5. WHITE PAINTED ARROW
 6. WALGREENS STANDARD MONUMENT SIGN.
SIGN SIZE AND TYPE PER APPROVAL
FROM LOCAL GOVERNMENT.
 7. NEW LANDSCAPE BUFFERS/ISLANDS
 8. BICYCLE RACK LOCATION - 4 BIKES. SEE 11/A1.4
 9. PROPOSED NEW CURB CUT. SIZE AND FINAL LOCATION PER
APPROVAL FROM LOCAL GOVERNMENTAL AGENCY.
 10. NEW CONCRETE SIDEWALK
 11. PEDESTRIAN CROSS WALK RAISED & TEXTURED MIN. 6" WIDE.
 12. STRIPING, WHITE, 4" WIDE (TYPICAL)
 13. HANDICAPPED SPACE WITH PAINTED SYMBOL AND SIGN PER
CITY OF ALBUQUERQUE REQUIREMENTS.
 14. HANDICAP VAN SPACE.
 15. GAS METER PER LOCAL REQ. SEE MECH.
 16. STANDARD ASPHALT PAVING FOR CAR TRAFFIC- ASPHALTIC
CONCRETE OVER SUBGRADE. SEE GEOTECHNICAL REPORT
FOR THICKNESS AND ALL OTHER RECOMMENDATIONS
 17. GAS METER PER CITY STANDARDS
 18. PHARMACY DRIVE THRU
 19. 1:12 MAXIMUM SLOPE ON HC RAMP. RED STAINED CONCRETE.
 20. NEW CONCRETE SIDEWALK SHALL TIE INTO EXISTING OR NEW
CITY SIDEWALK AS REQUIRED PER LOCAL CODE.
 21. 8'-0" x 20'-0" OR 18'-0" TYPICAL STRIPED HANDICAP
PARKING SPACE AND ACCESS AISLE.
 22. 9'-0" x 18'-0" OR 19'-0" STALLS TYPICAL
 23. HEAVY DUTY ASPHALT PAVING FOR TRUCK TRAFFIC- ASPHALTIC
CONCRETE OVER SUBGRADE. SEE GEOTECHNICAL REPORT
FOR THICKNESS AND ALL OTHER RECOMMENDATIONS
 24. NOT USED
 25. YELLOW PAINTED ARROW AND 24" HIGH LETTERS.
 26. 9'-0" x 18'-0" STALLS TYPICAL

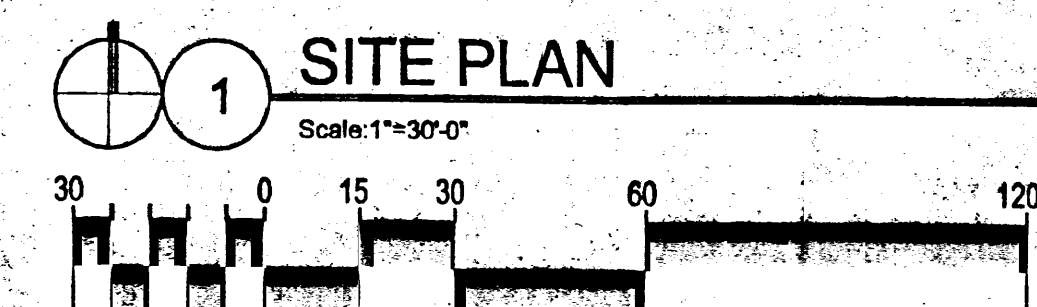
AND 4 HANDICAP SPACES (1 VAN ACCESSIBLE SPACE)

