

# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 4, 2002

Martin J. Garcia  
ABQ Engineering  
1631 Eubank NE,  
Albuquerque, New Mexico 87199

**RE: Engineer's Certification For Coors/Arenal Park (M10-D16) Dated May 20, 2002**

Dear Mr. Garcia:

The above Engineer's Certification for the referenced site received May 21, 2002 is approved for Final Plat action at DRB. If you have any questions please call me at 924-3982.

Sincerely,



Carlos A. Montoya

City Floodplain Administrator



May 21, 2002

Mr. Brad Bingham  
Senior Engineer  
City of Albuquerque  
Public Works Department  
Development and Building Services  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

RE: Arenal/Coors Industrial Park Subdivision COA Project #667082

Dear Mr. Bingham:

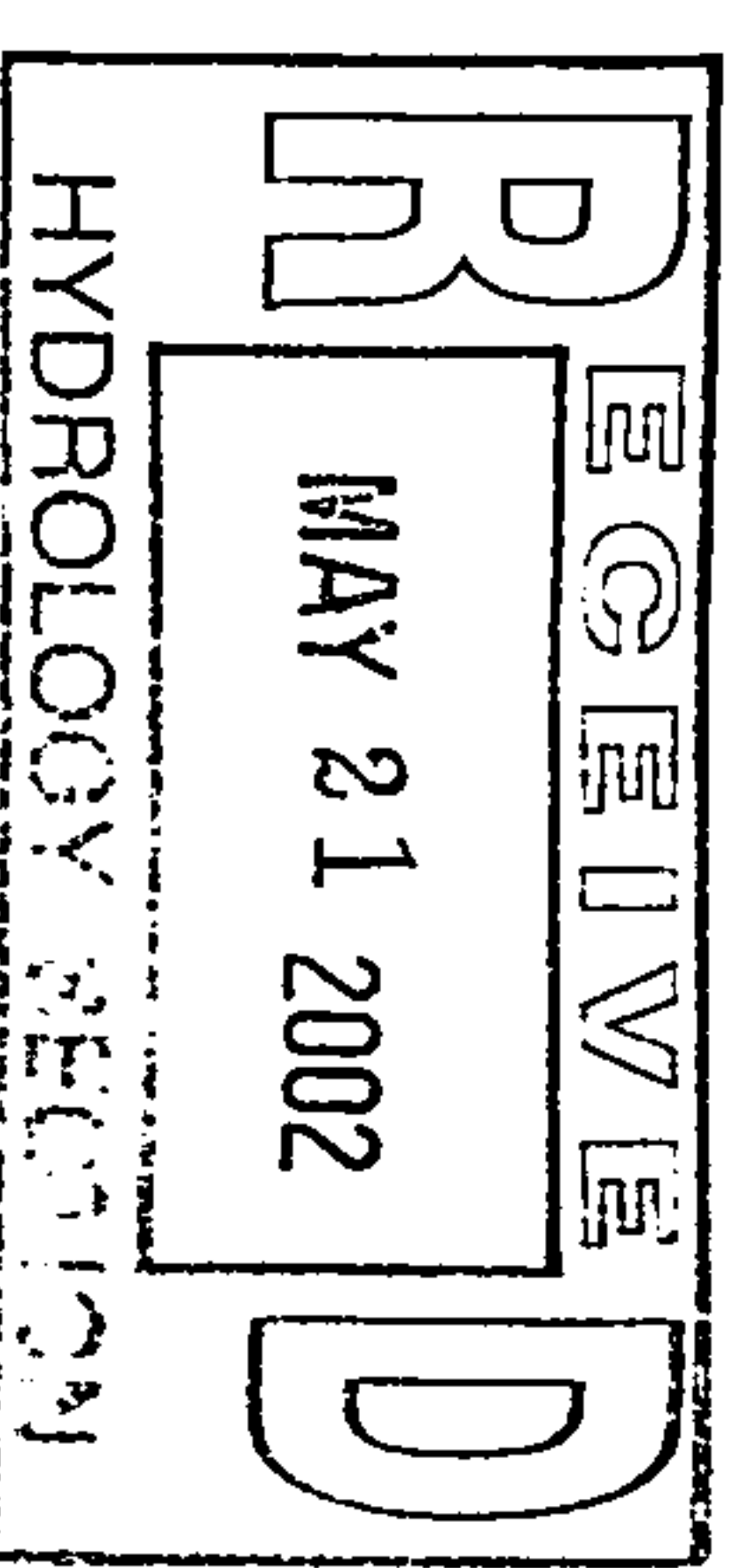
Submitted herewith for your review and approval is the As-Built Grading and Drainage Plan for Arenal/Coors Industrial Park Subdivision. Please note that the only change from the approved Grading and Drainage plan is in the vicinity of the Southwest corner of Lot 1. The roadway grade was raised at that location causing a greater differential than anticipated. The property has been graded to provide for a safe slope off of the roadway. Also included is the Engineer's Certification of the Grading and Drainage Plan as we discussed.

If you have any questions, or require additional information, please call me at 255-7802.

Sincerely,

Martin J. Garcia, P.E.  
Civil Engineer

ABQ Engineering, Inc  
22008



**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV. 1/11/2002)

PROJECT TITLE: Coors-Avenue Park EPC#: \_\_\_\_\_ ZONE MAP/DRG. FILE #: M-10/2016  
DRB #: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: \_\_\_\_\_  
CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: ASO Engineering Inc.  
ADDRESS: 1631 Eubank Blvd. NE Suite C  
CITY, STATE: Albuquerque NM 87112  
CONTACT: Martin Garcia  
PHONE: (505) 255-7802  
ZIP CODE: 87112

OWNER: Kimberly Huse  
ADDRESS: Coors Blvd SW  
CITY, STATE: Albuquerque, NM  
CONTACT: Kim Huse  
PHONE: 405-850-2142  
ZIP CODE: \_\_\_\_\_

ARCHITECT: W.A.  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_  
CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: ASO Engineering Inc.  
ADDRESS: 1631 Eubank Blvd. NE Suite C  
CITY, STATE: Albuquerque NM  
CONTACT: Michael J. Garcia  
PHONE: \_\_\_\_\_  
ZIP CODE: 87112

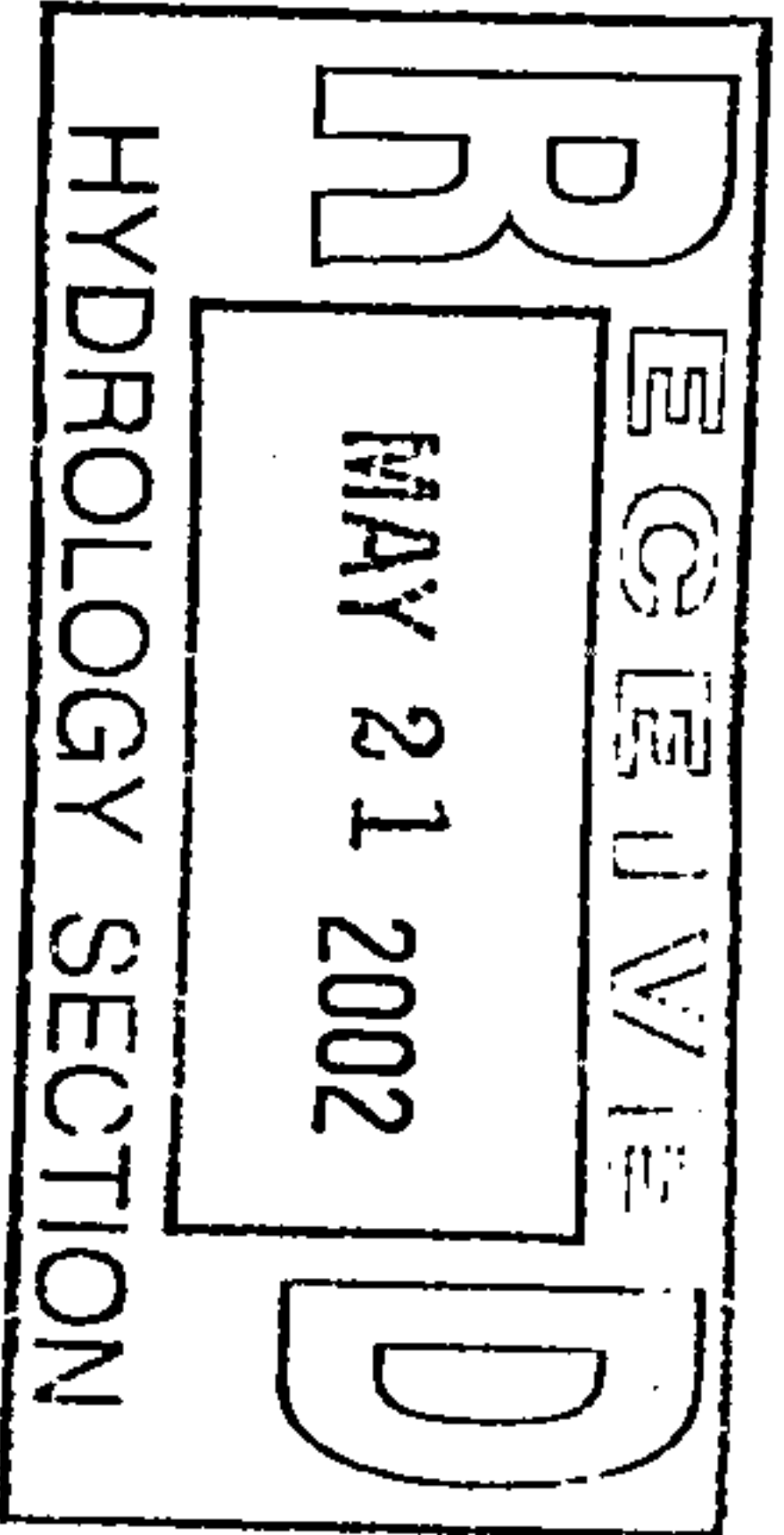
CONTRACTOR: State As Owner  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_  
CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CHECK TYPE OF SUBMITTAL:  
DRAINAGE REPORT \_\_\_\_\_  
DRAINAGE PLAN \_\_\_\_\_  
CONCEPTUAL GRADING & DRAINAGE PLAN \_\_\_\_\_  
GRADING PLAN \_\_\_\_\_  
EROSION CONTROL PLAN \_\_\_\_\_  
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)  
CLOMR/LOMR \_\_\_\_\_  
TRAFFIC CIRCULATION LAYOUT (TCL) \_\_\_\_\_  
ENGINEERS CERTIFICATION (TCL) \_\_\_\_\_  
ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN) \_\_\_\_\_  
☒ OTHER As Baur G'd Plan

CHECK TYPE OF APPROVAL SOUGHT:  
SIA / FINANCIAL GUARANTEE RELEASE \_\_\_\_\_  
PRELIMINARY PLAT APPROVAL \_\_\_\_\_  
☒ S. DEV. PLAN FOR SUB'D. APPROVAL  
S. DEV. PLAN FOR BLDG. PERMIT APPROVAL \_\_\_\_\_  
SECTOR PLAN APPROVAL \_\_\_\_\_  
☒ FINAL PLAT APPROVAL  
FOUNDATION PERMIT APPROVAL \_\_\_\_\_  
BUILDING PERMIT APPROVAL \_\_\_\_\_  
CERTIFICATE OF OCCUPANCY (PERM.) \_\_\_\_\_  
CERTIFICATE OF OCCUPANCY (TEMP.) \_\_\_\_\_  
GRADING PERMIT APPROVAL \_\_\_\_\_  
PAVING PERMIT APPROVAL \_\_\_\_\_  
WORK ORDER APPROVAL \_\_\_\_\_  
OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
YES \_\_\_\_\_  
NO \_\_\_\_\_  
COPY PROVIDED \_\_\_\_\_

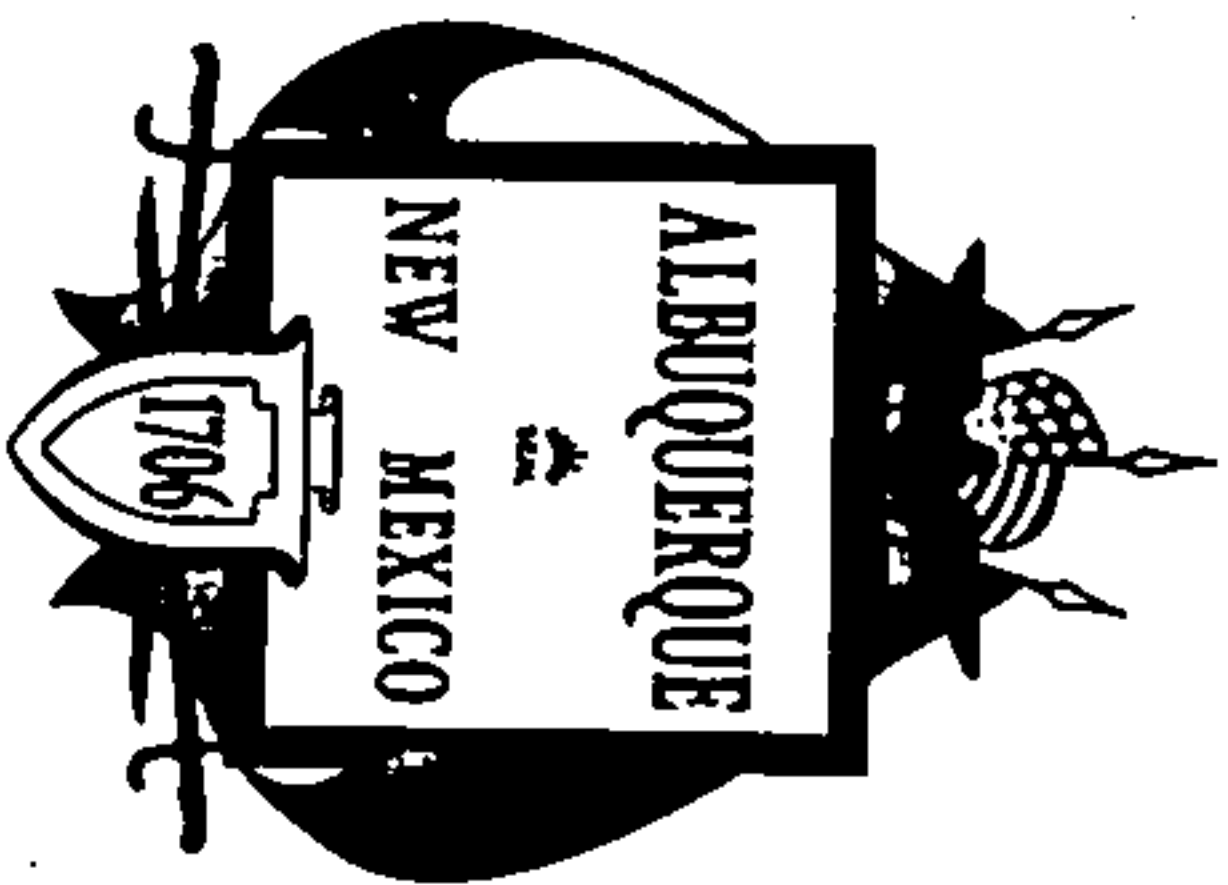
DATE SUBMITTED: \_\_\_\_\_ BY: \_\_\_\_\_



Requests for approvals of Site Development Plans and/or Subdivision Plans shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.





# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 23, 2002

Martin J. Garcia  
ABQ Engineering  
1631 Eubank NE,  
Albuquerque, New Mexico 87199

**RE: Grading and Drainage Plan For Coors/Arenal Park (M10-D16) Dated  
January 17, 2002**

Dear Mr. Garcia:

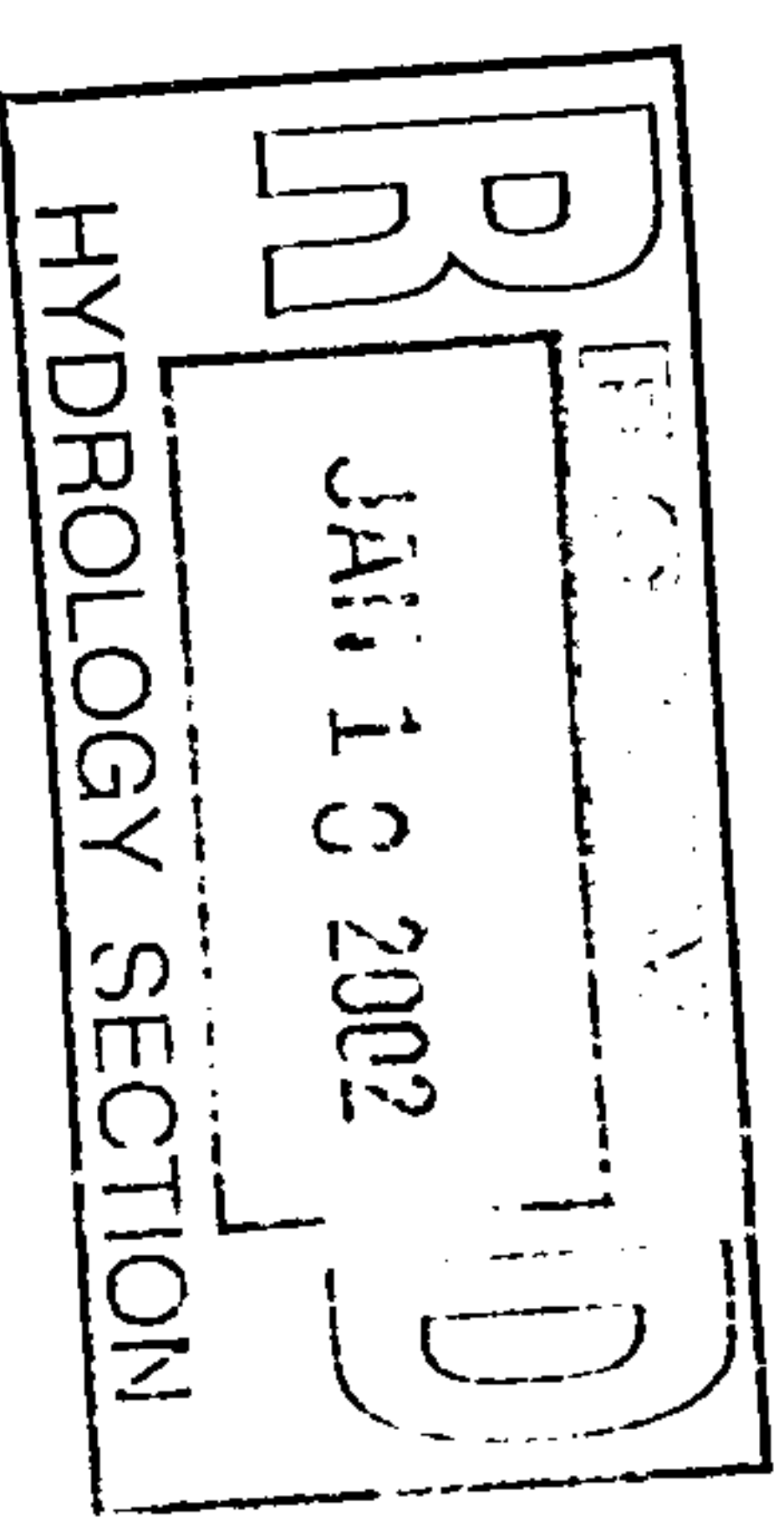
The above referenced drainage plan received January 13, 2002 is approved for preliminary plat action at DRB. Prior to building permit release the following comments need to be addressed.

1. A drainage easement and covenant will be required for each lot pond.
2. Lot 17 may need to be graded different to allow for access. Please show grades.
3. Please show grades for the retention pond in Coors Boulevard shoulder.

If you have any questions please call me at 924-3982.

Sincerely,

Carlos A. Montoya  
City Floodplain Administrator



January 17, 2002

Mr. Carlos A. Montoya, P.E.  
City Floodplain Administrator  
Public Works Department  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

RE: Coors/Arenal Industrial Park Subdivision Grading and Drainage Plan

Dear Mr. Montoya:

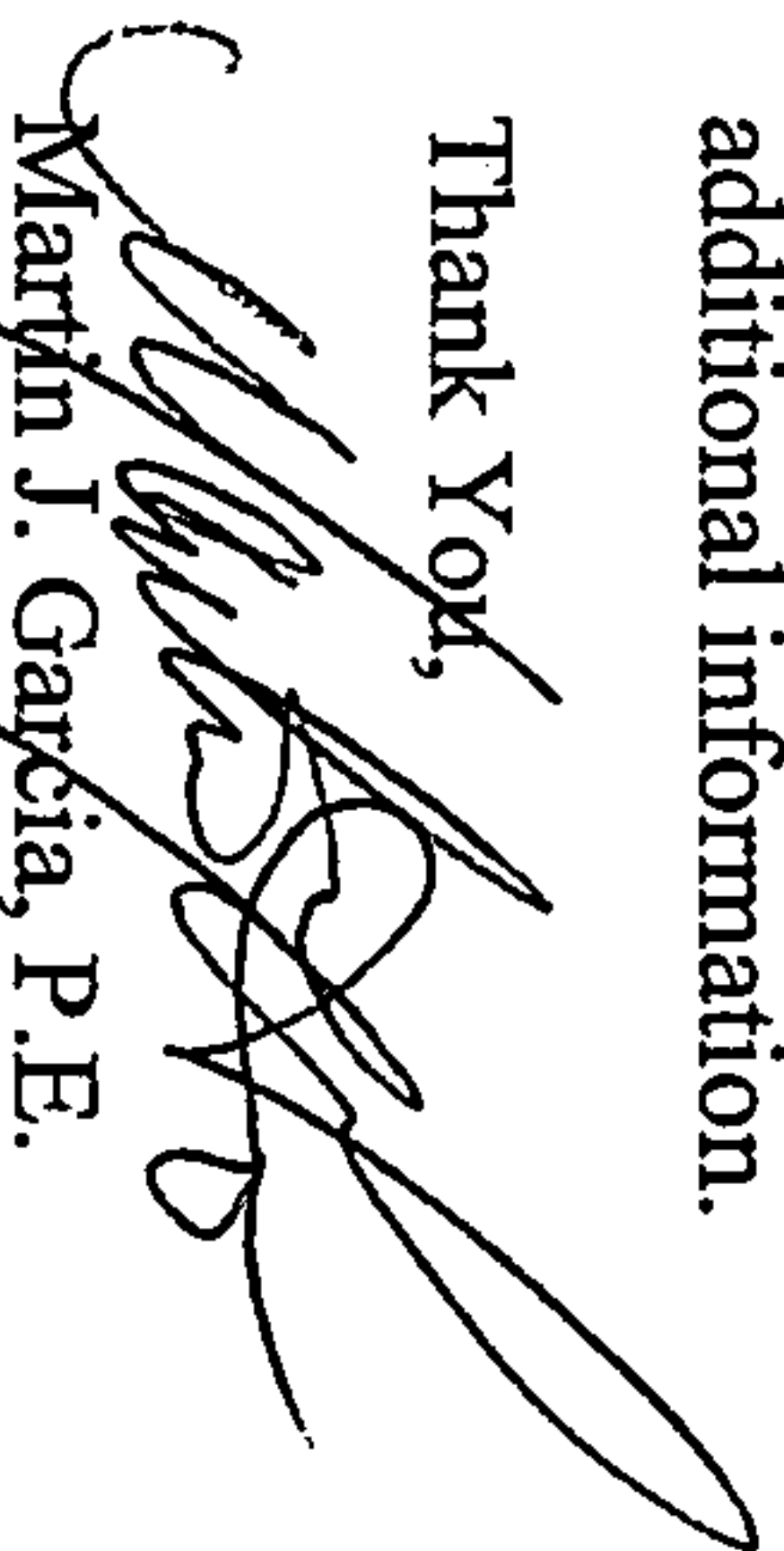
I am in receipt of your comments for the Coors/Arenal Industrial Park Subdivision Grading and Drainage Plan and offer the following responses:

1. Grading and Drainage plans have been signed and dated.
2. The individual lot ponds will be sized to accommodate the 10-day storm as required. The ponds will be sized as part of the building permit phase. Berms in accordance with the drawing on the plans will be installed at the property lines until the ponds are constructed.
3. All keyed notes concerning Bernalillo County's approval have been changed to reflect City of Albuquerque approval.
4. Covenants and agreements for maintenance responsibility of ponds will be provided at building permit phase.
5. A cross section of the public road is provided on sheet 6 of 7 of the design plans (a copy is included with this submittal for your use). Road capacity calculations have been provided on sheet 4 of 7. Roadway capacity was determined to be 156 cfs.
6. Contact and coordination with the NMSHTD resulted in the state allowing drainage of up to 25 cfs (historical flows) onto the Coors Boulevard right of way. This project will be draining 6.29 cfs that will be contained adjacent to the property within the Coors Boulevard right of way. See bar ditch capacity calculations attached to this letter.

7. Road runoff will be stored in the Coors Boulevard right of way. See number 6.
8. The Arenal Drainage Master Plan prepared for Bernalillo County in 2000 identifies the future outfall system to consist of a 96" RCP that will drain into a pond and lift station east of Coors Boulevard. A portion of Huseman Place at the intersection with Coors Boulevard will need to be reconstructed for installation of storm drainage inlets and a connection to the system in Coors. Individual lots would not be allowed to discharge any runoff until the system is connected at Coors Boulevard. Huseman Place has enough capacity to handle the individual pond drainage runoff. The Master Plan indicates that it will be designed to accommodate free discharge from this site.

All other comments discussed with you during the January 9, 2002 meeting have been incorporated into the design plans and plans are now ready for your approval. As you are aware this project is scheduled before the Development Review Board on January 23, 2002, and would require approval of the Grading and Drainage plan prior to approval from the DRB. Please do not hesitate to call me if you have any questions or need additional information.

Thank You,



Martin J. Garcia, P.E.

Civil Engineer

ABQ Engineering, Inc.  
21188



**Borrow Ditch Capacity Calculations**  
**Coors/Arenal Industrial Park Subdivision**  
**January 14, 2002**

Volume of Runoff from Public Street (Huseman Place) = 0.4128 acre-ft.

Available Area Along Coors R/W to store runoff = 45' wide x 400' long

$$0.4128 \text{ Acre-ft.} \times 43,560 = 17,981.56 \text{ cubic feet}$$

$$17,981.56 \text{ cu ft.} / 400 \text{ ft.} = 44.95 \text{ sq. ft. (Trench cross sectional area required)}$$

Assume:

Ditch is 45 ft. wide triangular shape (typical of a borrow ditch), then:

$$\text{Depth of Ditch Required} = 44.95 \text{ sq. ft.} / 45 \text{ ft.} \times 2 = 1.99 \text{ ft say } 2 \text{ ft.}$$

Therefore:

A 2 ft deep triangular shape borrow ditch along Coors Boulevard will accommodate the roadway drainage.

New Mexico  
State Highway and Transportation Department

Preliminary Design Bureau  
Drainage Section

INTRA - DEPARTMENTAL CORRESPONDENCE

July 20, 2001

SUBJECT: Drainage and Grading Plan Review for  
Coors - Arenal Park Subdivision

TO: Kathy Trujillo  
District Three Traffic Engineer

FROM: Raymunda A. Van Hoven  
Drainage Engineer *R. Van Hoven*

I have reviewed the Grading and Drainage Plan for the Coors - Arenal Park site development located at the northwest quadrant of Huseman and Coors Roads intersection in west Albuquerque, New Mexico.

The site has approximately 20 acres in area and is proposed to have 16 one-acre lots and one oversized lot for a warehouse. The grading plan is a general guideline for purposes of construction of the infrastructure. Each lot will have pond to accommodate the 100-year 10-day runoff volumes.

There is no drainage infrastructure along Coors. The proposed design reduces discharge onto Coors from 25.7 cfs to 6.3 cfs. There are proposed gravel rundowns to reduce erosion and to allow runoff to sheet flow. I concur with the design and drainage recommendations.