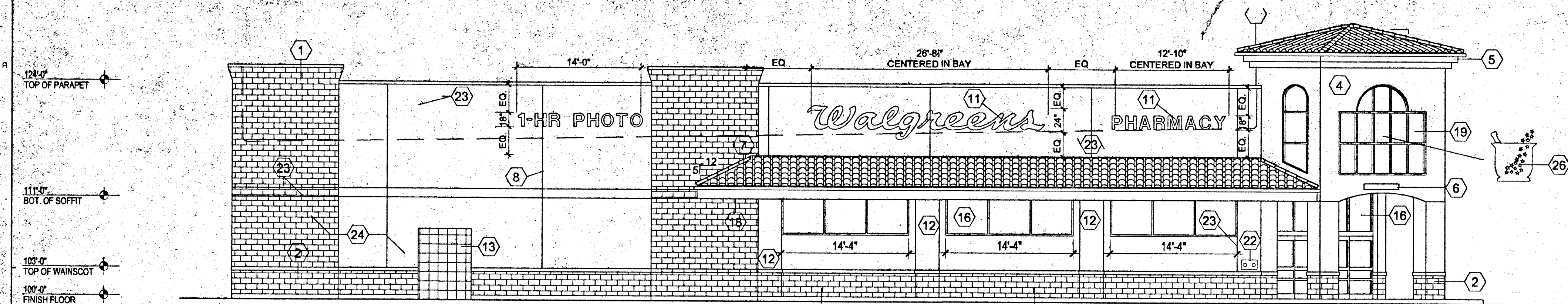
2002

- ## RADIUS INFORMATION:
- | | |
|---|---|
|  1 RADIUS = 2'-0" |  7 RADIUS = 25'-0" |
|  2 RADIUS = 3'-0" |  8 RADIUS = 30'-0" |
|  3 RADIUS = 5'-0" |  9 RADIUS = 40'-0" |
|  4 RADIUS = 10'-0" |  10 RADIUS = 50'-0" |
|  5 RADIUS = 15'-0" |  11 RADIUS = 60'-0" |
|  6 RADIUS = 20'-0" |  12 RADIUS = 100'-0" |

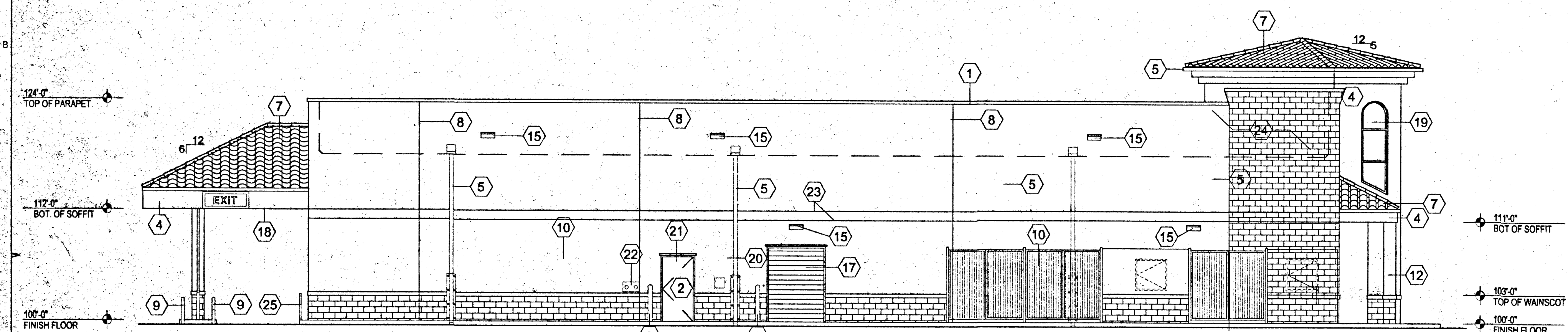


ZONE ATLAS MAP M-10-Z
SCALE 1:500

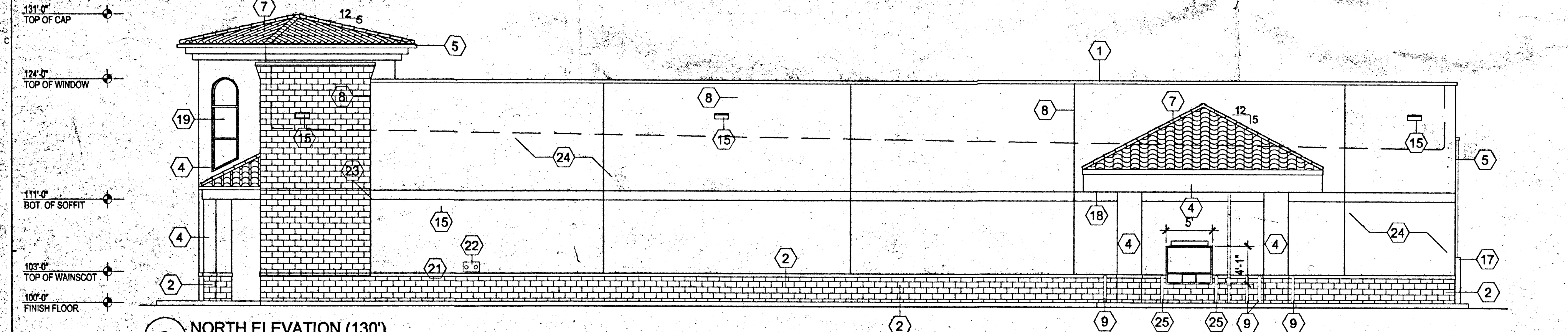




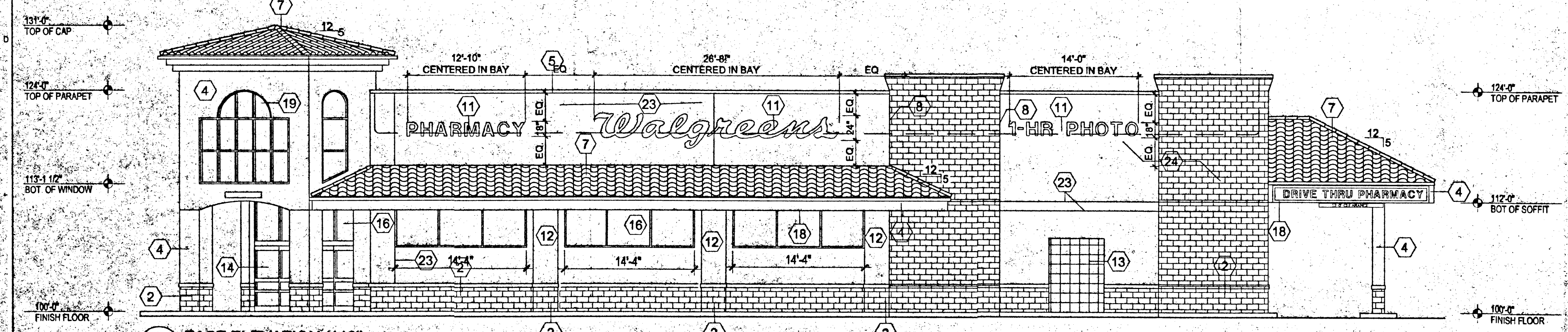
1 SOUTH ELEVATION (130')
1/8" = 1'-0"



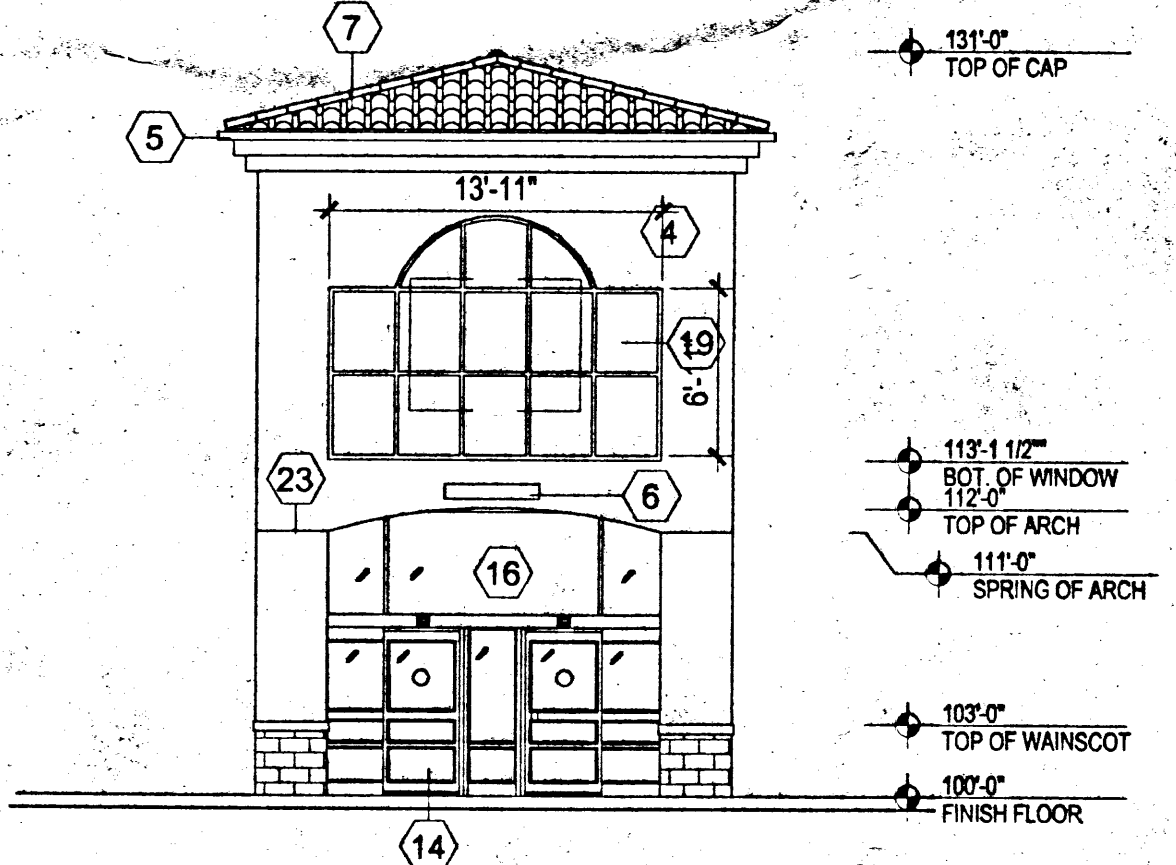
2 WEST ELEVATION (112')
1/8" = 1'-0"