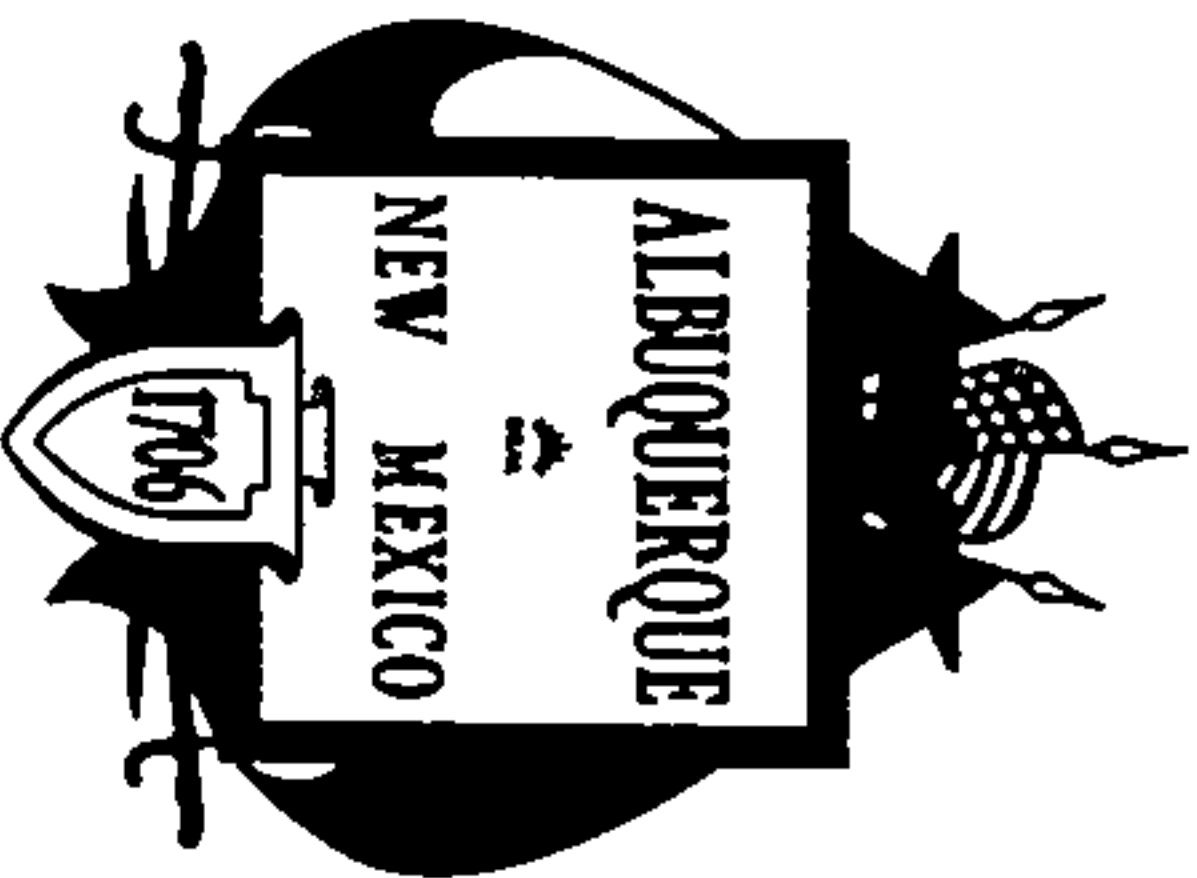
The Drainage Section grants approval of the Grading and Drainage Plans. *The County must require the prospective lot owners to maintain these ponds to ensure the development will not cause drainage impact onto the highway.*

XC: Mir Amiri, DO5  
Roni Booth, ABQ Engineering



**City of Albuquerque**

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103



January 9, 2002

Martin J. Garcia  
 ABQ Engineering  
 1631 Eubank NE,  
 Albuquerque, New Mexico 871199

**RE: Grading and Drainage Plan For Coors/Arenal Park (M10-D16) No Engineers Date**

Dear Mr. Garcia:

I have reviewed the referenced drainage plan received December 24, 2002 and forward the following comments.

1. Please have the engineer's seal signed and dated in any future submittals to this office.
2. The individual pond volumes should be designed for a 10-day storm and you cannot subtract out the existing 100 year 6 hour existing volume.
3. Please change your keyed notes on sheet 3 concerning Bernalillo County's approval and review. To clarify these notes a building permit cannot be released for each lot until a grading and drainage plan is submitted to Hydrology for review and approval.
4. Each retention pond needs a covenant and agreement for maintenance responsibilities.
5. Please give a cross section of the public road. Please show that the road can carry the 100-year storm in the existing and future conditions.
6. The public road's runoff needs to be contained in a retention pond unless the following downstream capacity is proven. The Drainage Ordinance section 14-5-2-12-G-2 addresses this issue. Also public runoff needs to be contained in a public easement or right-of-way.
7. If the road runoff is stored in a retention pond a public drainage easement and covenant is necessary.
8. Please show the future drainage outfall system. Show how the future outfall system is going to tie into all the ponds.

If you have any questions please call me at 924-3982.

Sincerely,

A handwritten signature in black ink, appearing to read 'Carlos A. Montoya', written in a cursive style.

Carlos A. Montoya  
City Floodplain Administrator

# DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

M-10/D16

PROJECT TITLE: Leons / Moore / Moore / Hale EPC#: \_\_\_\_\_ ZONE MAP/DRG. FILE #: \_\_\_\_\_  
 DRB #: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: \_\_\_\_\_  
 CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: ABC ENGINEERING CONTACT: Angela J. Garcia  
 ADDRESS: 1631 EUBANK RD PHONE: 255-7802  
 CITY, STATE: ALB. 87122 ZIP CODE: \_\_\_\_\_

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

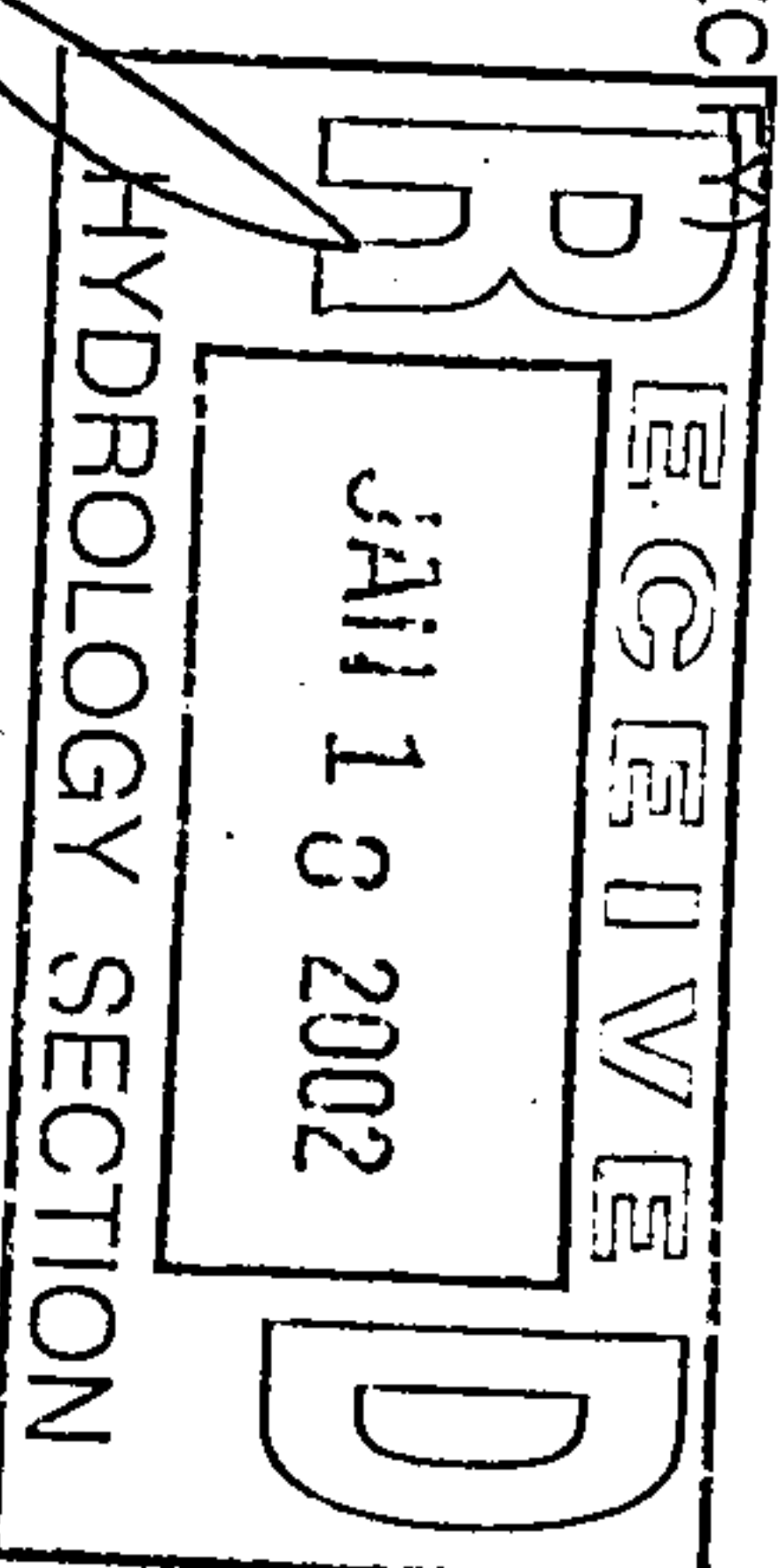
CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CHECK TYPE OF SUBMITTAL:  
 \_\_\_\_\_ DRAINAGE REPORT  
 \_\_\_\_\_ DRAINAGE PLAN  
☒ CONCEPTUAL GRADING & DRAINAGE PLAN  
 \_\_\_\_\_ GRADING PLAN  
 \_\_\_\_\_ EROSION CONTROL PLAN  
 \_\_\_\_\_ ENGINEER'S CERTIFICATION (HYDROLOGY)  
 \_\_\_\_\_ CLOMP/LOMR  
 \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
 \_\_\_\_\_ ENGINEERS CERTIFICATION (TCL)  
 \_\_\_\_\_ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)  
 \_\_\_\_\_ OTHER

CHECK TYPE OF APPROVAL SOUGHT:  
 \_\_\_\_\_ SIA / FINANCIAL GUARANTEE RELEASE  
 \_\_\_\_\_ PRELIMINARY PLAT APPROVAL  
 \_\_\_\_\_ S. DEV. PLAN FOR SUBD. APPROVAL  
 \_\_\_\_\_ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
 \_\_\_\_\_ SECTOR PLAN APPROVAL  
 \_\_\_\_\_ FINAL PLAT APPROVAL  
 \_\_\_\_\_ FOUNDATION PERMIT APPROVAL  
 \_\_\_\_\_ BUILDING PERMIT APPROVAL  
 \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (PERM.)  
 \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (TEMP.)  
☒ GRADING PERMIT APPROVAL  
 \_\_\_\_\_ PAVING PERMIT APPROVAL  
 \_\_\_\_\_ WORK ORDER APPROVAL  
 \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☒ YES  
 \_\_\_\_\_ NO  
 \_\_\_\_\_ COPY PROVIDED

DATE SUBMITTED: 11/5/02 BY: [Signature]

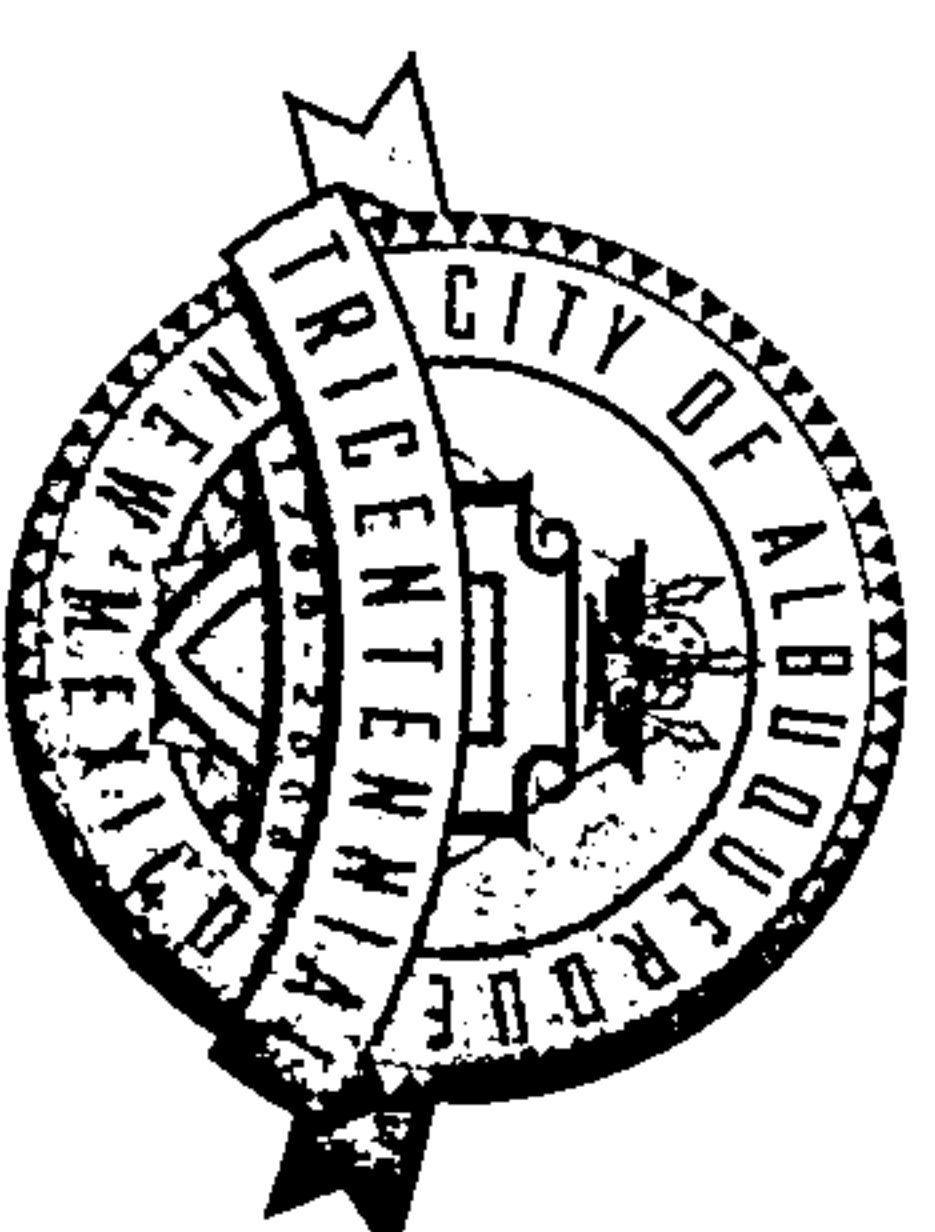


Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or



# CITY OF ALBUQUERQUE



## *Planning Department Transportation Development Services Section*

September 28, 2007

Wallace L. Bingham, P.E.,  
**Bingham Engineering**  
6344 Belcher Ave. NE  
Albuquerque, NM 87109

Re: Certification Submittal for **Final Building Certificate of Occupancy** for  
**Coors Auto Recycling, [M-10 / D16]**  
**6800 Huseman Place SW**  
**Engineer's Stamp Dated 02/21/07**

P.O. Box 1293

Dear Mr. Bingham:

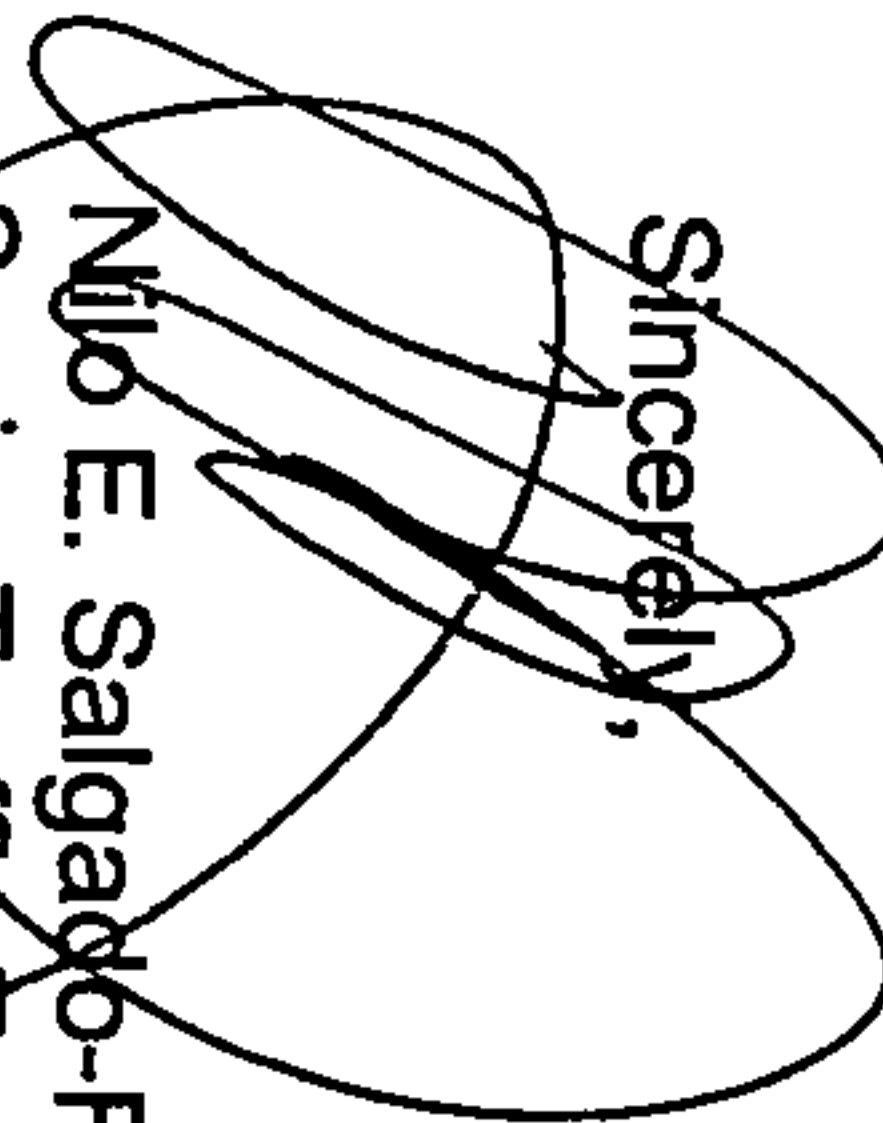
Albuquerque

The TCL / Letter of Certification submitted on September 28, 2007 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

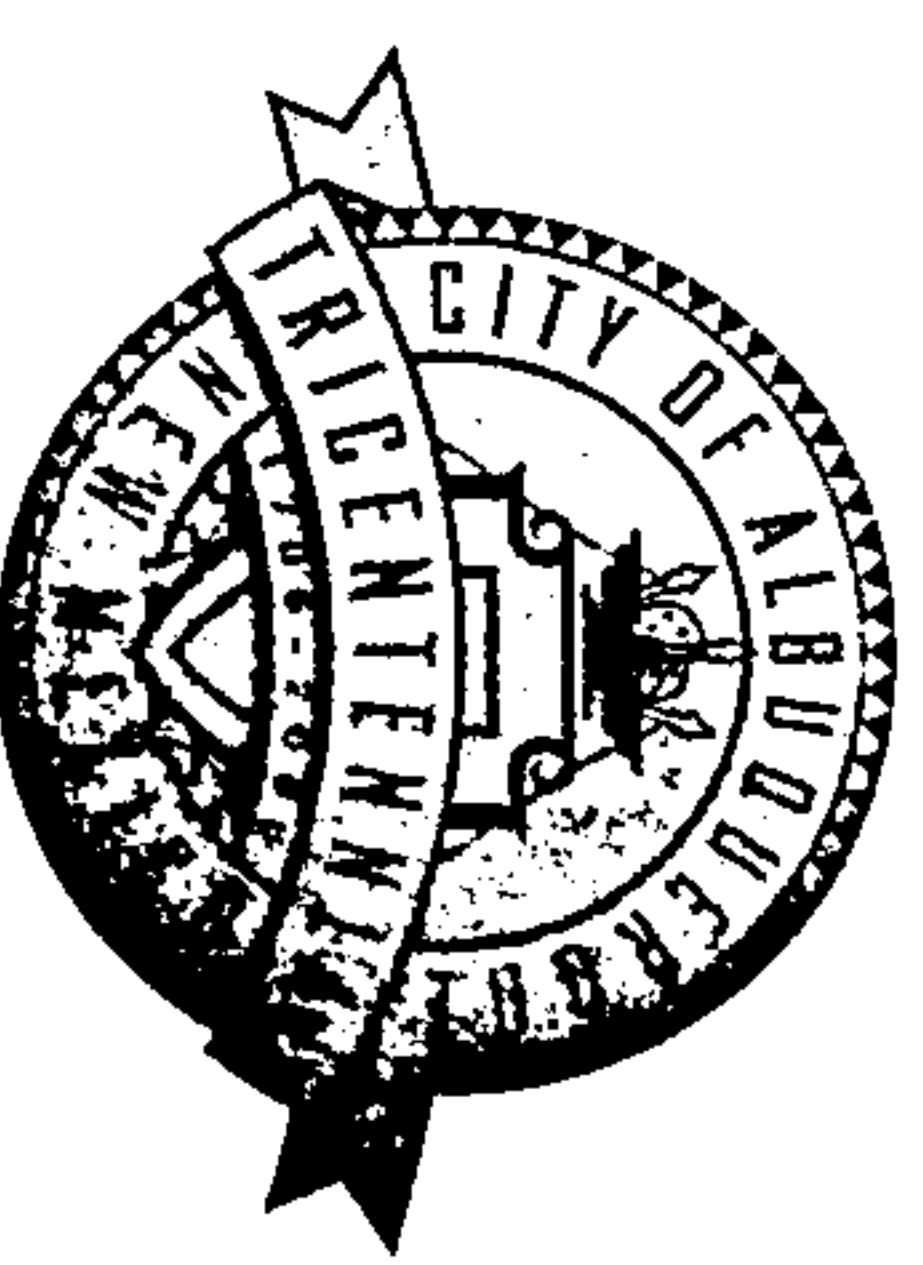
New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

  
Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

# CITY OF ALBUQUERQUE



## *Planning Department Transportation Development Services Section*

September 20, 2007

Wallace L. Bingham, P.E.,  
Bingham Engineering  
6344 Belcher Ave. NE  
Albuquerque, NM 87109

Re: Approval of Temporary Certificate of Occupancy (C.O.) for  
Coors Auto Recycling, [M-10 / D16]  
6800 Huseman Place SW  
Engineer's Stamp Dated 02/21/07

Dear Mr. Bingham:

Based on the information provided on your submittal dated September 19, 2007, the above referenced project is approved for a 90-day Temporary C.O.

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

A Temporary C.O. has been issued allowing the outstanding sidewalk construction (will issue permanent approval once sidewalk is completed on the Coors frontage) issue to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

Millo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

# DRAINAGE AND TRANSPORTATION INFORMATION SUBMITTAL SHEET

PROJECT TITLE: COORS AUTO RECYCLING  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ ZONE MAP/DRG. FILE #: M10  
LEGAL DESCRIPTION: LOT 17 COORS-ARENAL INDUSTRIAL PARK WORK ORDER#: \_\_\_\_\_  
*Holle*

CITY ADDRESS: 6800 HUSEMAN P1. SW

ENGINEERING FIRM: BINGHAM ENGINEERING  
ADDRESS: 6344 BELCHER AVE. NE  
CITY, STATE: ALB., NM

CONTACT: MONTE  
PHONE: 7974699  
ZIP CODE: 87109

OWNER: EDILBERTO ESTRADA  
ADDRESS: 8912 ALEXIS CT.  
CITY, STATE: ALB. 87105

CONTACT: \_\_\_\_\_  
PHONE: 440 1654  
ZIP CODE: \_\_\_\_\_

ARCHITECT: BILL BURK III  
ADDRESS: \_\_\_\_\_  
CITY STATE: \_\_\_\_\_

CONTACT: BILL  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: Andrew Sandoval  
ADDRESS: 619 Elington SW  
CITY, STATE: \_\_\_\_\_

CONTACT: Andrew  
PHONE: 440 1754  
ZIP CODE: 87105

## CHECK TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL,  
REQUIRES TCL or equal  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☒ EROSION CONTROL PLAN  
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)  
CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☒ ENGINEERS CERTIFICATION (TCL)  
ENGINEERS CERT (DRB APPR. SITE PLAN)  
OTHER \_\_\_\_\_

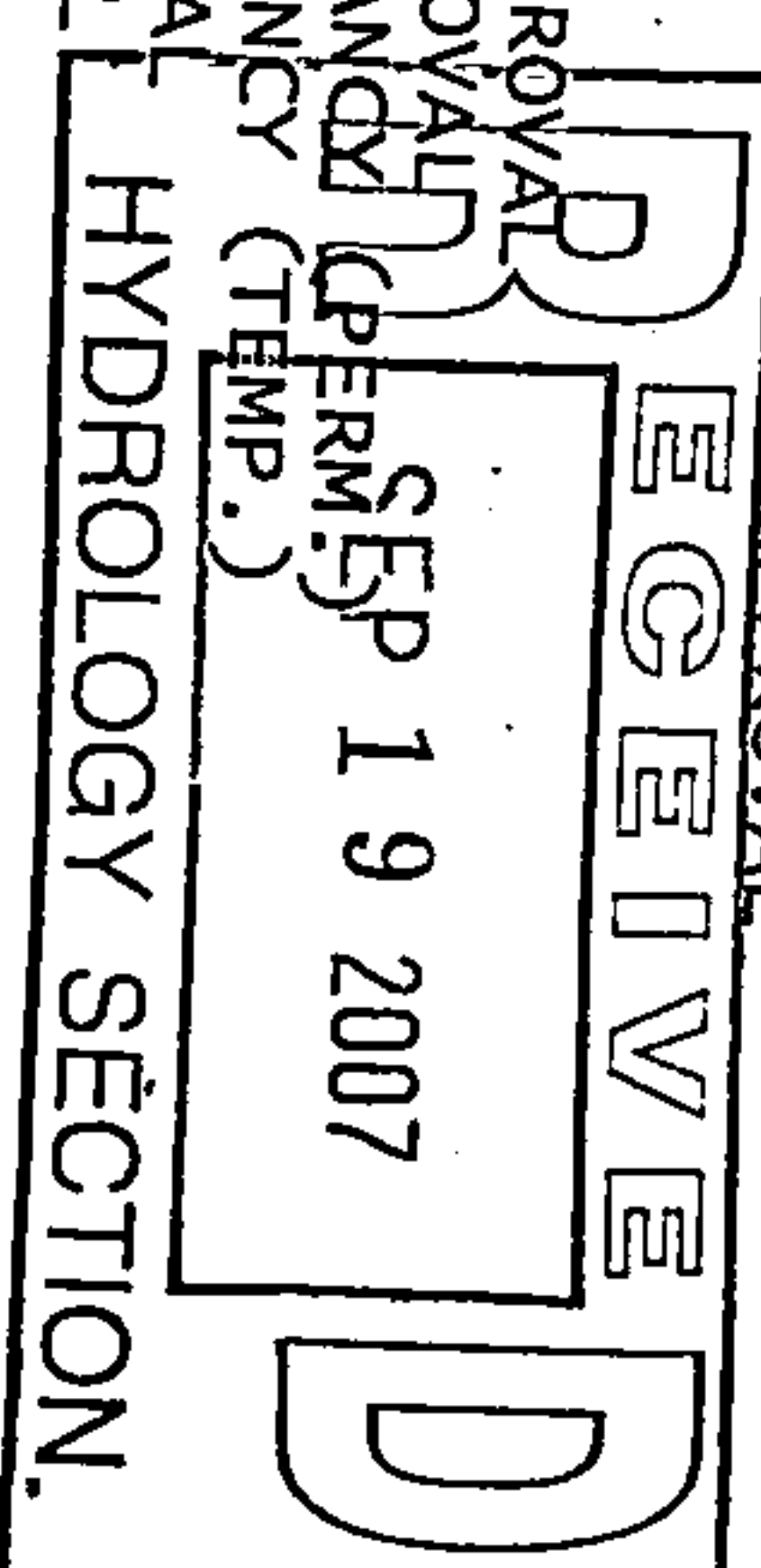
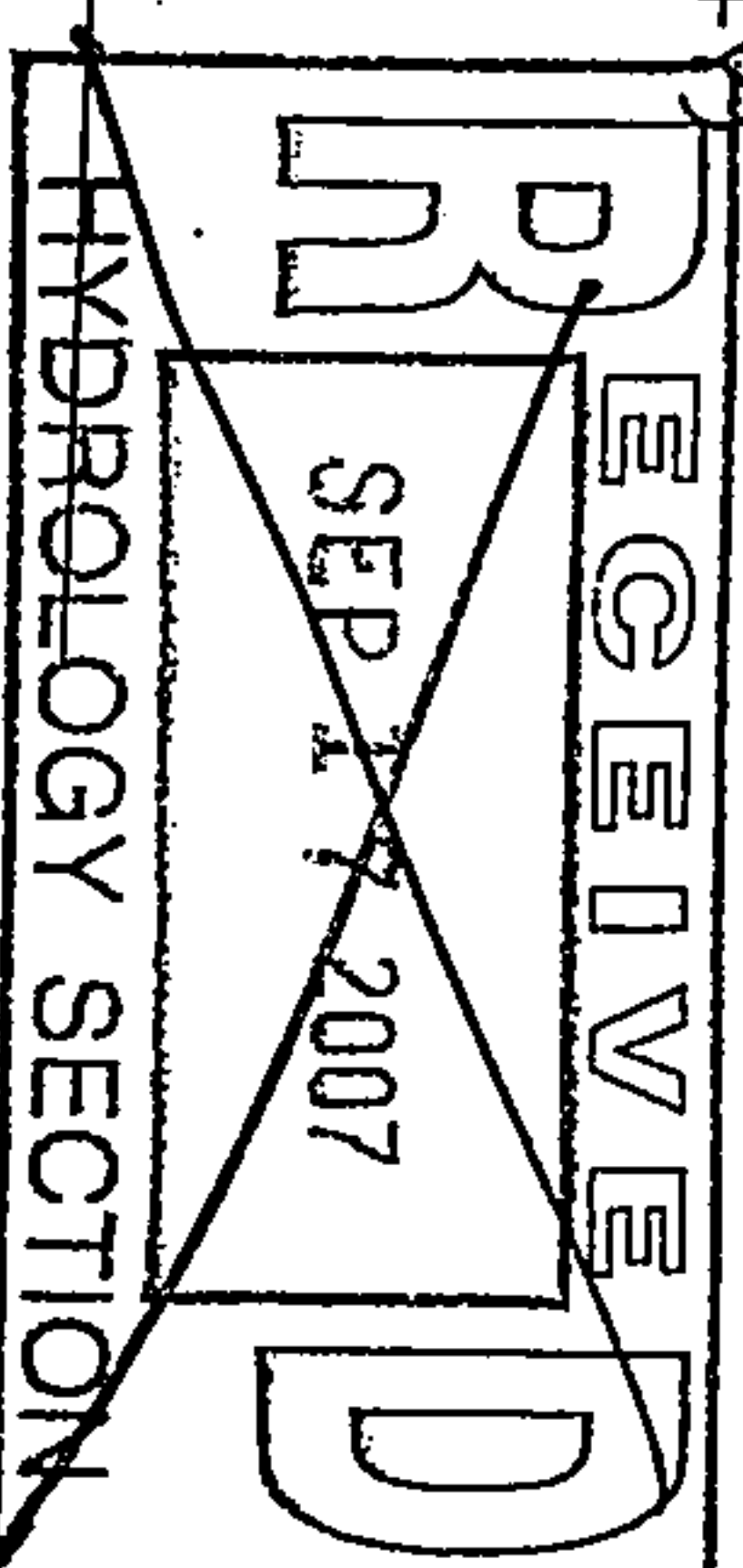
## CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (TEMP.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
YES  
NO  
COPY PROVIDED

DATE SUBMITTED: 9/17/07

BY: Wallace Bingham



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



# CITY OF ALBUQUERQUE



September 18, 2007

Wallace Bingham, P.E.  
**Bingham Engineering**  
6344 Belcher Ave. NE  
Albuquerque, NM 87109

**Re: Coors Auto Recycling, 6800 Huseman Pl. SW,  
Approval of Permanent Certificate of Occupancy (C.O.)  
Engineer's Stamp dated 02/07/06 (M-10/D016)  
Certification dated 09/17/07**

Based upon the information provided in your submittal received 9/17/07, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

P.O. Box 1293

If you have any questions, you can contact me at 924-3982.