3 NORTH ELEVATION (130')
1/8" = 1'-0"



4 EAST ELEVATION (112')
1/8" = 1'-0"



5 FRONT TOWER ELEVATION
1/8" = 1'-0"

KEYED NOTES

- EIFS FINISH OVER FOAM CORNICE, UNCLAD "ALMOND". SEE 4/A2.3.
- SPLIT-FACE BLOCK TO PAINT TO MATCH "BM 1032".
- TOILE ENVELOURE WITH METAL GATES PAINT TO MATCH BUILDING.
- ELASTOMERIC FINISH COAT ON PORTLAND CEMENT STUCCO BASE OVER 20 GA LATH AND PAPER ON STRUCTURAL SHEATHING, (COLOR TO MATCH BM #951).
- PREFINISHED SHEET METAL, GUTTERS AND DOWNSPOUT, COLOR TO MATCH UNCLAD "ALMOND".
- BUILDING ADDRESS NUMBERS PER CITY REQ.
- MONIER ROOF TILE, SIGNATURE SERIES "MISSION" "S" STYLE, PRATO #16970 COLOR BLEND, ON 1" x 2" BATTENS ON 30" FELT ON STRUCTURAL SHEATHING.
- MASONRY CONTROL JOINT, SEE STRUCTURAL FOR LOCATIONS.
- STEEL PIPE BOLLARDS, SEE DETAIL 5/A1.4.
- COMPACTOR/TOTE ENCLOSURE WITH METAL GATES, SEE A1.4.
- TENANT SIGNAGE, PROVIDE ELECTRICAL JUNCTION BOXES ON REAR OF WALL FOR INDIVIDUAL LETTERS ILLUMINATED. SEE ELECTRICAL.
- CMU COLUMNS W/ ELASTOMERIC FINISH COAT ON PORTLAND CEMENT STUCCO BASE (COLOR TO MATCH "BM #951").
- 2X2 TUBE STEEL TRELLIS PAINT TO MATCH "BM 1032".
- AUTOMATIC SLIDING DOOR ENTRANCE/EXIT. SEE DETAILS 88/9/A1.3.
- LIGHT FIXTURE, SEE ELECTRICAL.
- CLEAR ANODIZED STOREFRONT SYSTEM WITH 1" TINTED INSULATING GLAZING SEE A4.3.
- 1/8" THICK BENT STEEL PLATE (TO PROTECT DOWNSPOUT) BOLTED TO MASONRY COPE AROUND BULLNOSE. SEE DETAIL 2/A1.3.
- SOFFIT BEYOND PAINT TO MATCH "BM #946".
- CLEAR ANODIZED STOREFRONT SYSTEM WITH 1/4" CLEAR GLAZING, SEE A4.3.
- STEEL ROLLING DOOR W/ HEAD DRIP FLASHING, PAINT TO MATCH "BM # 1032".
- PAINTED HOLLOW METAL DOOR AND FRAME WITH HEAD-DRIP FLASHING, PAINT TO MATCH "BM #1032".
- WALL HYDRANT, SEE PLUMBING PLAN.
- 1/4" x 1/4" STUCCO REVEAL JOINT, KEENE #40 OR EQUIVALENT.
- ELASTOMERIC FINISH COAT ON PORTLAND CEMENT STUCCO BASE ON CMU (COLOR TO MATCH BM #946).
- FLEXIBLE DELINEATOR POST.
- NEON MORTER & PESTAL SIGN 20SF.