Sincerely,

Albuquerque

New Mexico 87103

Timothy Sims  
Plan Checker, Hydrology  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: CO-Clerk-Katrina Sigala  
File

# DRAINAGE AND TRANSPORTATION INFORMATION SUBMITTAL SHEET

PROJECT TITLE: COORS AUTO RECYCLING \_\_\_\_\_ EPC#: \_\_\_\_\_ ZONE MAP/DRG. FILE #: M10 12014  
DRB#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_  
LEGAL DESCRIPTION: LOT 17 COORS-ARENAL INDUSTRIAL PARK \_\_\_\_\_

CITY ADDRESS: 6800 HUSEMAN P1. SW \_\_\_\_\_

ENGINEERING FIRM: BINGHAM ENGINEERING  
ADDRESS: 6344 BELCHER AVE. NE  
CITY, STATE: ALB., NM  
CONTACT: MONTE  
PHONE: 7974699  
ZIP CODE: 87109

OWNER: EDILBERTO ESTRADA  
ADDRESS: 8912 ALEXIS CT.  
CITY, STATE: ALB. 87105  
CONTACT: 440 1654  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

ARCHITECT: BILL BURK III  
ADDRESS: \_\_\_\_\_  
CITY STATE: \_\_\_\_\_  
CONTACT: BILL  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_  
CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

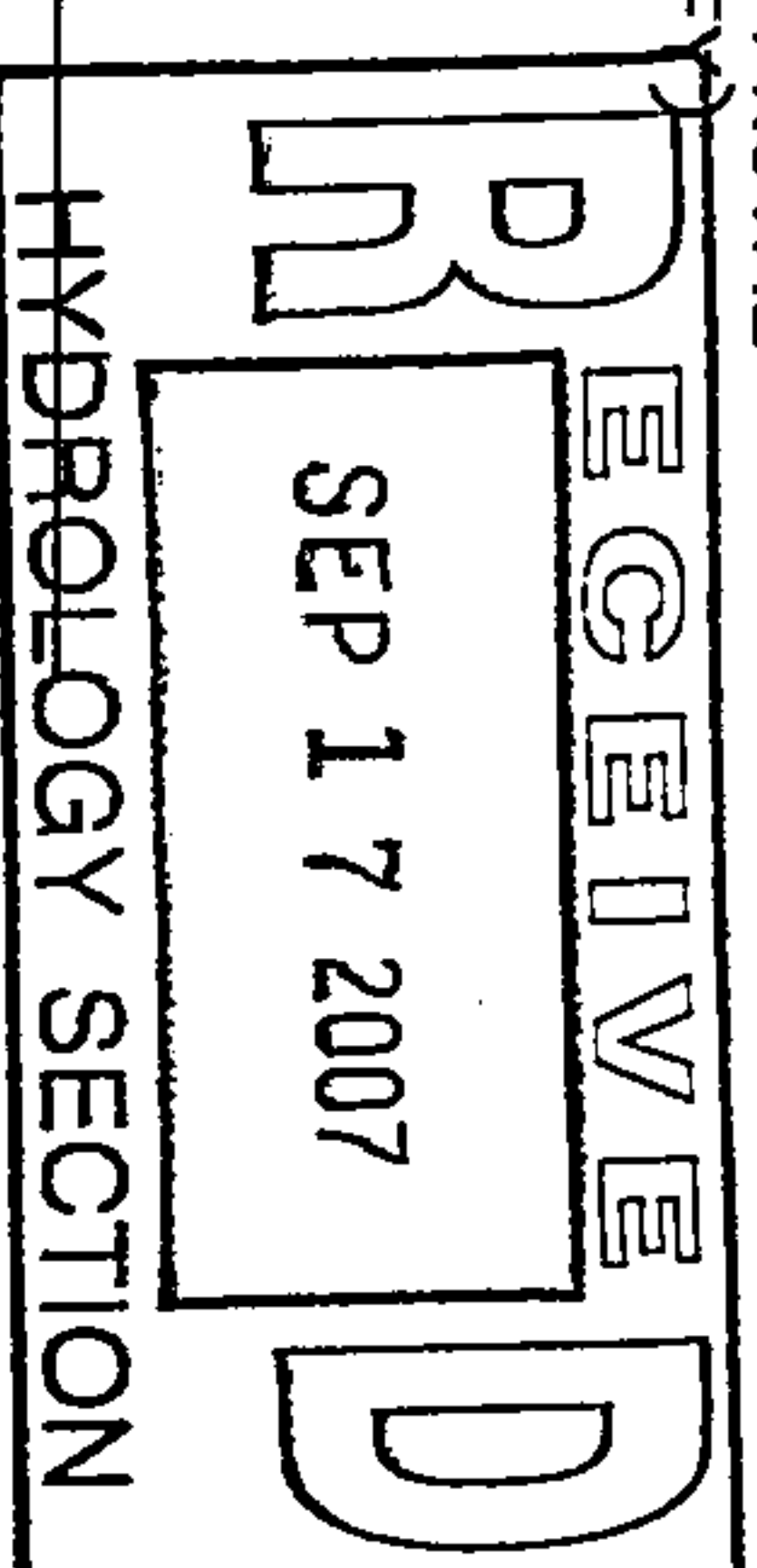
CONTRACTOR: Andrew Sandoval  
ADDRESS: 619 Elington SW  
CITY, STATE: \_\_\_\_\_  
CONTACT: Andrew  
PHONE: 440 1754  
ZIP CODE: 87105

CHECK TYPE OF SUBMITTAL:

_____ DRAINAGE REPORT	_____ SIA/FINANCIAL GUARANTEE RELEASE
_____ DRAINAGE PLAN 1st SUBMITTAL,	_____ PRELIMINARY PLAT APPROVAL
_____ REQUIRES TCL or equal	_____ S. DEV. PLAN FOR SUB'D APPROVAL
_____ DRAINAGE PLAN RESUBMITTAL	_____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
_____ CONCEPTUAL GRADING & DRAINAGE PLAN	_____ SECTOR PLAN APPROVAL
_____ GRADING PLAN	_____ FINAL PLAT APPROVAL
_____ EROSION CONTROL PLAN	_____ FOUNDATION PERMIT APPROVAL
<input checked="" type="checkbox"/> ENGINEER'S CERTIFICATION (HYDROLOGY)	_____ BUILDING PERMIT APPROVAL
_____ CLOMR/LOMR	_____ CERTIFICATE OF OCCUPANCY (PERM.)
_____ TRAFFIC CIRCULATION LAYOUT (TCL)	_____ CERTIFICATE OF OCCUPANCY (TEMP.)
_____ ENGINEERS CERTIFICATION (TCL)	_____ GRADING PERMIT APPROVAL
_____ ENGINEERS CERT (DRB APPR. SITE PLAN)	_____ PAVING PERMIT APPROVAL
_____ OTHER	_____ WORK ORDER APPROVAL
	_____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
YES \_\_\_\_\_  
NO \_\_\_\_\_  
COPY PROVIDED \_\_\_\_\_

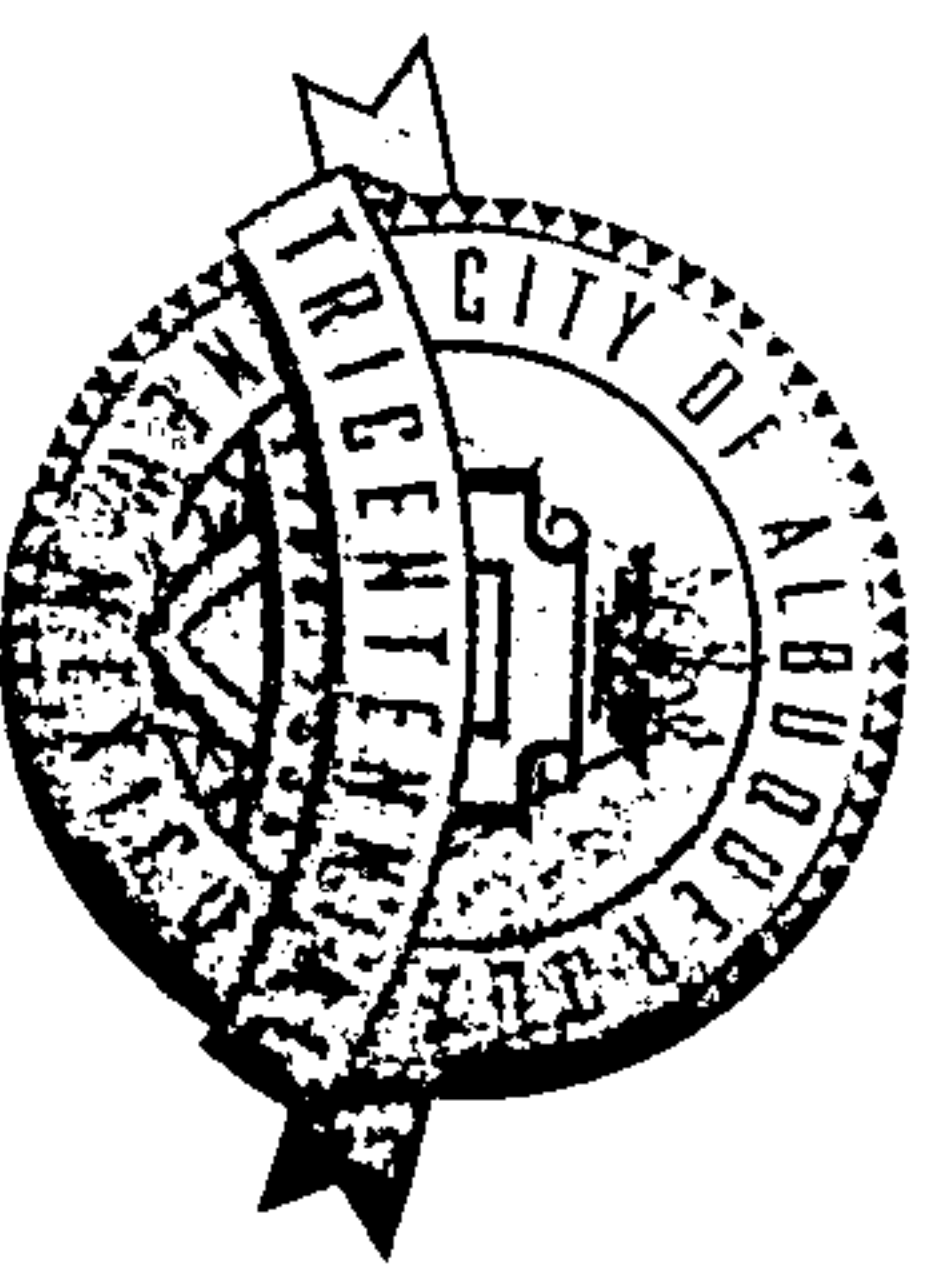
DATE SUBMITTED: 9/17/07 BY: Wallace Bingham



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



## *Planning Department Transportation Development Services Section*

February 26, 2007

Wallace L. Bingham, P.E.,  
Bingham Engineering  
6344 Belcher Ave. NE  
Albuquerque, NM 87109

Re: Approval of Temporary Certificate of Occupancy (C.O.) for  
Coors Auto Recycling, [M-10 / D16]  
6800 Huseman Place SW  
Engineering's Stamp Dated 02/21/07

Dear Mr. Bingham:

Based on the information provided on your submittal dated February 26, 2007, the above referenced project is approved for a 90-day Temporary C.O.

P.O. Box 1293

Albuquerque

A Temporary C.O. has been issued allowing six sidewalk (fronting Coors) issue to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead—stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

Milo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk



# DRAINAGE AND TRANSPORTATION INFORMATION SUBMITTAL SHEET

PROJECT TITLE: COORS AUTO RECYCLING \_\_\_\_\_ ZONE MAP/DRG. FILE #: M10/Dat  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_  
LEGAL DESCRIPTION: LOT 17 COORS-ARENAL INDUSTRIAL PARK

CITY ADDRESS: 6800 HUSEMAN PL. SW

ENGINEERING FIRM: BINGHAM ENGINEERING  
ADDRESS: 6344 BELCHER AVE. NE  
CITY, STATE: ALB., NM  
CONTACT: MONTE  
PHONE: 7974699  
ZIP CODE: 87109

OWNER: EDILBERTO ESTRADA  
ADDRESS: 8912 ALEXIS CT.  
CITY, STATE: ALB. 87105  
CONTACT: \_\_\_\_\_  
PHONE: 440 1654  
ZIP CODE: \_\_\_\_\_

ARCHITECT: BILL BURK III  
ADDRESS: \_\_\_\_\_  
CITY STATE: \_\_\_\_\_  
CONTACT: BILL  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_  
CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

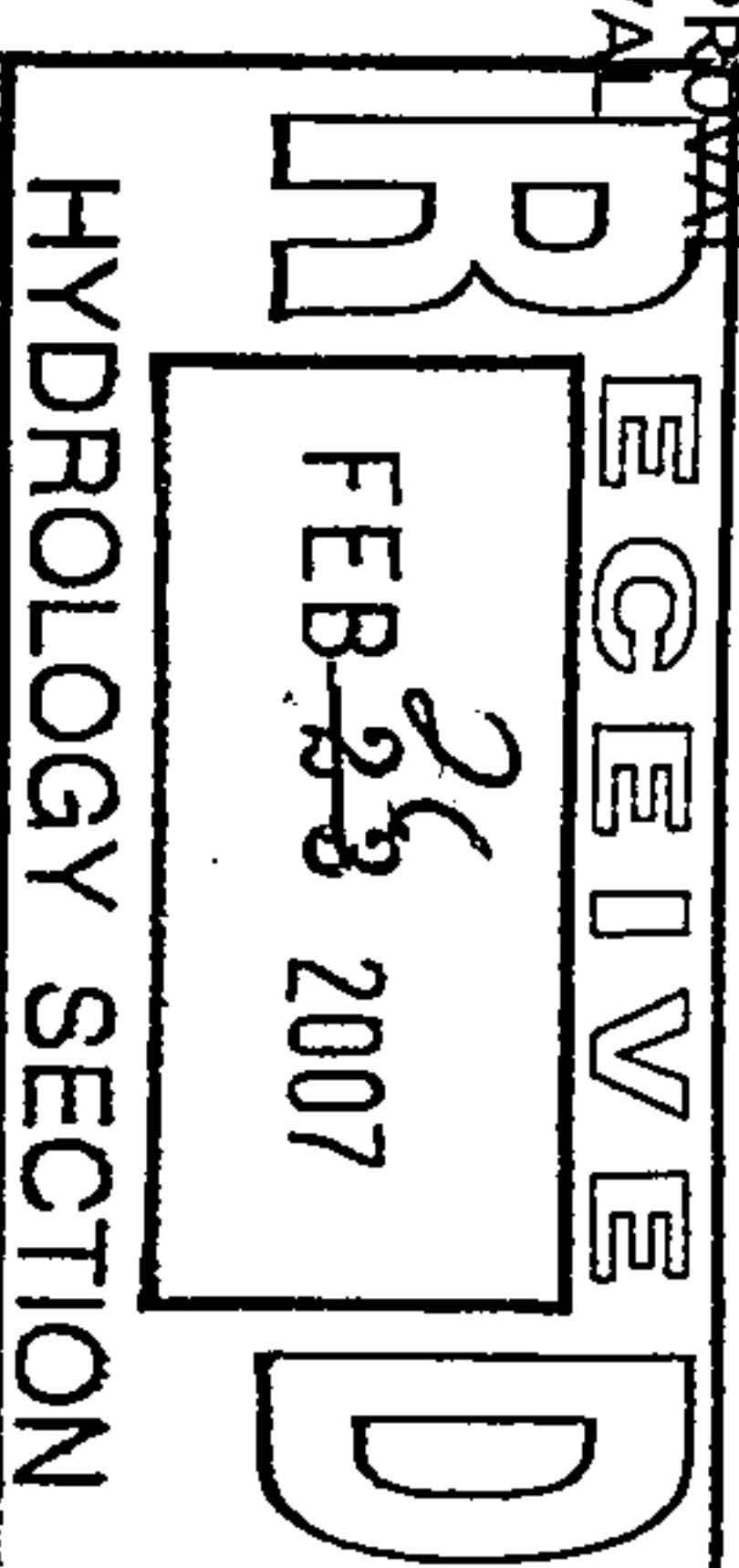
CONTRACTOR: Andrew Sandoval  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_  
CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CHECK TYPE OF SUBMITTAL:

<input type="checkbox"/> DRAINAGE REPORT	<input type="checkbox"/> CHECK TYPE OF APPROVAL SOUGHT:
<input type="checkbox"/> DRAINAGE PLAN 1st SUBMITTAL,	<input type="checkbox"/> SIA/FINANCIAL GUARANTEE RELEASE
<input type="checkbox"/> REQUIRES TCL or equal	<input type="checkbox"/> PRELIMINARY PLAT APPROVAL
<input type="checkbox"/> DRAINAGE PLAN RESUBMITTAL	<input type="checkbox"/> S. DEV. PLAN FOR SUB'D APPROVAL
<input type="checkbox"/> CONCEPTUAL GRADING & DRAINAGE PLAN	<input type="checkbox"/> S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
<input type="checkbox"/> GRADING PLAN	<input type="checkbox"/> SECTOR PLAN APPROVAL
<input type="checkbox"/> EROSION CONTROL PLAN	<input type="checkbox"/> FINAL PLAT APPROVAL
<input type="checkbox"/> ENGINEER'S CERTIFICATION (HYDROLOGY)	<input type="checkbox"/> FOUNDATION PERMIT APPROVAL
<input type="checkbox"/> CLOMR/LOMR	<input type="checkbox"/> BUILDING PERMIT APPROVAL
<input checked="" type="checkbox"/> TRAFFIC CIRCULATION LAYOUT (TCL)	<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (PERM.)
<input checked="" type="checkbox"/> ENGINEERS CERTIFICATION (TCL)	<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (TEMP.)
<input type="checkbox"/> ENGINEERS CERT (DRB APPR. SITE PLAN)	<input type="checkbox"/> GRADING PERMIT APPROVAL
<input type="checkbox"/> OTHER	<input type="checkbox"/> PAVING PERMIT APPROVAL

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☐ YES  
☒ NO  
☐ COPY PROVIDED

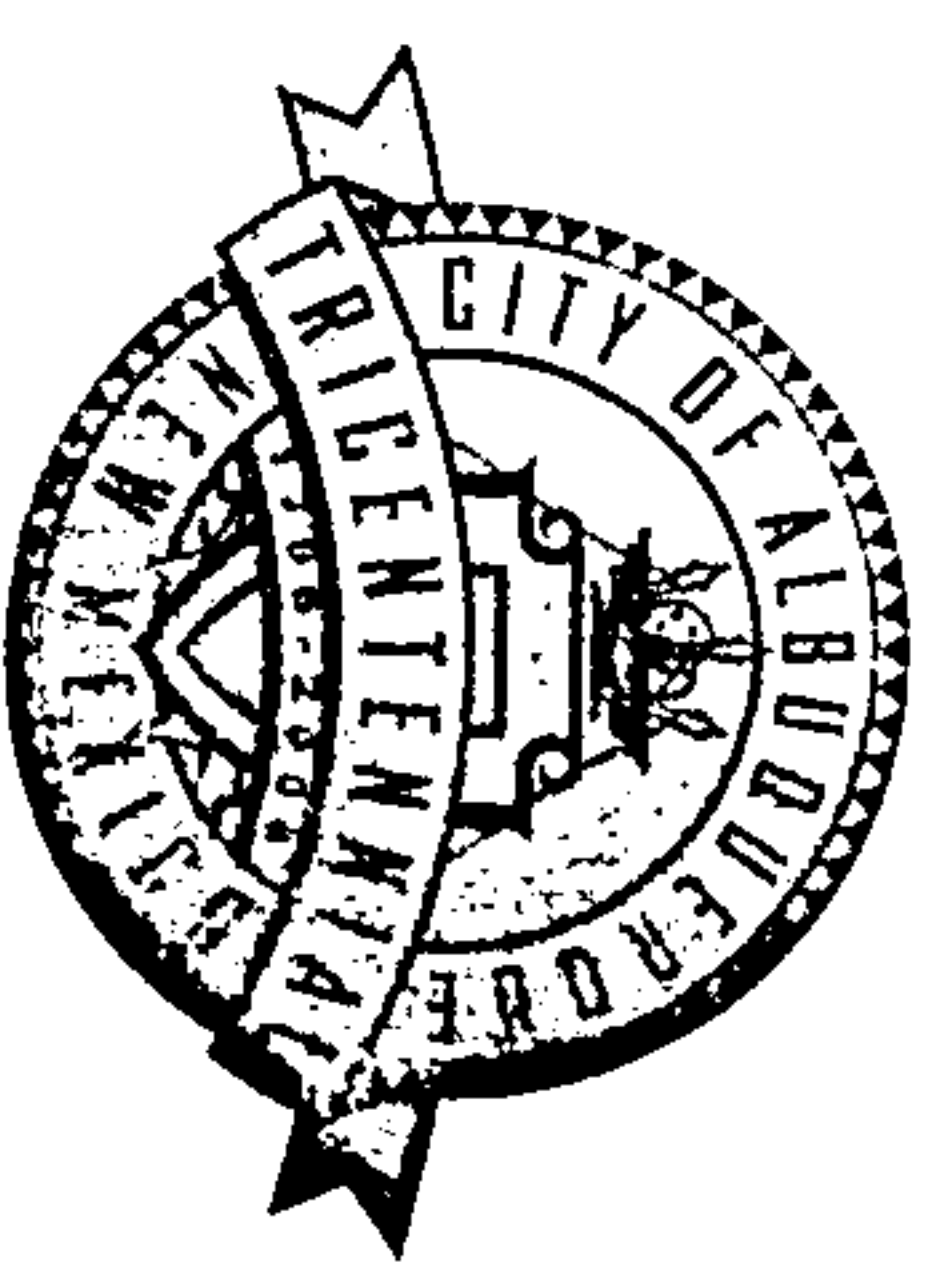
DATE SUBMITTED: 2/22/06 BY: Wallace Bingham



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



February 22, 2007

Wallace Bingham, P.E.  
Bingham Engineering  
6344 Belcher NE  
Albuquerque, NM 87109

Re: Coors Auto Recycling – Detail Shop, 6800 Huseman Place SW,  
Certificate of Occupancy  
Engineer's Stamp dated 2-07-06 (M10-D16)  
Certification dated 2-22-07

Dear Mr. Bingham,

P.O. Box 1293

Based upon the information provided in your submittal received 2-22-07, the above referenced certification cannot be approved for Certificate of Occupancy until the following comment is addressed:

Albuquerque

- The plan that must be certified for Certificate of Occupancy has an engineer's stamp date of 3-06-06.

New Mexico 87103

If you have any questions, you can contact me at 924-3981.

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Kristal D. Metro, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: File

2/22/07 - Temp CO Issued

3/28/07



# CITY OF ALBUQUERQUE



*Planning Department  
Transportation Development Services Section*

March 7, 2006

Wallace Bingham  
Bingham Engineering  
6344 Belcher Ave NE  
Albuquerque, NM 87109

Re: Traffic Circulation Layout (TCL) Submittal for Building Permit Approval for  
Offices and Warehouse for Coors Auto Recycling [M-10/D-16]  
(6800 Huseman Pl. SW), Albuquerque, NM  
Engineer's/Architect's Stamp Dated 03-06-2006

Dear Bingham,

The TCL submittal dated March 06, 2006 is approved for building permit. The plan is stamped and signed as approved. Two copies of the plan that is stamped as approved will be required: one for each of the building permit plans and the original to be kept by you to be used for certification of the site for final C.O. for Transportation. *Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.*

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

If a temporary CO is needed then a copy of the original TCL that was stamped as approved by the City which includes a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance". This statement requires a NM registered architect or engineer stamp to be dated. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer needs stamp and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Wilfred A. Gagellos, PE  
Development and Building Services

cc: Hydrology file  
File



# DRAINAGE AND TRANSPORTATION INFORMATION SUBMITTAL SHEET

PROJECT TITLE: COORS AUTO RECYCLING \_\_\_\_\_ ZONE MAP/DRG. FILE #: M10  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_  
LEGAL DESCRIPTION: LOT 17 COORS-ARENAL INDUSTRIAL PARK

1016

CITY ADDRESS: 6800 HUSEMAN P1. SW

ENGINEERING FIRM: BINGHAM ENGINEERING  
ADDRESS: 6344 BELCHER AVE. NE  
CITY, STATE: ALB., NM

CONTACT: MONTE  
PHONE: 7974699  
ZIP CODE: 87109

OWNER: EDILBERTO ESTRADA  
ADDRESS: 8912 ALEXIS CT.  
CITY, STATE: ALB. 87105

CONTACT: 440 1654  
PHONE: 440 1654  
ZIP CODE: 440 1654

ARCHITECT: BILL BURK III  
ADDRESS: \_\_\_\_\_  
CITY STATE: \_\_\_\_\_

CONTACT: BILL  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: Andrew Sandoval  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

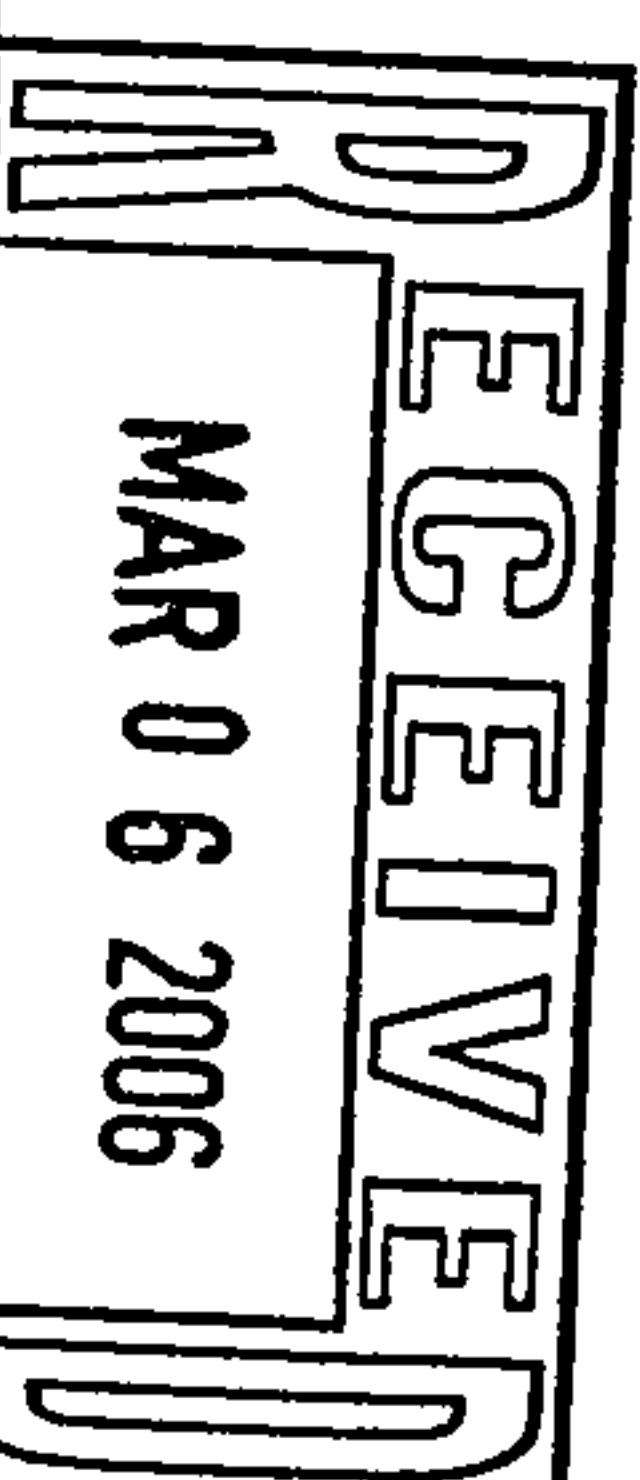
CHECK TYPE OF SUBMITTAL:  
☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL,  
REQUIRES TCL or equal  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☒ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
ENGINEERS CERTIFICATION (TCL)  
ENGINEERS CERT (DRB APPR. SITE PLAN)  
OTHER

CHECK TYPE OF APPROVAL SOUGHT:  
☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
CERTIFICATE OF OCCUPANCY (PERM.)  
GRADING PERMIT APPROVAL  
PAVING PERMIT APPROVAL  
WORK ORDER APPROVAL  
OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☒ YES  
☐ NO  
COPY PROVIDED