Walgreens
FACILITIES PLANNING AND DESIGN
200 WILMOT ROAD
708 940 2500
DEERFIELD, IL 60015

PROJECT TYPE
DRAWINGS/SPECIFICATIONS BY:
☐ WALGREENS' CONSULTANT
☒ LANDLORD'S CONSULTANT
ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE BY:
☐ WALGREENS' CONTRACTOR
☒ LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW <input checked="" type="checkbox"/>	NEW <input checked="" type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	

PROJECT INFORMATION

SIGN AREA SUMMARY

EAST ELEVATION	
26'-8 1/2"x36" WALGREENS SCRIPT SIGN	55.8 SF
18" PHARMACY	19.2 SF
18" 1 HR PHOTO	21.0 SF
10" DRIVE THRU PHARMACY BOX SIGN	12.6 SF
	108.6 SF

WEST ELEVATION	
10" EXIT BOX SIGNAGE	2.16 SF

TOWER SIGN	
PRIMARY PANEL	20.0

SOUTH ELEVATION	
26'-8 1/2"x36" WALGREENS SCRIPT SIGN	55.8 SF
18" PHARMACY	19.2 SF
18" 1 HR PHOTO	21.0 SF
	96 SF

NORTH ELEVATION	
	0.0 SF

MONUMENT SIGN	
PRIMARY PANEL	50.0
READER BOARD	50.0
	100.0 SF

BUILDING TOTAL	328.8 SF
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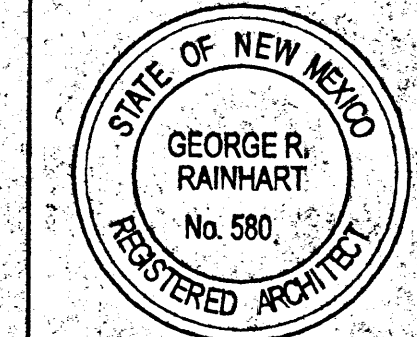
SIGNAGE BY SEPARATE PERMIT

NO.	DATE	BY	DESCRIPTION	CONST.
8				
7				
6				
5				
4				
3				
2				
1				

REVISIONS

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF NEW MEXICO AS SIGNIFIED BY MY HAND AND SEAL.



PROJECT NAME
WALGREENS STORE
NWC UNSER BOULEVARD AND ARENAL ROAD
ALBUQUERQUE, NEW MEXICO

GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877
www.gra-arch.com

DRAWING TITLE
ELEVATIONS

DATE 06-21-02	STORE NO.	DRAWING NO.
DRAWN BY SMA	SCALE 1/8" = 1'-0"	A2.1
REVIEWED BY	RELEASED TO CONSTRUCTION	OF DWGS.

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

UNSER BLVD.

Required 7 Provided 7

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

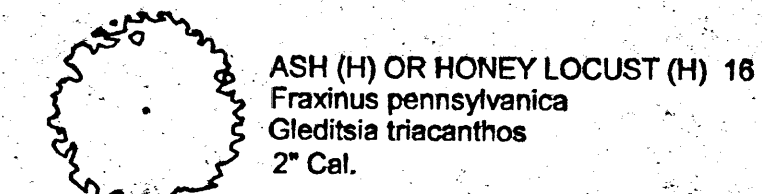
Mesa Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

LANDSCAPE CALCULATIONS

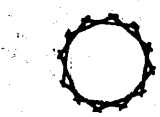
NET LANDSCAPE AREA

TOTAL LOT AREA	87,121	square feet
TOTAL BUILDINGS AREA	14,560	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	72,561	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	10,884	square feet
TOTAL LANDSCAPE PROVIDED	21,458	square feet
TOTAL BED PROVIDED	21,458	square feet
TOTAL SOD PROVIDED	0	square feet
TOTAL NATIVE SEED PROVIDED	0	square feet

PLANT LEGEND



ASH (H) OR HONEY LOCUST (H) 18
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal.