DATE SUBMITTED: 3/6/06 BY: Wallace Bingham

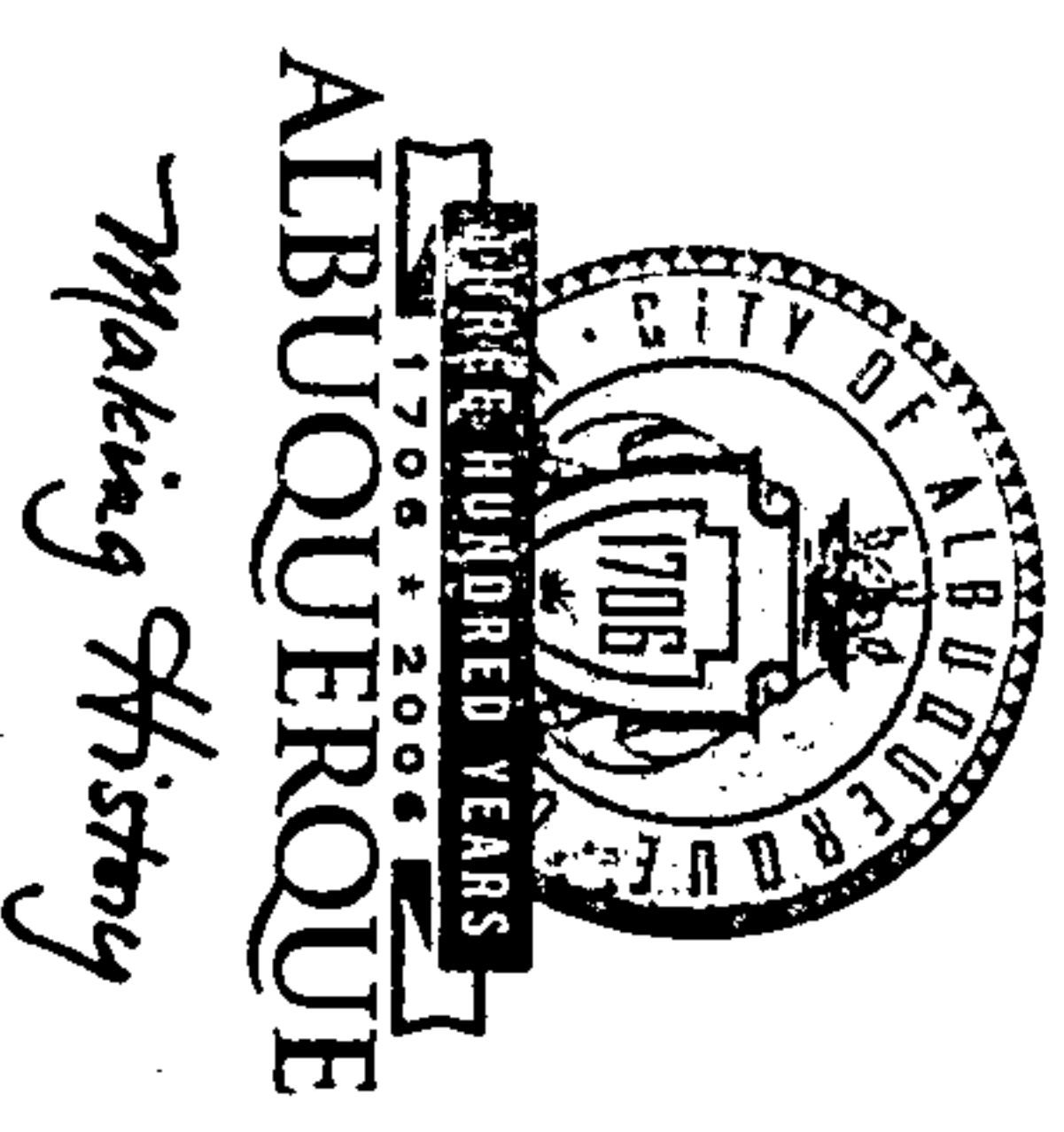
Resub



Requests for approvals of site development plans and/or subdivision plans shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of site development plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



March 7, 2006

Wallace Bingham, PE  
Bingham Engineering  
6344 Belcher Ave NE,  
Albuquerque, NM 87109

**Re: Coors Auto Recycling Grading and Drainage Plan  
Engineer's Stamp dated 3-6-06, (M10/DD16)**

Dear Mr. Bingham,

P.O. Box 1293

Based upon the information provided in your submittal dated 3-3-06, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Albuquerque

Also, prior to Certificate of Occupancy release, Engineer Certification of the grading plan per the DPM checklist will be required.

New Mexico 87103

If you have any questions, please contact me at 924-3986.

Sincerely,

*Bradley L. Bingham*

Bradley L. Bingham, PE  
Principal Engineer, Planning Dept.  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: file



# DRAINAGE AND TRANSPORTATION INFORMATION SUBMITTAL SHEET

PROJECT TITLE: COORS AUTO RECYCLING \_\_\_\_\_ ZONE MAP/DRG. FILE #: M10/D16  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_  
LEGAL DESCRIPTION: LOT 17 COORS-ARENAL INDUSTRIAL PARK

CITY ADDRESS: 6800 HUSEMAN PL. SW

ENGINEERING FIRM: BINGHAM ENGINEERING CONTACT: MONTE  
ADDRESS: 6344 BELCHER AVE. NE PHONE: 7974699  
CITY, STATE: ALB., NM ZIP CODE: 87109

OWNER: EDILBERTO ESTRADA CONTACT: \_\_\_\_\_  
ADDRESS: 8912 ALEXIS CT. PHONE: 440 1754  
CITY, STATE: ALB. 87105 ZIP CODE: \_\_\_\_\_

ARCHITECT: BILL BURK III CONTACT: BILL  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: Andrew Sandoval CONTACT: Andrew  
ADDRESS: \_\_\_\_\_ PHONE: 440 1754  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN 1st SUBMITTAL,  
REQUIRES TCL or equal  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEERS CERTIFICATION (TCL)  
☐ ENGINEERS CERT (DRB APPR. SITE PLAN)  
☐ OTHER \_\_\_\_\_

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES  
☒ NO  
COPY PROVIDED

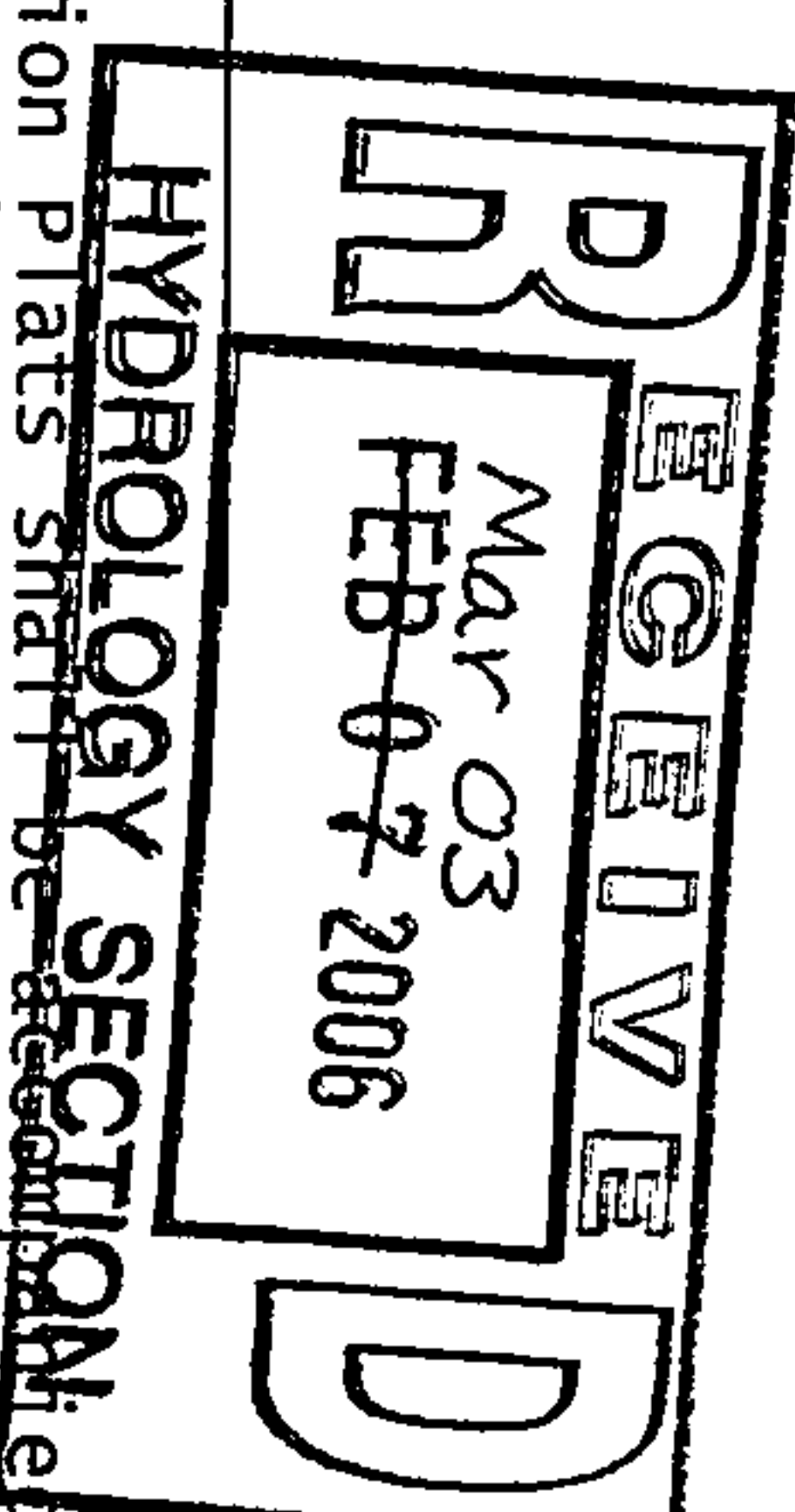
DATE SUBMITTED: 2/7/06 BY: Wallace Bingham

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

Requests for approvals of site development plans and/or subdivision plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. Drainage Plans: Required for building permits, grading permits and paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





# CITY OF ALBUQUERQUE

February 17, 2006

Wallace Bingham

**Bingham Engineering**

6344 Belcher Ave. NE

Albuquerque, NM 87109



**Re: Coors Auto Recycling, 6800 Huseman Pl, Traffic Circulation  
Layout Engineer's Stamp dated 02-07-06 (M10-D16)**

Dear Mr. Bingham,

Based upon the information provided in your submittal received 02-03-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List radii for all curves shown.
2. Please, refer to all appropriate City Standards; the drawing number should be included in this reference.
3. Provide parking calculations.
4. Provide refuse approval.

P.O. Box 1293

If you have any questions, you can contact me at 924-3981.

Sincerely,

Albuquerque

New Mexico 87103

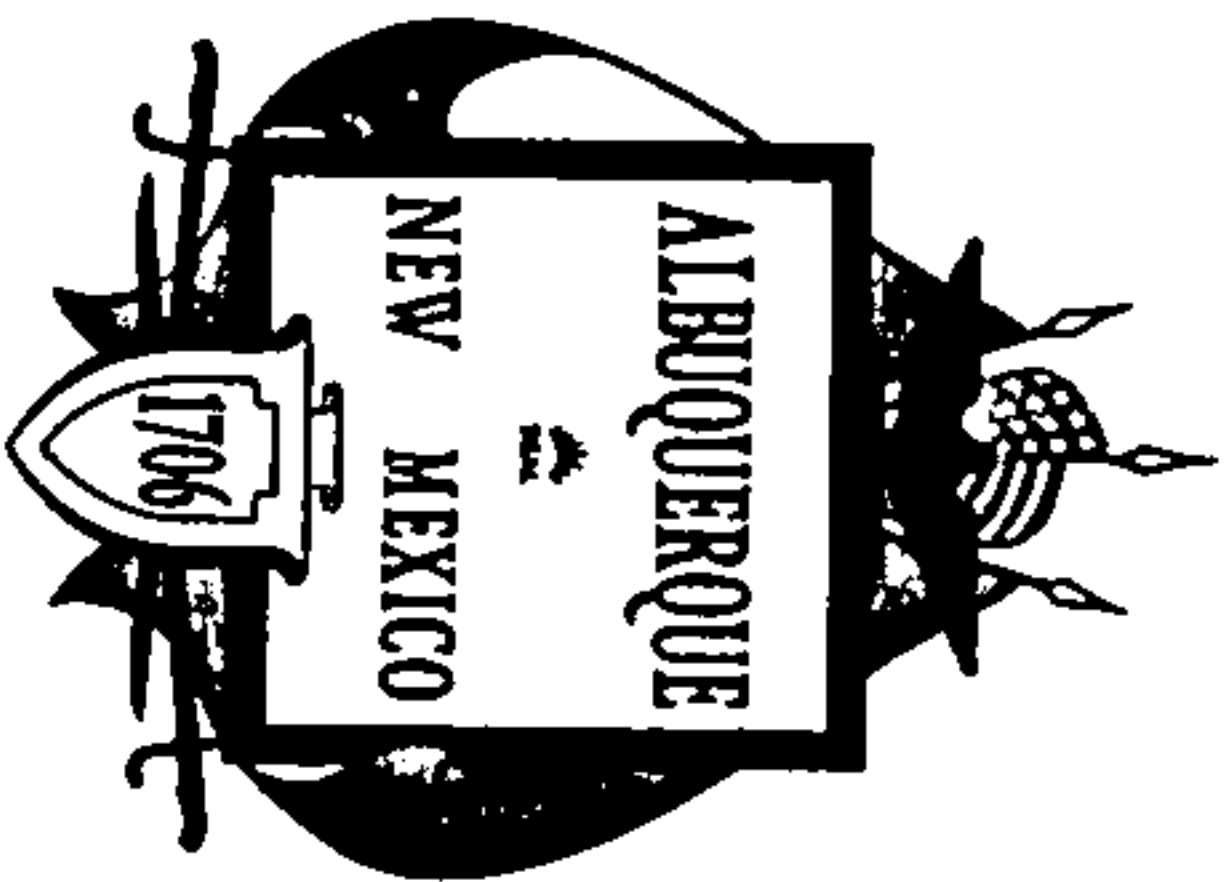
Wilfred Gagellos, P.E.

Development and Building Services

C: file

WAG,tes

[www.cabq.gov](http://www.cabq.gov)



# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 9, 2002

Martin J. Garcia  
ABQ Engineering  
1631 Eubank NE,  
Albuquerque, New Mexico 87199

**RE: Grading and Drainage Plan For Coors/Arenal Park (M10-D16) No Engineers Date**

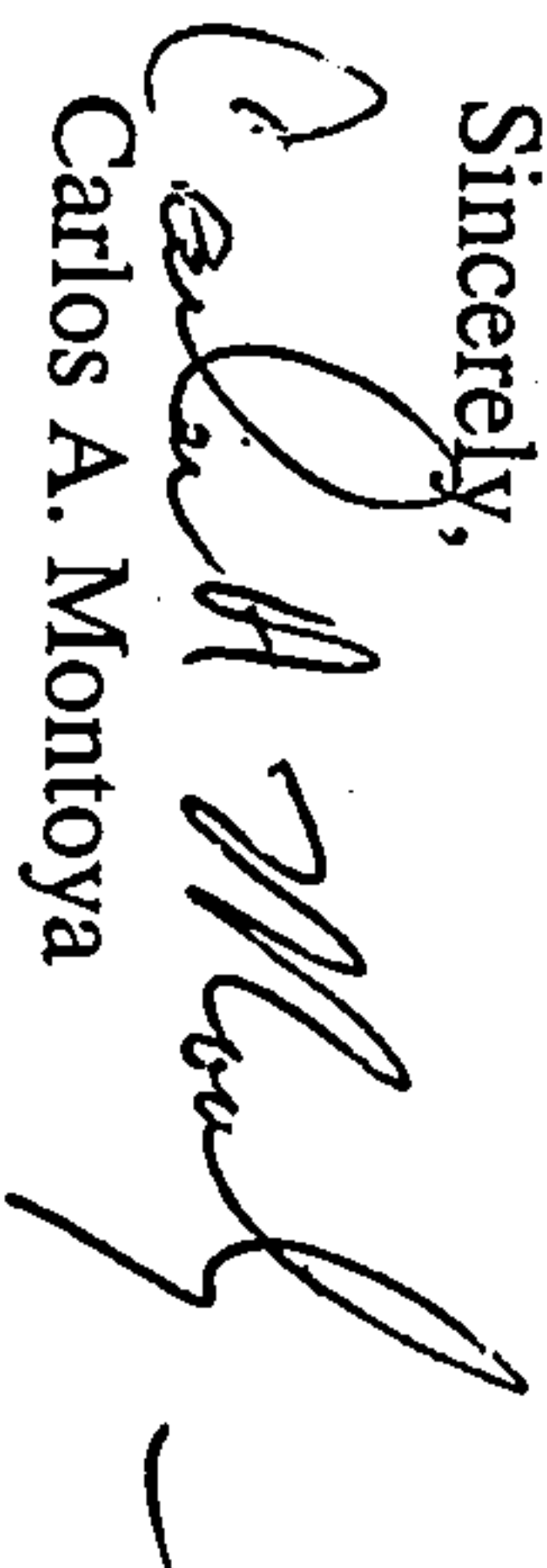
Dear Mr. Garcia:

I have reviewed the referenced drainage plan received December 24, 2002 and forward the following comments.

1. Please have the engineer's seal signed and dated in any future submittals to this office.
2. The individual pond volumes should be designed for a 10-day storm and you cannot subtract out the existing 100 year 6 hour existing volume.
3. Please change your keyed notes on sheet 3 concerning Bernalillo County's approval and review. To clarify these notes a building permit cannot be released for each lot until a grading and drainage plan is submitted to Hydrology for review and approval.
4. Each retention pond needs a covenant and agreement for maintenance responsibilities.
5. Please give a cross section of the public road. Please show that the road can carry the 100-year storm in the existing and future conditions.
6. The public road's runoff needs to be contained in a retention pond unless the following downstream capacity is proven. The Drainage Ordinance section 14-5-2-12-G-2 addresses this issue. Also public runoff needs to be contained in a public easement or right-of-way.
7. If the road runoff is stored in a retention pond a public drainage easement and covenant is necessary.
8. Please show the future drainage outfall system. Show how the future outfall system is going to tie into all the ponds.

If you have any questions please call me at 924-3982.

Sincerely,

A handwritten signature in black ink, appearing to read 'Carlos A. Montoya', written in a cursive style.

Carlos A. Montoya  
City Floodplain Administrator



PERMANENT EASEMENT

1710/D  
# 667081

Grant of Permanent Easement, between Kenneth P. Huse and Mary Lou Huse, Husband and Wife,  
and Salvador Guzman and Patricia Guzman, Husband and Wife ("Grantor"), whose address is 2401  
Coors Blvd. SW and the City of Albuquerque, a New Mexico municipal corporation ("City"), whose  
address is P.O. Box 1293, Albuquerque, New Mexico, 87103.

Grantor grants to the City an exclusive, permanent easement ("Easement") in, over, upon and across the  
real property described on Exhibit "A" attached hereto ("Property") for the construction, installation,  
maintenance, repair, modification, replacement and operation of Water and Sewer Lines, together with  
the right to remove trees, bushes, undergrowth and any other obstacles upon the Property if the City  
determines they interfere with the appropriate use of this Easement.

In the event Grantor constructs any improvements within the easement, the City has the right to  
enter upon Grantors property at any time and perform whatever inspection, installation, maintenance,  
repair, modification or removal ("Work") it deems appropriate without liability to the City. If the work  
effects any Improvements of Encroachments made by the Grantor, the City will not be financially or  
otherwise responsible for rebuilding or repairing of Improvements or Encroachments. If in the opinion of  
the City, the Work to be performed by the City could endanger the structural integrity or otherwise  
damage the Improvements of Encroachments, the Grantor shall, at its own expense, take whatever  
protective measures are required to safeguard the Improvements or Encroachments.

Grantor covenants and warrants that Grantor is the owner in fee simple of the Property, that  
Grantor has a good lawful right to convey the Property or any part thereof and that Grantor will forever  
warrant and defend the title to the Property against all claims from all persons or entities.

The grant and other provisions of this Easement constitute covenants running with the land for  
the benefit of the City and its successors and assigns until terminated.

WITNESS my hand and seal this 29<sup>th</sup> day of Oct. 2001

GRANTOR(s):

[Signature]  
(Individual)

[Signature]  
(Individual)

[Signature]  
(Individual)

[Signature]  
(Individual)

APPROVED: [Signature]  
City Engineer

DATED 10-30-01

INDIVIDUALS

STATE OF New Mexico )  
COUNTY OF Bernalillo ) ss

This instrument was acknowledged before me on 29<sup>th</sup> day of October 2001 by  
Kenneth P. Huse, Mary Lou Huse, husband & wife  
Salvador Guzman, Patricia Guzman  
husband & wife Notary Public [Signature]

My Commission Expires:  
7/30/05

CORPORATION

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) ss

This instrument was acknowledged before me on \_\_\_\_\_ day of \_\_\_\_\_ 200\_\_ by \_\_\_\_\_

\_\_\_\_\_  
Notary Public

My Commission Expires:

\_\_\_\_\_

PARTNERSHIP

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) ss

This instrument was acknowledged before me on \_\_\_\_\_ day of \_\_\_\_\_ 200\_\_ by \_\_\_\_\_

\_\_\_\_\_  
Notary Public

My Commission Expires:

\_\_\_\_\_

(EXHIBIT "A" ATTACHED)



# COORS - ARENAL PARK PUBLIC WATER AND SEWER EASEMENT

**AN 1.880 ACRE (81970.41 SQ. FT.) PUBLIC EASEMENT LOCATED WITHIN COORS - ARENAL PARK  
IN SECTION 34 AND 35, T 10N, R 2E; N.M.P.M. IN CITY OF ATRISCO, BERNALILLO COUNTY, NEW MEXICO  
DRAWN DATE: OCTOBER 11, 2001**

## General Notes

1. DRAWN FROM EXISTING DOCUMENTS AND PLAT OF SURVEYS. FIELD SURVEY PERFORMED BY ABQ ENGINEERING, INC.

EXHIBIT "A"  
PUBLIC WATER AND SEWER EASEMENT  
AN 1.228 (53395.84 SQ. FT) EASEMENT LOCATED WITHIN SECTION  
34 AND 35 T 10 N R 2 E; N.M.P.M WITHIN THE TOWN OF  
ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO.

LOT B LAND AT  
RALPH VILLEGAS DEED  
BOOK C/23 PAGE 101  
FILED MARCH 13, 1984

19.9457 AC TRACT PER SPECIAL  
WARRANTY DEED, FILED MARCH 23, 1994  
DEED BOOK 94-9, PAGE 0084

R = 48.00'  
L = 97.57'  
Δ = 116°28'17"  
L.C. = 81.62'  
CHORD BEARING = S 81°02'44" E

R = 48.00'  
L = 161.97'  
 $\Delta = 165^{\circ}39'52''$   
LC = 95.35'  
CHORD BEARING = N  $43^{\circ}35'22''$  W

S 84°35'56" W  
8438.00 FEET  
ACS MONUMENT "TRANS"  
X=1471822.67 Y=354809.45  
G-G=0.99967821  
 $\Delta_{sc}=00^{\circ}16'42''$   
CENTRAL ZONE NAD 1927

OVERSIDE MOBILE HOME PARK



LINE TABLE		
LINE	LENGTH	BEARING
L1	69.51	S81°02'44"E
L2	80.67	S17°33'07"W
L3	67.89	S03°53'42" E
L4	38.03	N81°06'07"W
L5	61.41	N81°02'44"W
L6	30.34	N08°56'57"E
L7	31.36	S28°43'03"W

**EXISTING WATER AND SEWER EASEMENT  
DEED BOOK 702 PAGE 375 FILED, JULY 19, 1963**

[illegible]

Professional Engineer Seal for John F. Esquivel, State of New Mexico, License No. 5949, Registered Professional Land Surveyor.

**SHEET TITLE:**

**PUBLIC WATER AND SEWER EASEMENT PLAN**

**PROJECT:** **COORS - ARENAL PARK**

**EXHIBIT A**

Mary Herrera  
 Bern. Co. ERSE  
 R 13.00  
 2001128/62  
 5579891  
 Page: 4 of 4  
 10/30/2001 03:10P  
 BK-A26 Pg-6989

Page 2 of 2





CONTRACT CONTROL FORM

PRELIMINARY REVIEW

Contact Person KATHY JARAMILLO  
Phone No. 924-3296

Project # 667081  
CCN# 200200524  
New or ~~Renew~~

Type of Agreement: permanent & amend

Description/Project Name: Coro - General Pack Water & SAs line Est.  
Public Works Dept./Div.: DESIGN REVIEW  
Developer: Kenneth Nuez  
Contract Amount \$ 2- SIA Contract Period: 10/30/2001 - 12/31/2001  
Contract Amount \$ - SIA Contract Period: -  
Contract Amount \$ - S/W Contract Period: -

DRAFT CONTRACT:  
Rec'd by Legal: - Rejected/Returned to Dept.: 12/17/01 KJC  
Returned to Legal: - Approved: 10-29/01 Initials: ef

FINANCIAL GUARANTY:  
Letter of Credit No.: - Date: - Attached: Yes - No - Initial -  
Other: Type - Date: - Attached: Yes - No - Initial -

FINAL CONTRACT REVIEW

APPROVALS REQUIRED:  
10/17/01 Date Delivered 9/28/01 Returned to Dept. 9/25/2001 Approved By DM Approval Date 10/17/2001  
Utility Div 10/8/01  
Hydrology Div -  
Transportation Div -  
DRC Chairman 10/17/2001  
Legal Dept 10/17/2001  
City Engineer 10/30/2001  
PWD Director 10/30/2001  
Finance -  
City Clerk -  
CAO -

DISTRIBUTION:  
Date: 10/31/2001 By: K  
User Department. 11/5/01  
Vendor -  
City Clerk -  
Treasury -  
Other: -

Notes + bounds  
Submitter sign  
Make sure public  
HHS + water  
meets are  
within 3  
business  
days  
of  
approval  
Make sure  
public HHS + water  
meets are  
within 3  
business  
days  
of  
approval





GARY E. JOHNSON  
GOVERNOR

**COMMISSION**

Holm Bursum, III  
Chairman, Socorro

Edward T. Begay  
Vice-Chairman, Gallup

Peter T. Mocho, Sr.  
Secretary, Albuquerque

Sherry Galloway  
Member, Farmington

Ray Litherland  
Member, Las Vegas

Sidney G. Stiebeck  
Member, Portales

**DEPARTMENT**

Secretary  
Pete K. Rahn

General Office  
P.O. Box 1149  
Santa Fe, NM  
87504-1149  
505-827-5100

District One Office  
P.O. Box 231  
Deming, NM  
88031-0231  
505-546-2603

District Two Office  
P.O. Box 1457  
Roswell, NM  
88202-1457  
505-624-3300

District Three Office  
P.O. Box 91750  
Albuquerque, NM  
87199-1750  
505-841-2700

District Four Office  
P.O. Box 30  
Las Vegas, NM  
87701-0030  
505-454-3600

District Five Office  
P.O. Box 4127  
Coronado Station  
Santa Fe, NM  
87502-4127  
505-827-9500

District Six Office  
P.O. Box 2159  
Milan, NM  
87021  
505-285-3200

**NEW MEXICO STATE HIGHWAY  
AND TRANSPORTATION DEPARTMENT  
AN EQUAL OPPORTUNITY EMPLOYER**

**DISTRICT THREE OFFICE**

July 31, 2001

Mr. Steve Knee  
ABQ Engineering, Inc.  
1631 Eubank NE, Suite C  
Albuquerque, NM 87112

*Ref: Utility Permit #3-14966 (Authority to Proceed) for City of Albug.  
To Install: 8" Sanitary Sewer Line – Crossing with Manhole  
Located on: NM 45 at mile marker 10.192 in Bernalillo County, NM*

Dear Mr. Knee:

We have reviewed the subject utility installation and find it substantially satisfies State utility regulations as proposed. This correspondence is your authority to proceed with the construction of your facility installation in accordance with the drawings provided to us by your company. This authorization applies only to fee owned State highway right of way; if other lands are involved (Indian, Federal, State, etc.) it is your responsibility to have secured their approval of your installation as well.

Please note that the fully executed utility permit will be returned to you as soon as we receive the required As-Built Plans and the Electronic File. These items are required within thirty (30) days of completion of your installation. We have attached Exhibit, "A" which provides some guidance and information on the survey, and file requirements.

You are required to notify the Radio Dispatcher at (505) 841-2735 via phone and fax by completing the attached Traffic Control Plan Form and faxing it to (505) 841-2790 at least seven (7) days in advance of construction. The form will be your notice of construction. You are also required to notify us of the completion of the work so we can inspect for the proper restoration of landscaping within seven (7) days of completion.

You must have your Traffic Control Plan approved by the District Traffic Engineer prior to construction. Should you find it necessary to deviate from the proposed installation or approved TCP, any such deviation must be approved in writing by the District Three Office prior to proceeding with construction. All work performed must meet or exceed the New Mexico State Highway & Transportation Department Standard Specifications for Highway and Bridge Construction, 2000 Edition.



**In addition to the above requirements:**

- 1) The traffic control plan and all traffic control devices used by the owner and contractor must comply with Part VI of the Manual on Uniform Traffic Control Devices (MUTCD), Revision 3 dated September 3, 1993.
- 2) The utility owner and contractor shall abide by Section 12.0 through 12.5 of the NMSH&TD Utilities Manual under General Utility Construction Requirements to include the restoration of the Rights of Way by the Utility Owner and Contractor.
- 3) The utility owner shall abide by Section 18.0 through 18.6 of the NMSH&TD Utilities Manual under Safety Markers for Above Ground Appurtenances.

Sincerely,



Katherine J. Trujillo  
District Traffic Engineer

Xc: Julian Vigil  
DTE file  
Records