DESERT WILLOW (L) 8
Chilopsis linearis
15 Gal.



RED YUCCA (L) 22
Hesperaloe parviflora
5 Gal.



MAIDENGRASS (M) 17
Miscanthus sinensis
5 Gal. 16sf



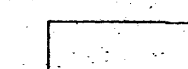
RUSSIAN SAGE (M) 39
Perovskia atriplicifolia
5 Gal.



CHAMISA (L) 34
Chrysothamnus nauseosus
1 Gal. 25sf



WILDFLOWER 48
1 Gal. 4sf



MESA BROWN GRAVEL
WITH FILTER FABRIC



AUSTRIAN PINE (H) 8
Pinus nigra
6"-8"



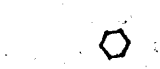
PALM YUCCA (L) 4



APACHE PLUME (L) 28
Fallugia paradoxa
5 Gal. 25sf



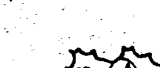
LANAS/ SCOTCH BROOM (M) 7
Cytisus scoparius/
Genista hispanica
5 Gal.



AUTUMN SAGE (M) 36
Salvia greggii
2 Gal. 9sf



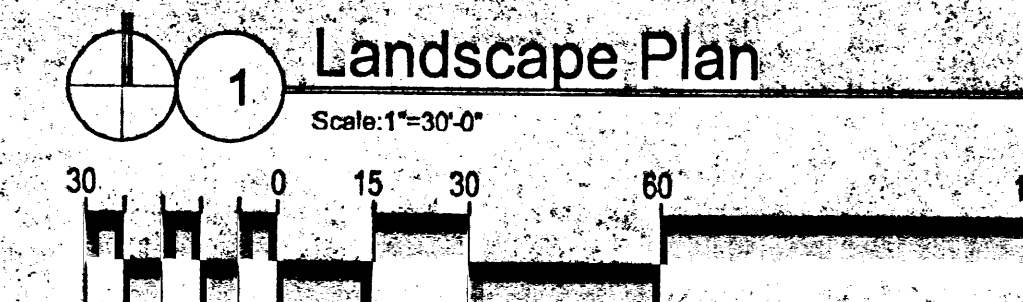
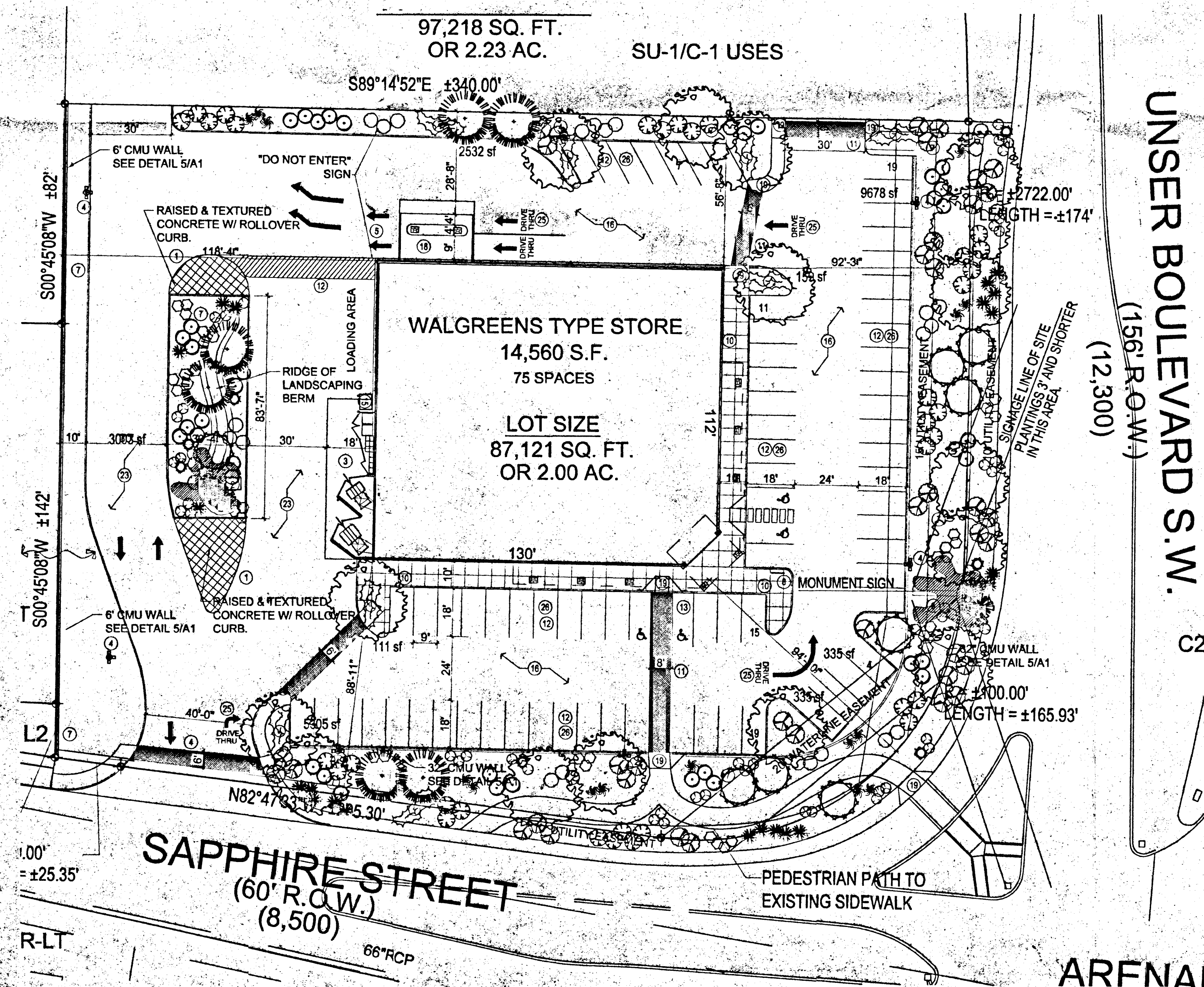
HONEYSUCKLE (M) 38
Lonicera sempervirens
1 Gal. 200sf
Unstaked-Groundcover



TAM JUNIPER (M) 24
Juniperus sabina
5 Gal. 225sf



OVERSIZED GRAVEL
& 4 BOULDERS



The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS

Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
IW@hilltoplandscaping.com

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Walgreens

FACILITIES PLANNING AND DESIGN
200 WILMOT ROAD
708-940-2500

DEERFIELD, IL
60015

PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:

☐ WALGREENS' CONSULTANT
☒ LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK UNLESS NOTED OTHERWISE BY:

☐ WALGREENS' CONTRACTOR
☒ LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW <input checked="" type="checkbox"/>	NEW <input checked="" type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	

PROJECT INFORMATION

LOCATION: DEVELOPMENT IS LOCATED AT THE NORTHWEST CORNER OF UNSER BOULEVARD AND ARENAL ROAD, ALBUQUERQUE, NEW MEXICO

ARCHITECTS:
GEORGE RAINHART ARCHITECT & ASSOCIATES, P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110

ZONING:

OCCUPANT LOAD: 381 OCCUPANTS

OCCUPANCY GROUP: M (MERCANTILE)

TOTAL ACREAGE: ± 2.23 ACRES

CONSTRUCTION TYPE: V-N SPRINKLERED

TOTAL BUILDING AREA: 14,560 SQUARE FEET

PARKING ANALYSIS:
69 REQUIRED PARKING SPACES
78 PROVIDED PARKING SPACES
INCLUDING 74 STANDARD PARKING SPACES
AND 4 HANDICAP SPACES (1 VAN ACCESSIBLE SPACE)

NO.	DATE	BY	DESCRIPTION	CONST.
2	8/27/02	cmd	tpc comments	
1			PER G.R.A. COMMENTS	

REVISIONS

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF NEW MEXICO AS SIGNIFIED BY MY HAND AND SEAL.

PROJECT NAME
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NWC UNSER BOULEVARD AND ARENAL ROAD
ALBUQUERQUE, NEW MEXICO

GEORGE RAINHART ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

DRAWING TITLE
LANDSCAPE PLAN

DATE: 6/25/02	STORE NO.:	DRAWING NO.:
DRAWN BY: CMD	SCALE: 1"=30'-0"	L1
REVIEWED BY:	RELEASED TO CONSTRUCTION	OF DWGS: