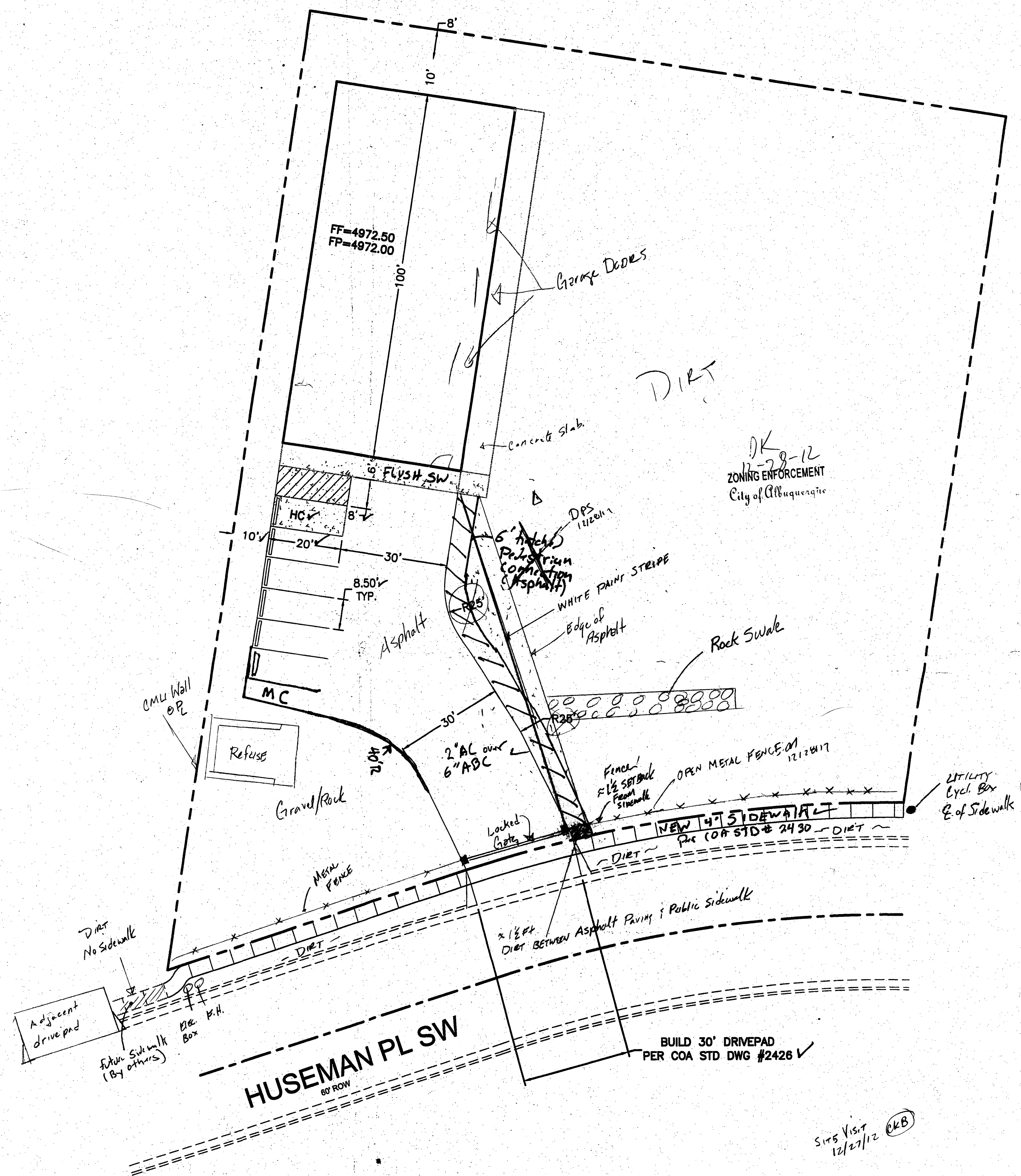
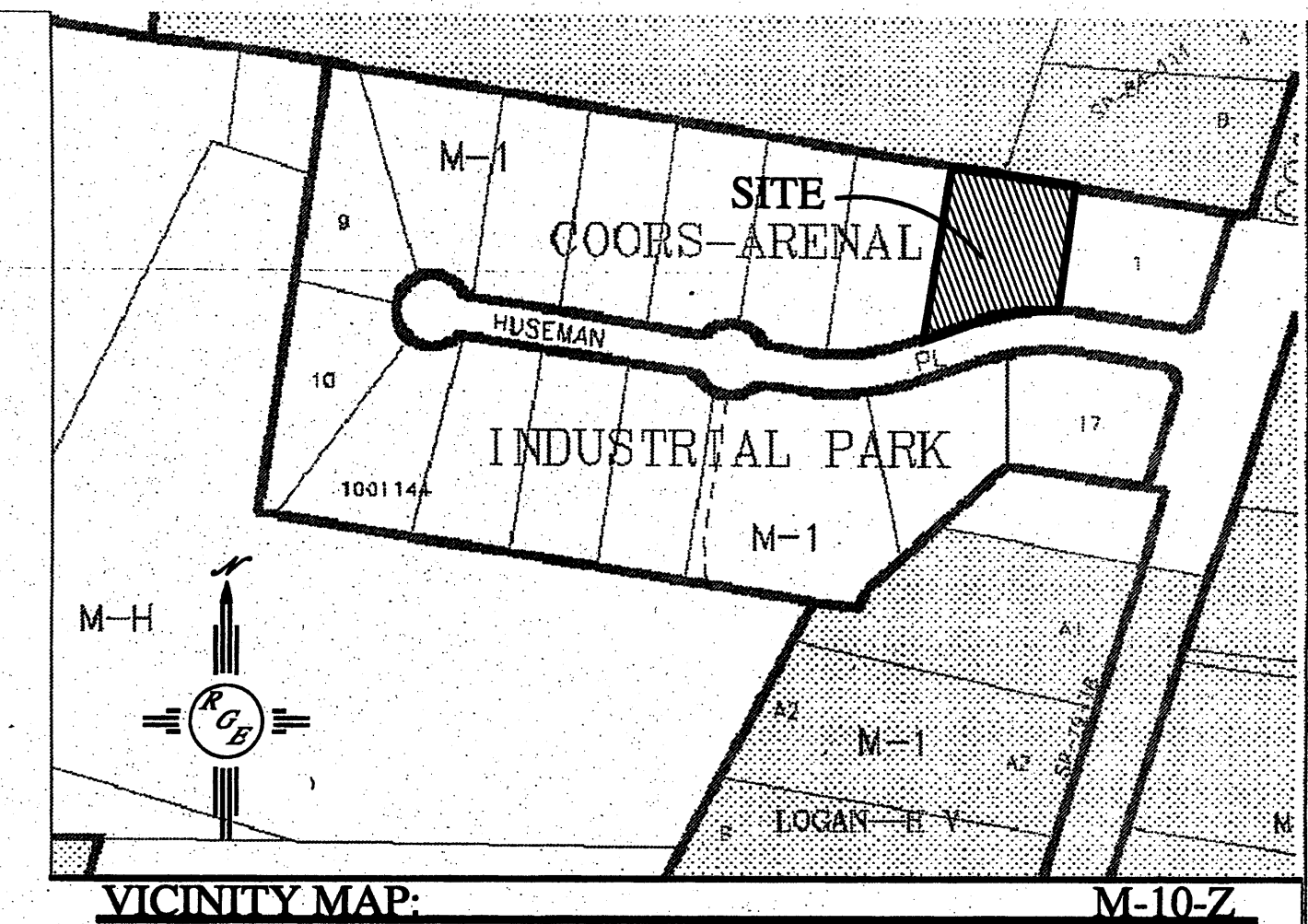
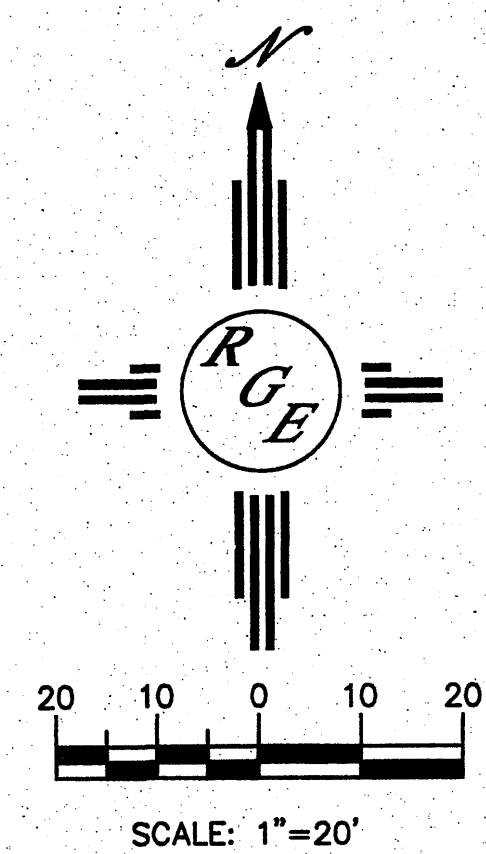




R.A. Called 12/28/12, missing
Please come in "Red-line"
Submitted Plans to reflect
As David O'Zoning will
sign-off that No 6' pedestrian
path is Req. ekb

I David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 9/6/11. The record information edited on the original design document has been performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided by David Vigil, 8911. The certification is submitted in support of a request for Permanent Certificate of Occupancy. The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



VICINITY MAP: M-10-Z
LEGAL DESCRIPTION:
LOT 2, COORS ARENAL INDUSTRIAL PARK

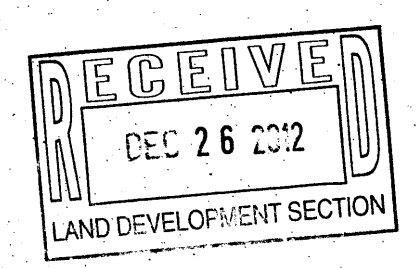
LEGEND

- ===== EXISTING CURB & GUTTER
- ===== PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- ===== EXISTING SIDEWALK
- ===== PROPOSED SIDEWALK
- CENTERLINE
- RIGHT-OF-WAY

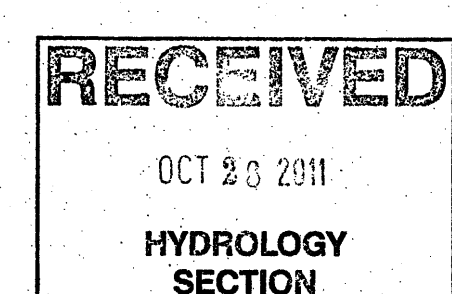
PARKING CALCULATIONS:
WAREHOUSE 1SP/2000 SQFT
4800 SQFT. / 2000 = 3 SPACES
OFFICE 1SP/200 SQFT
400 SQFT. / 200 = 2 SPACES
TOTAL SPACES REQUIRED 5 SPACES
HC SPACES REQUIRED 1-8 = 1 SPACES
HC SPACES PROVIDED = 1 SPACES

TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed: [Signature] 11-22-11
Date

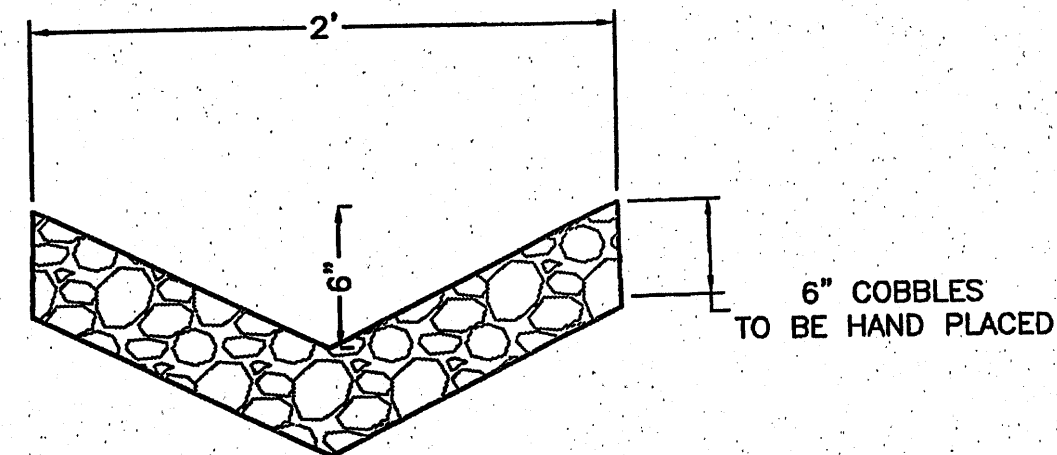
Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.



ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

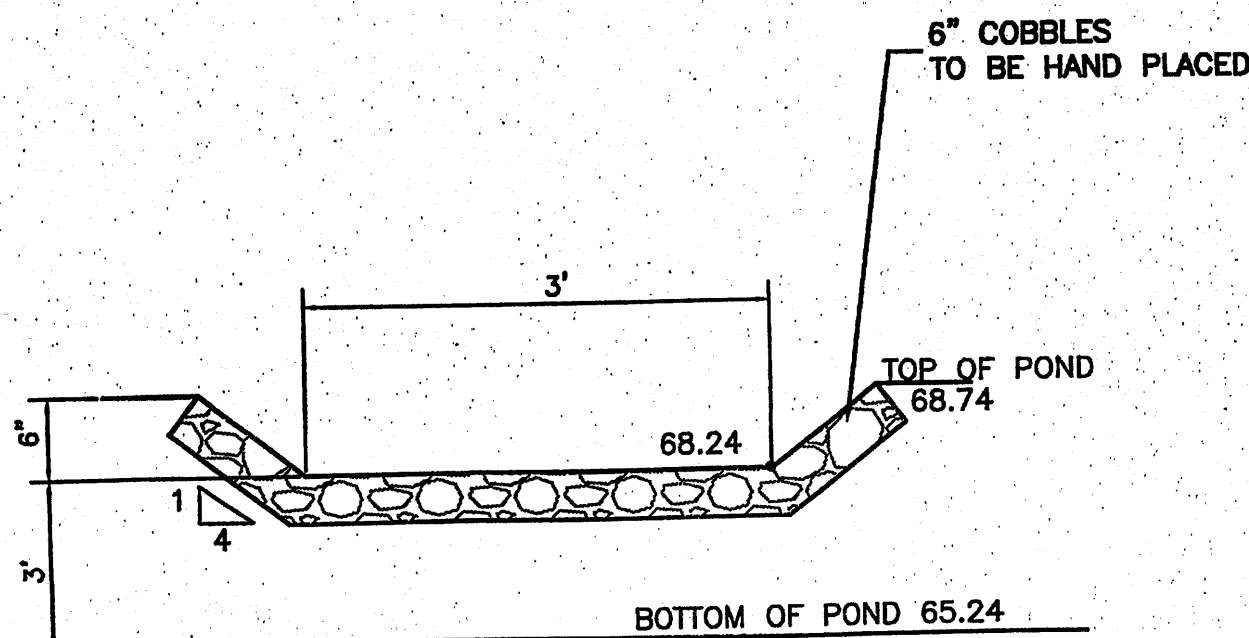


ENGINEER'S SEAL DAVID SOULE P.E. #14522	LOTS 2-COORS ARENAL INDUSTRIAL PARK		DRAWN BY WCWJ
	TRAFFIC CIRCULATION LAYOUT		DATE 9-01-10
 Rio Grande Engineering 1808 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999		21129-LAYOUT-8-25-11	
		SHEET #	
		JOB # 21129	



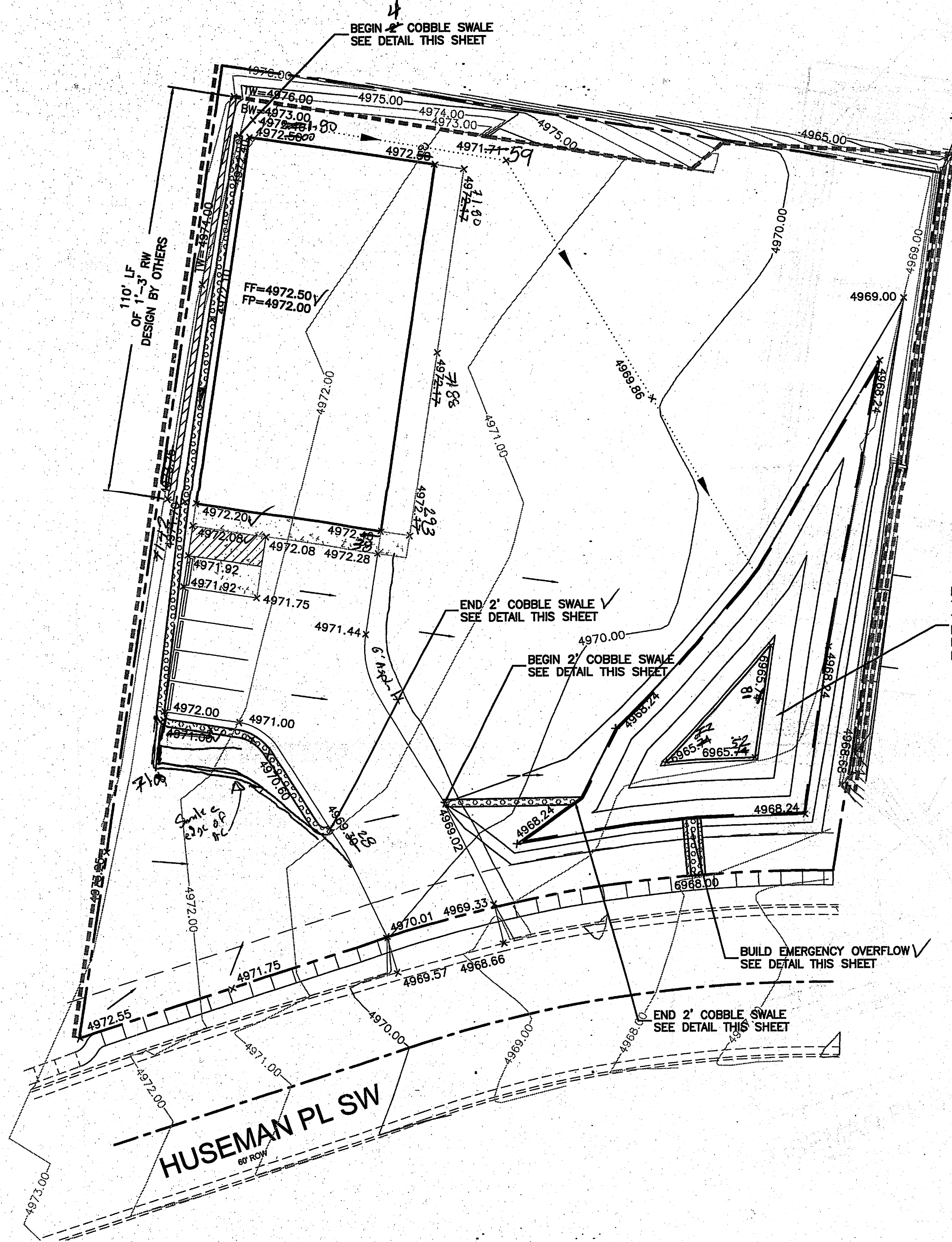
COBBLE SWALE DETAIL

NTS



EMERGENCY OVERFLOW DETAIL

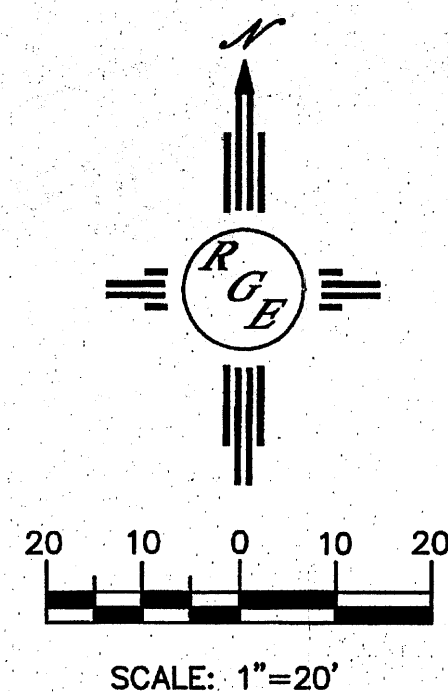
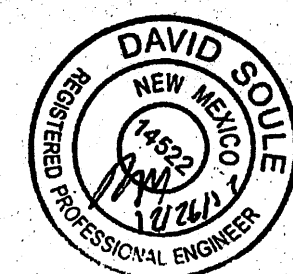
NTS



N=1476042.745
E=1504093.288
EL=4988.719
NEW MEXICO STATE PLANE
CENTRAL ZONE
G-G= 0.999687535
D-A= -00°15'41.93"
NAD 1983-NAVD 1988

BUILD RETENTION POND
TOP=4968.24 (ELEVATION AT OVERFLOW)
100 YR WSEL=4968.12
BOTTOM=4965.74
REQUIRED VOLUME=4800 CU. FT.
PROPOSED VOLUME=4818 CU. FT. (● OVERFLOW) ✓

I David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will be constructed in substantial compliance with and in accordance with the design intent of the approved TCL plan dated 10/10/11. The record information edited on the original design document has been performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided by David Vigil, 8911. The certification is submitted in support of a request for Permanent Certificate of Occupancy. The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the Traffic Circulation aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

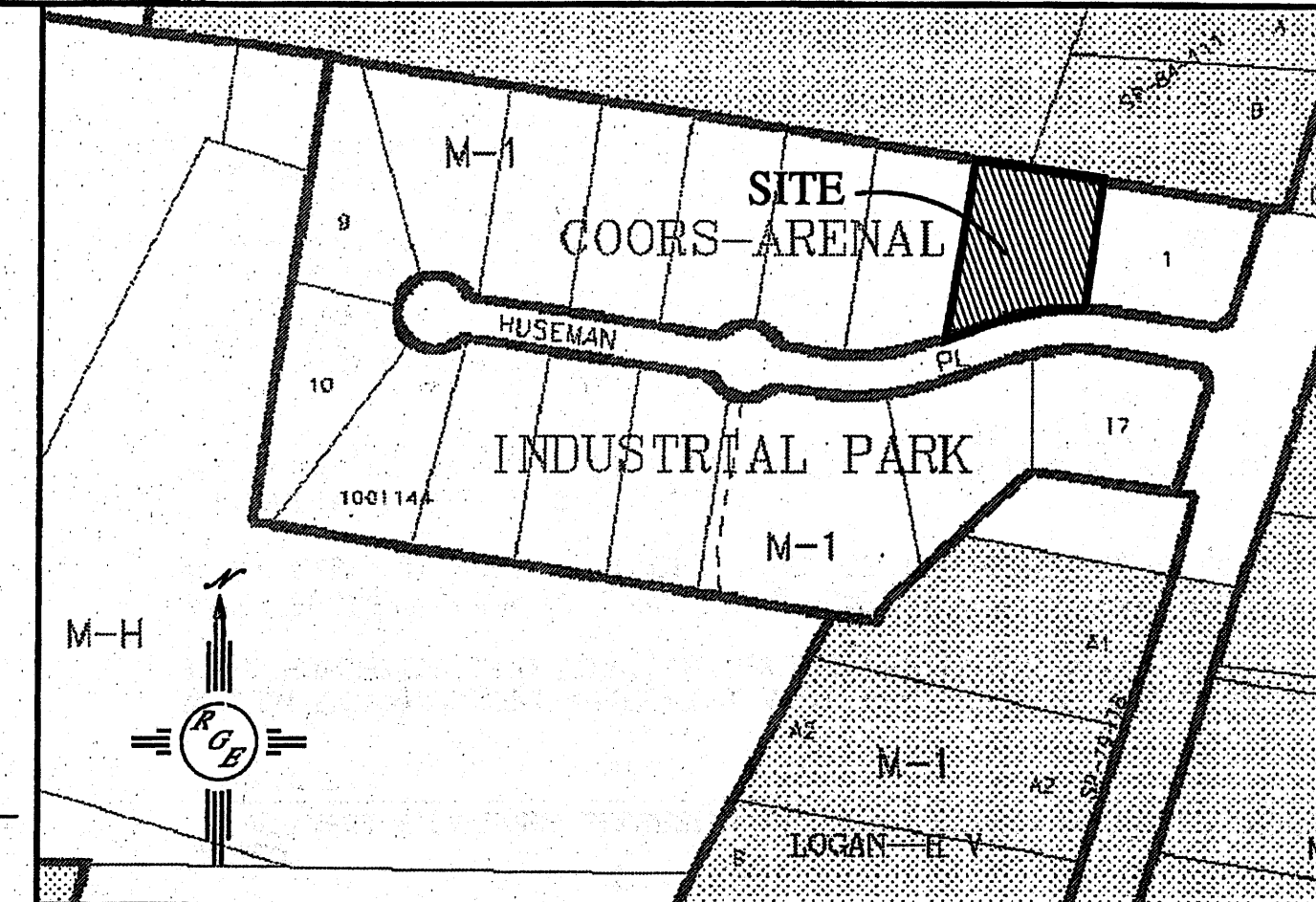


EROSION CONTROL NOTES:

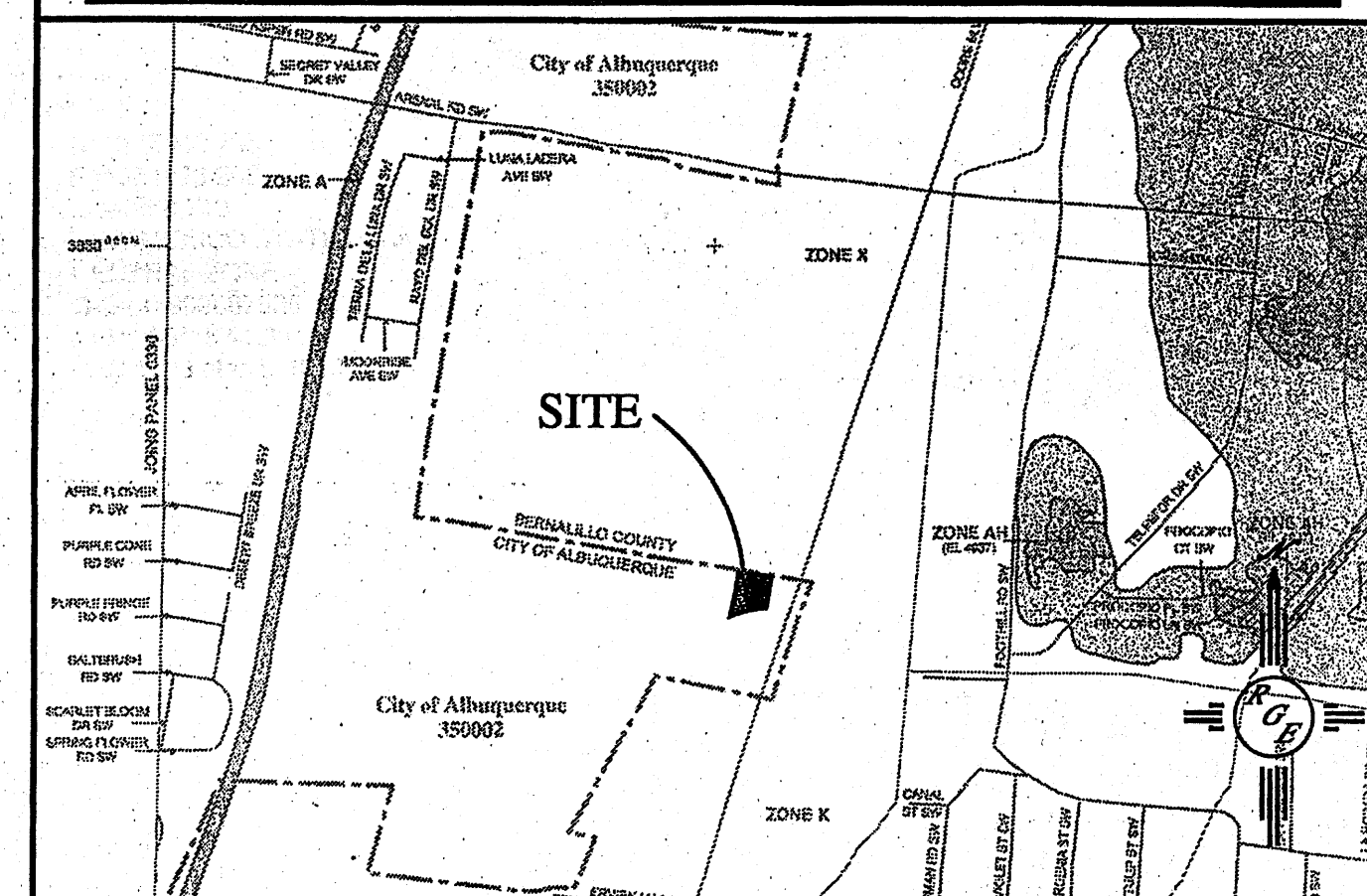
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A GRADING PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. ENCROACHMENT INTO ADJACENT PROPERTIES IS NOT ALLOWED WITHOUT A WRITTEN ENCROACHMENT AGREEMENT WITH THE ADJACENT PROPERTY OWNERS.

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.



VICINITY MAP: M-10-Z



FIRM MAP 35001CO337 E

LEGAL DESCRIPTION:

LOT 2, COORS ARENAL INDUSTRIAL PARK

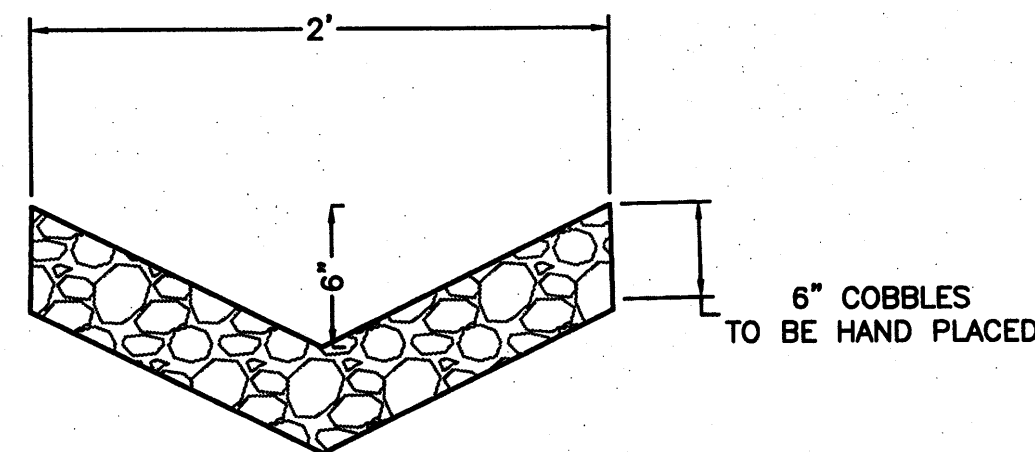
LEGEND

- LOT LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED INDEX CONTOUR
- FLOW ARROW
- CENTERLINE
- EDGE OF NEW PAVING
- EXISTING CURB AND GUTTER
- EXISTING RETAINING WALL
- PROPOSED RETAINING WALL
- FLOW LINE
- 100 YR WSEL
- NEW 4' SIDEWALK
- EXISTING 4' SIDEWALK

CAUTION:

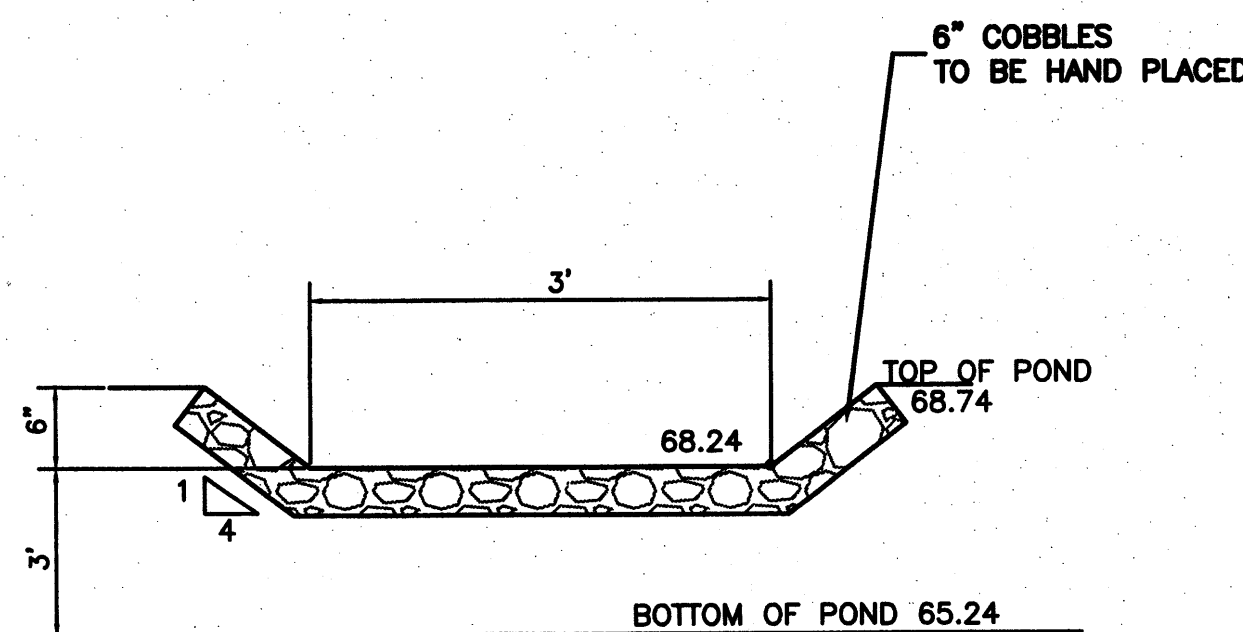
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

ENGINEER'S SEAL	6811 HUSEMAN	DRAWN BY WCWJ
DAVID SOULE NEW MEXICO 14522 REGISTERED PROFESSIONAL ENGINEER	GRADING AND DRAINAGE PLAN	DATE 10-06-11
	Rio Grande Engineering 1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 672-0899	21129-LAYOUT-B-25-11
DAVID SOULE P.E. #14522	RECEIVED DEC 2 2012	JOB # 21129



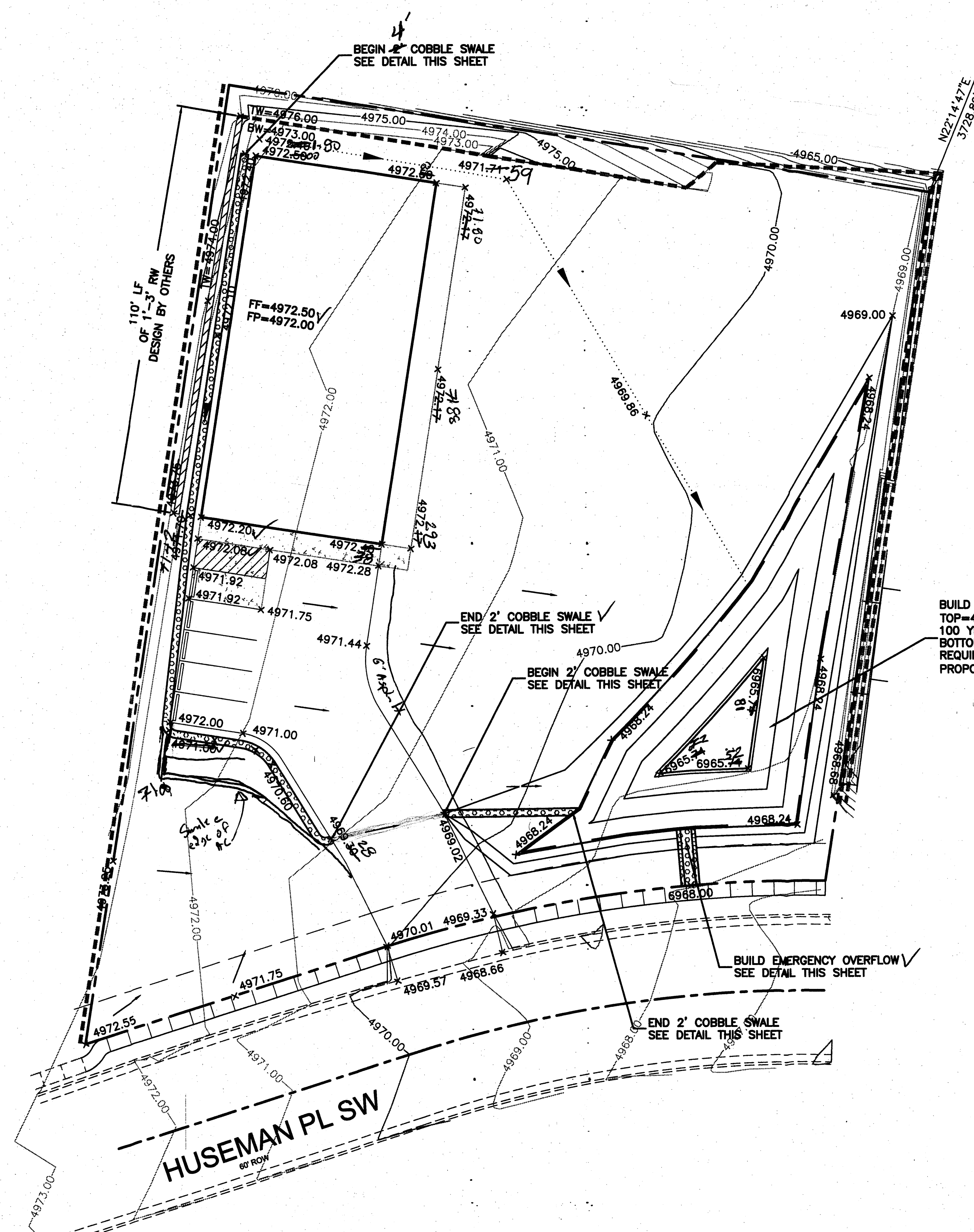
COBBLE SWALE DETAIL

NTS



EMERGENCY OVERFLOW DETAIL

NTS

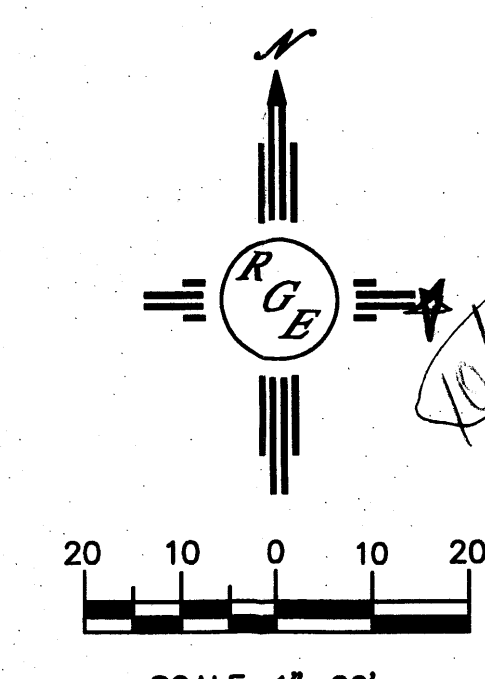
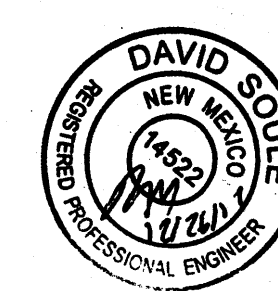


N=1476042.745
E=1504093.288
EL=4968.719
NEW MEXICO STATE PLANE
CENTRAL ZONE
G-G= 0.999687535
D-A= -0.01541.93"
NAD 1983-NAVD 1988

BUILD RETENTION POND
TOP=4968.24 (ELEVATION AT OVERFLOW)
100 YR WSEL=4968.12
BOTTOM=4965.74
REQUIRED VOLUME=4800 CU. FT.
PROPOSED VOLUME=4818 CU. FT. (OVERFLOW) ✓

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APPROVED PLAN 3/20/11
S.W.A.L.E.

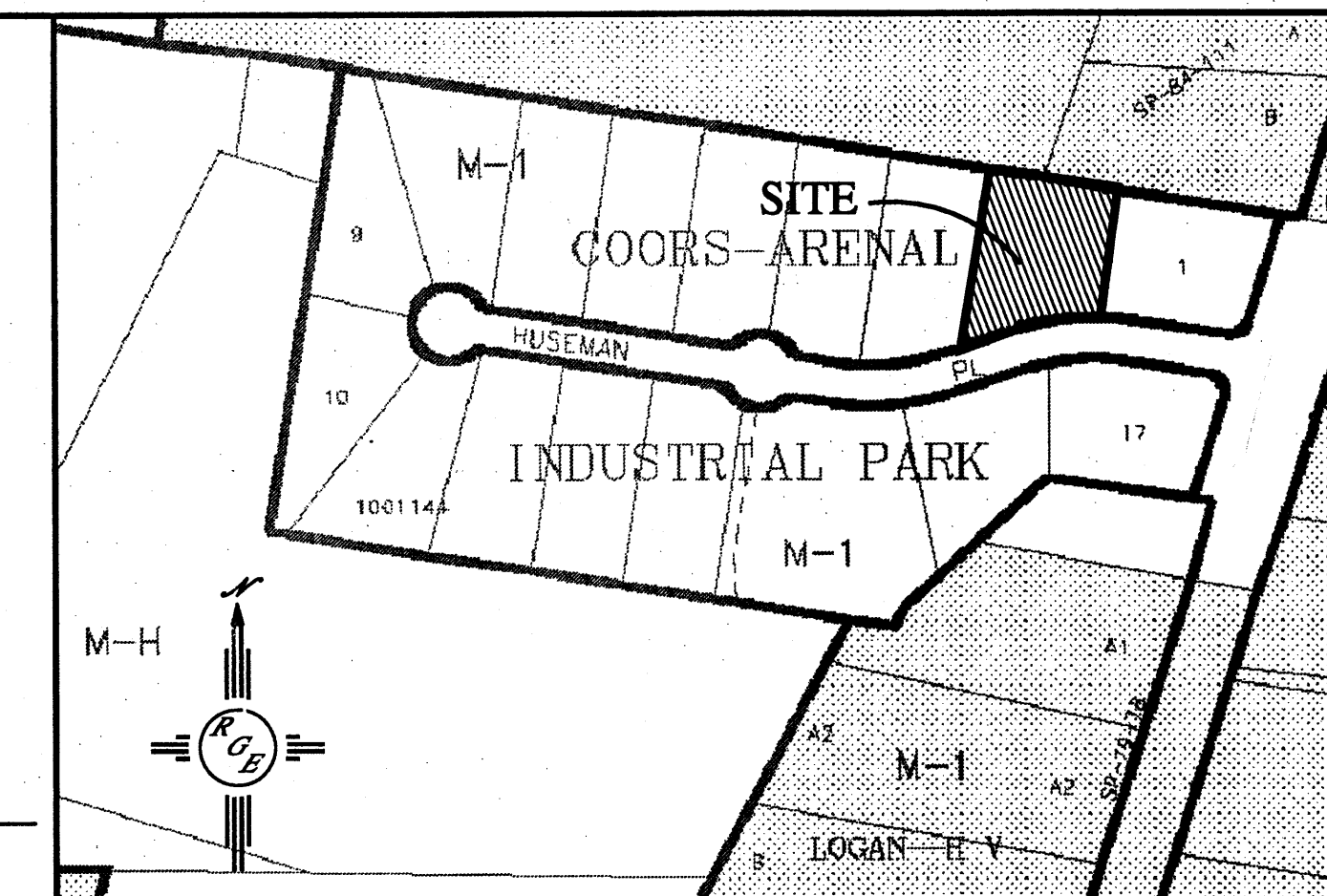


EROSION CONTROL NOTES:

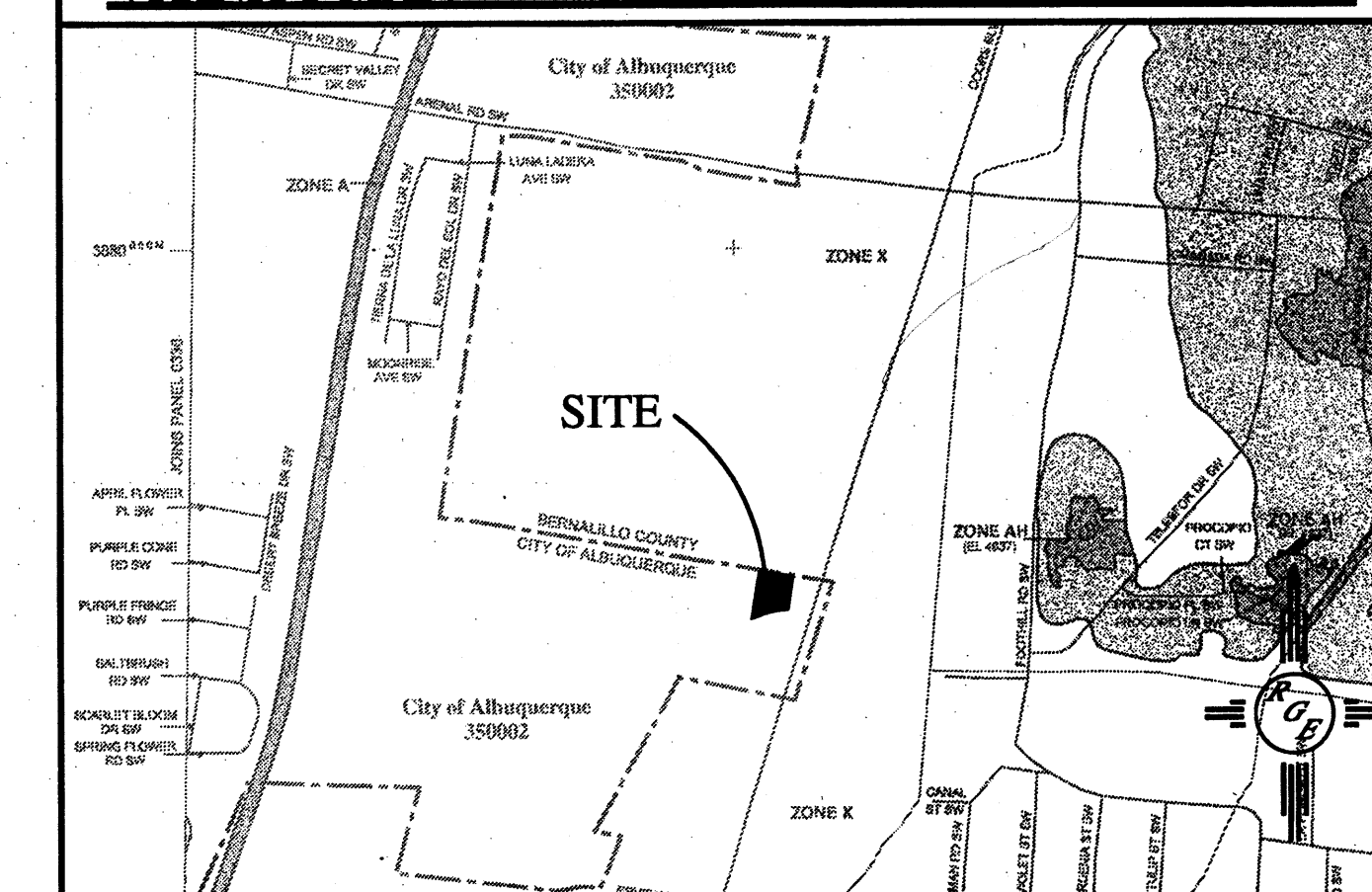
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A GRADING PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
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NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.



VICINITY MAP:



FIRM MAP

35001CO337 E

LEGAL DESCRIPTION:

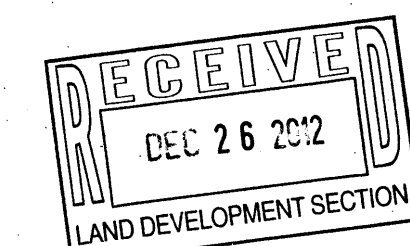
LOT 2, COORS ARENAL INDUSTRIAL PARK

LEGEND

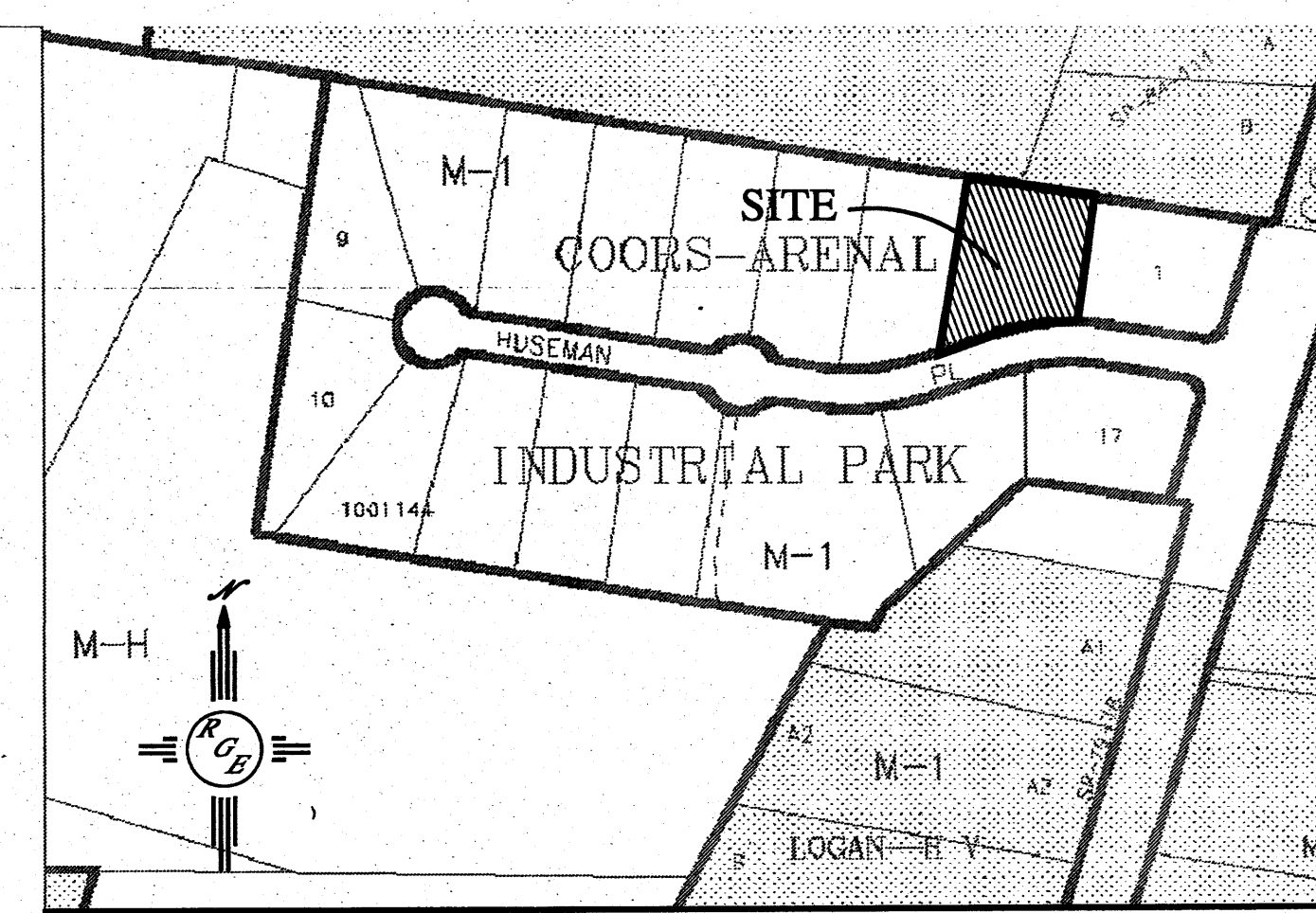
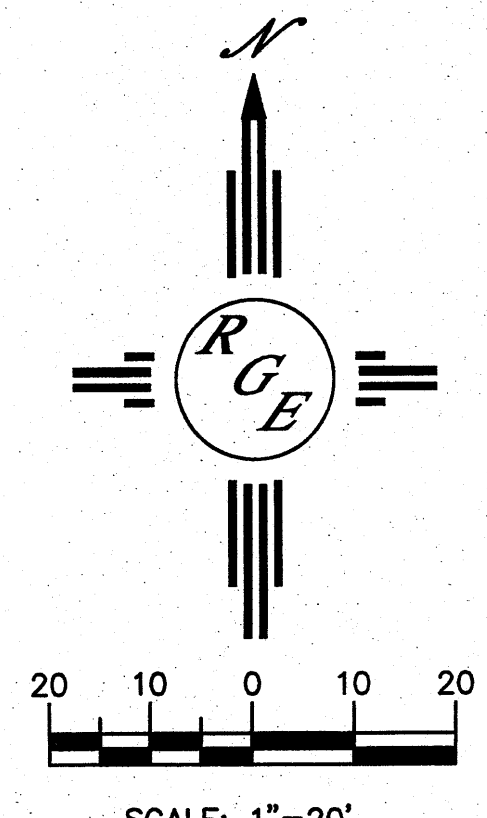
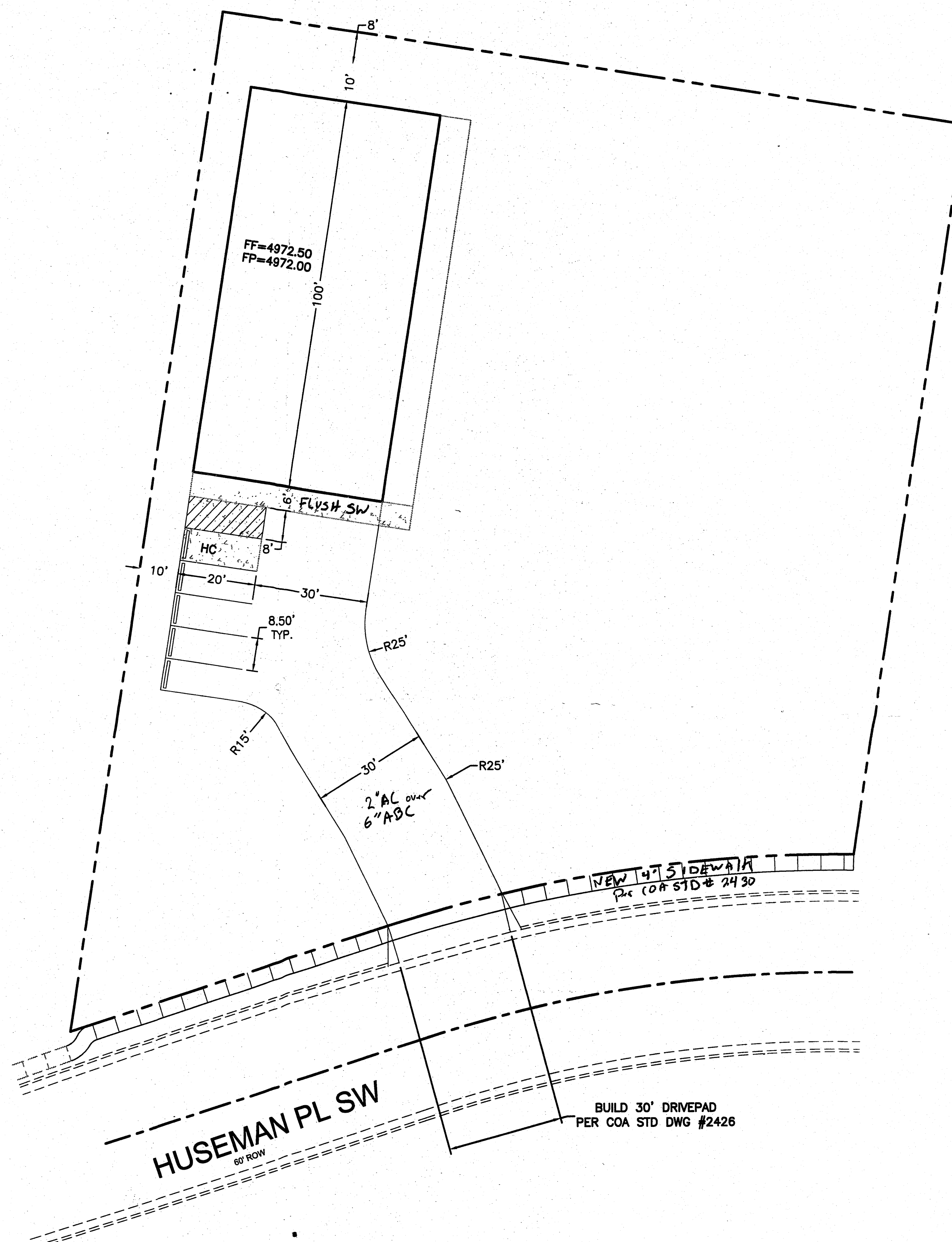
- LOT LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED INDEX CONTOUR
- FLOW ARROW
- CENTERLINE
- EDGE OF NEW PAVING
- EXISTING CURB AND GUTTER
- EXISTING RETAINING WALL
- PROPOSED RETAINING WALL
- FLOW LINE
- 100 YR WSEL
- NEW 4' SIDEWALK
- EXISTING 4' SIDEWALK

CAUTION:

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ENGINEER'S SEAL	6811 HUSEMAN	DRAWN BY WCUJ
		DATE 10-06-11
		21129-LAYOUT-8-25-11
		SHEET #
		JOB # 21129
DAVID SOULE P.E. #14522	GRADING AND DRAINAGE PLAN 1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87108 (505) 872-0989	



VICINITY MAP: M-10-Z

LEGAL DESCRIPTION:
LOT 2, COORS ARENAL INDUSTRIAL PARK

LEGEND

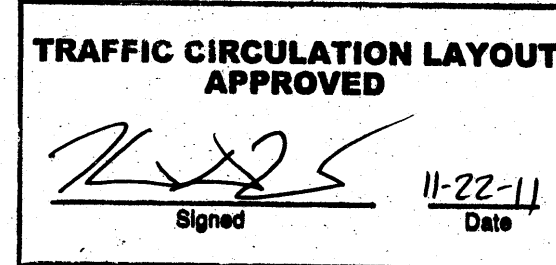
- ===== EXISTING CURB & GUTTER
- ===== PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- ===== EXISTING SIDEWALK
- ===== PROPOSED SIDEWALK
- CENTERLINE
- RIGHT-OF-WAY

PARKING CALCULATIONS

WAREHOUSE 1SP/ 2000 SQFT
4800 SQFT. / 2000 = 3 SPACES

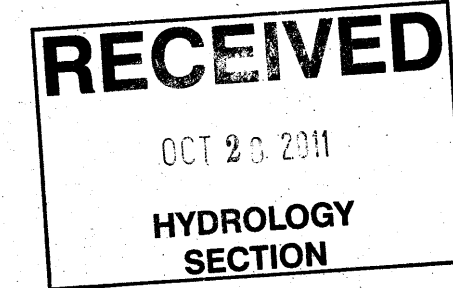
OFFICE 1SP/ 200 SQFT
400 SQFT. / 200 = 2 SPACES

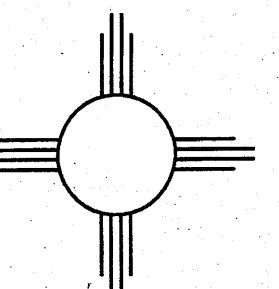
TOTAL SPACES REQUIRED 5 SPACES
HC SPACES REQUIRED 1-8 = 1 SPACES
HC SPACES PROVIDED = 1 SPACES

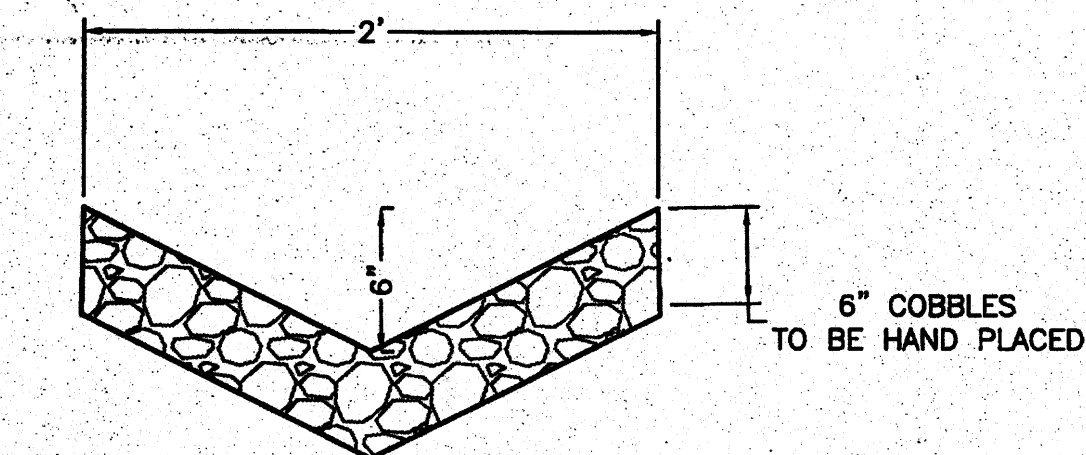


Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DRC/Permit approval
and Work Order required.

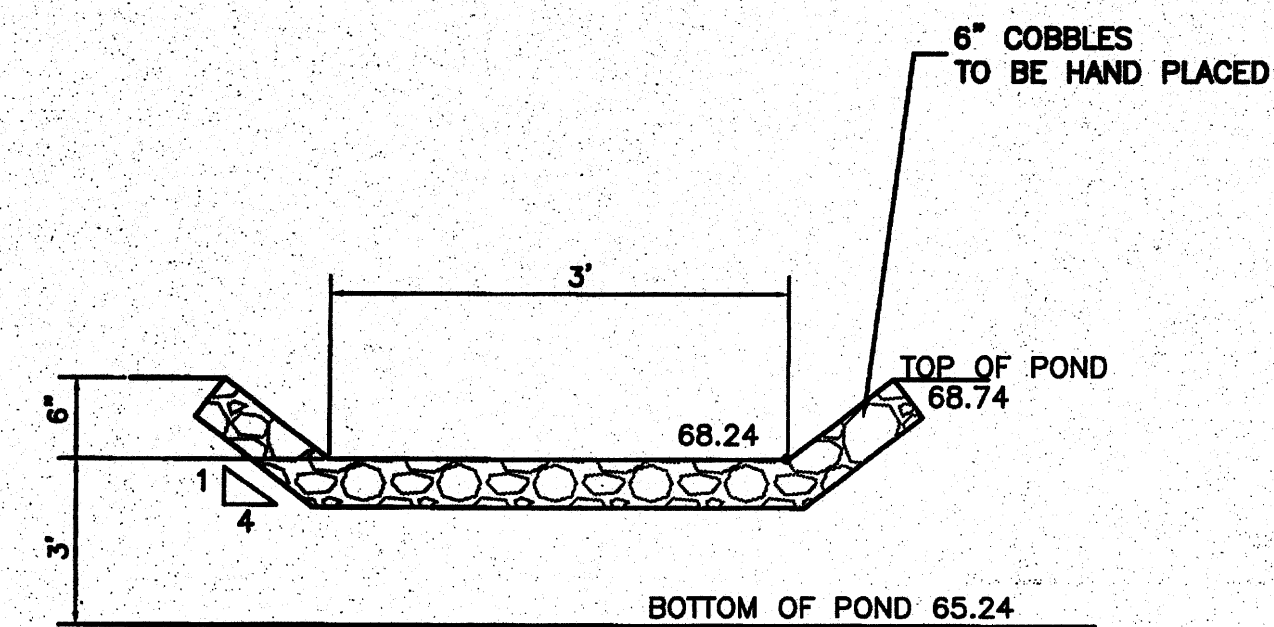
ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.



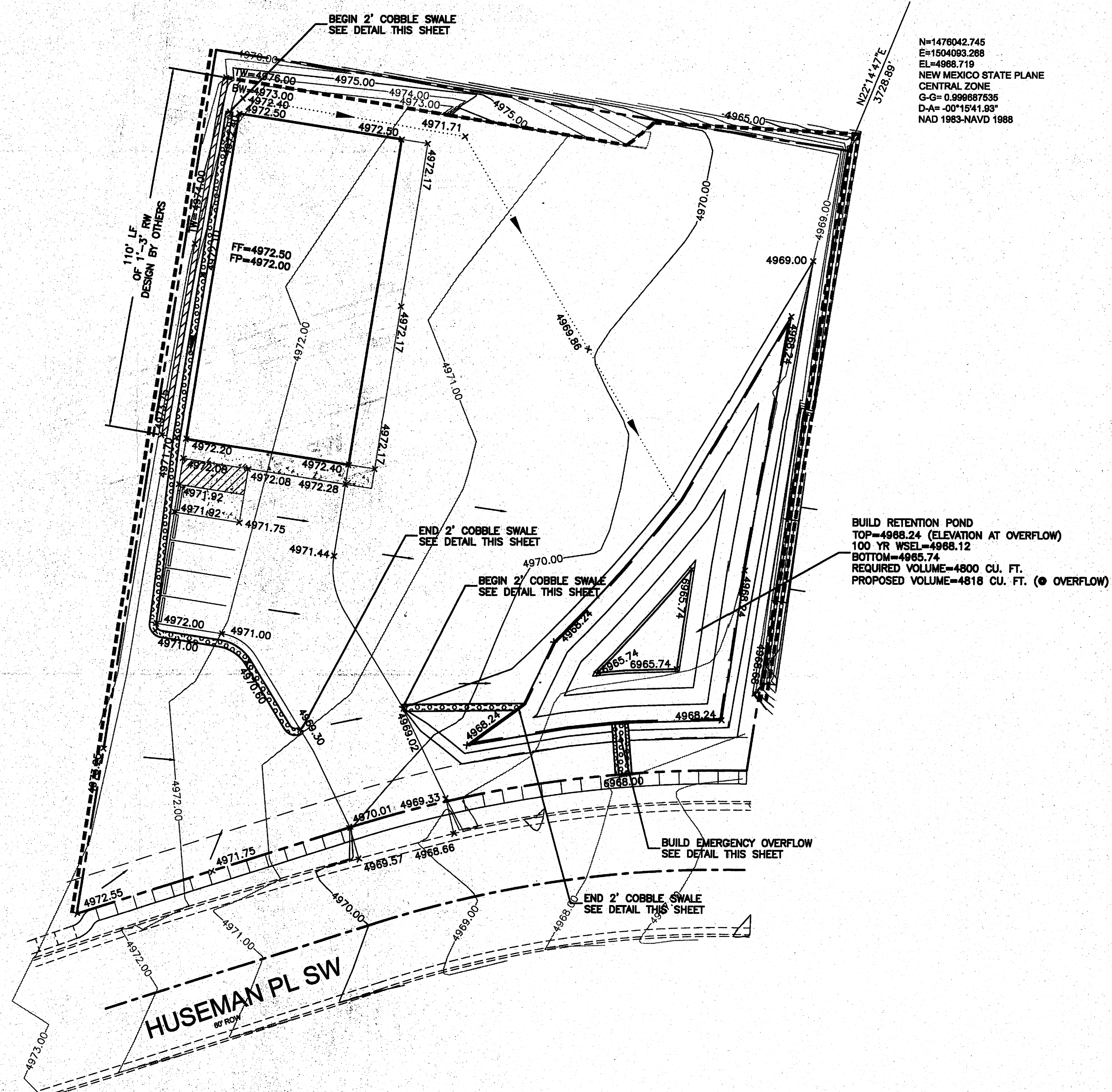
ENGINEER'S SEAL  DAVID SOULE P.E. #14522	LOTS 2-COORS ARENAL INDUSTRIAL PARK TRAFFIC CIRCULATION LAYOUT  Rio Grande Engineering 1806 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	DRAWN BY WCWJ DATE 9-01-10 21129-LAYOUT-8-25-11 SHEET # JOB # 21129
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COBBLE SWALE DETAIL
NTS



EMERGENCY OVERFLOW DETAIL
NTS



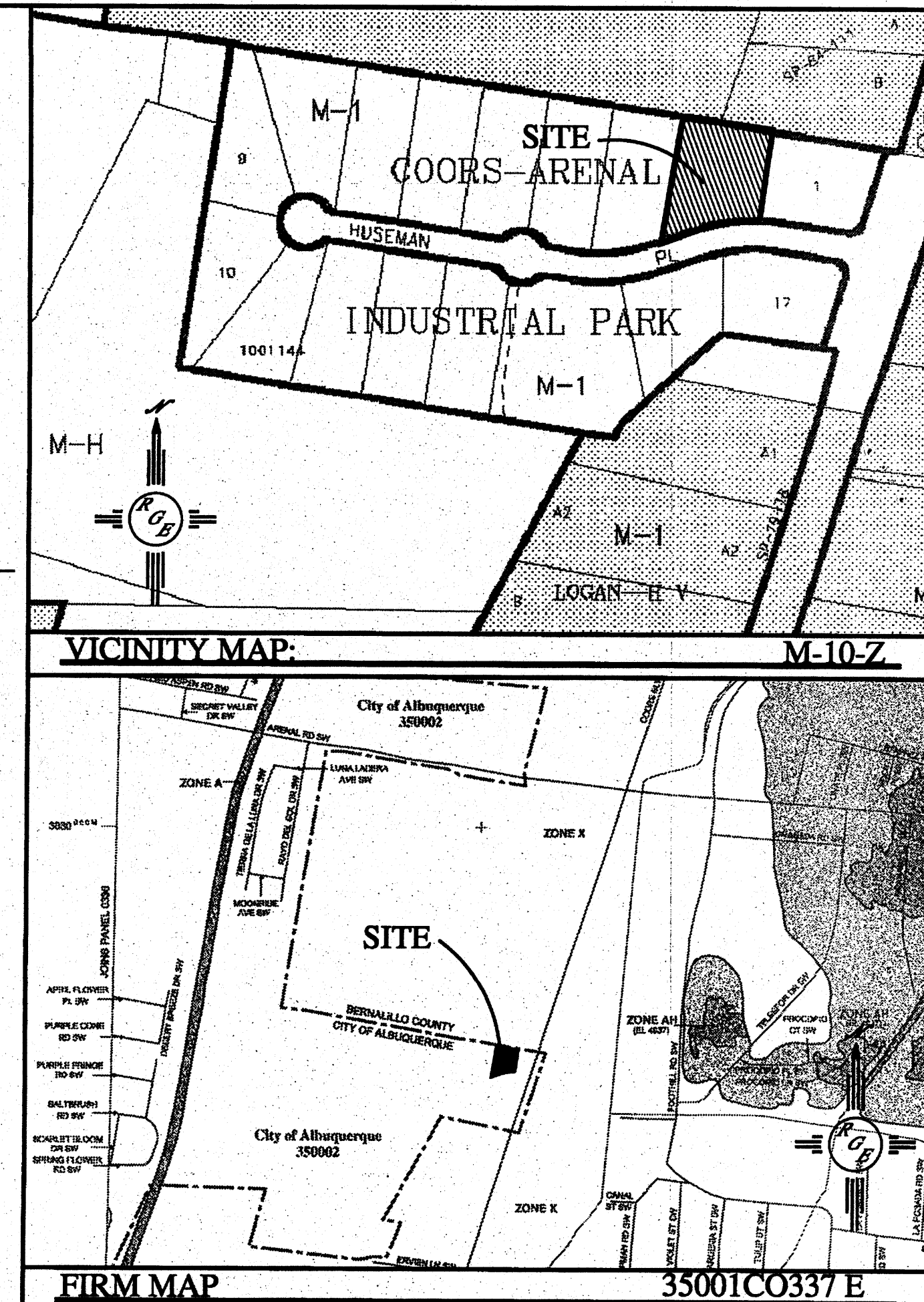
EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A GRADING PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
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NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

N=1478042.745
E=1504083.288
EL=4968.719
NEW MEXICO STATE PLANE
CENTRAL ZONE
G-G= 0.999887535
D-A= -00°15'41.83"
NAD 1983-NAVD 1988



LEGAL DESCRIPTION:

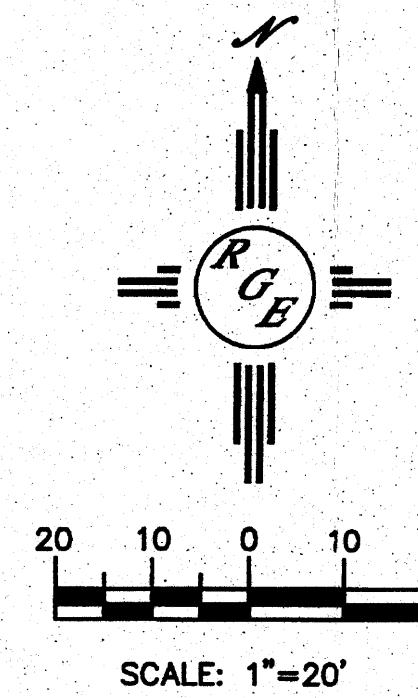
LOT 2, COORS ARENAL INDUSTRIAL PARK

LEGEND

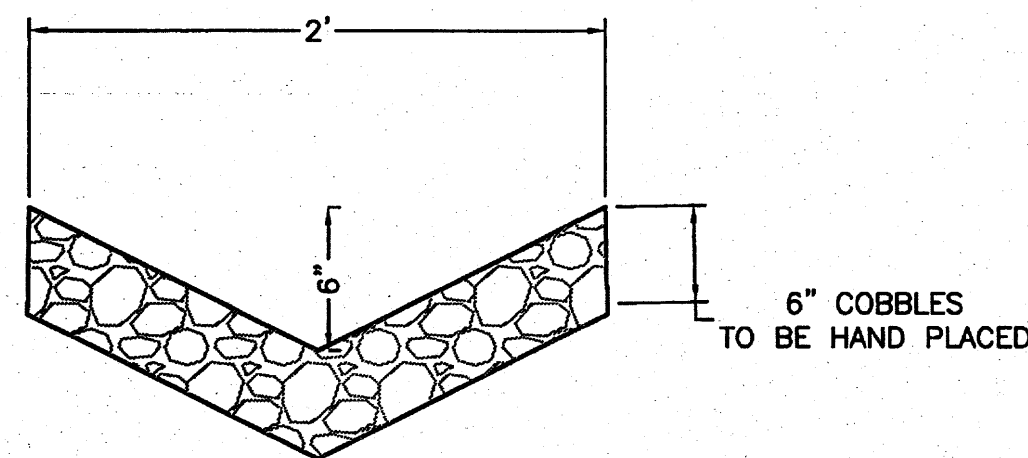
---	LOT LINE
---	EXISTING CONTOUR
---	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED INDEX CONTOUR
---	FLOW ARROW
---	CENTERLINE
---	EDGE OF NEW PAVING
---	EXISTING CURB AND GUTTER
---	EXISTING RETAINING WALL
---	PROPOSED RETAINING WALL
---	FLOW LINE
---	100 YR WSEL
---	NEW 4' SIDEWALK
---	EXISTING 4' SIDEWALK

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IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.

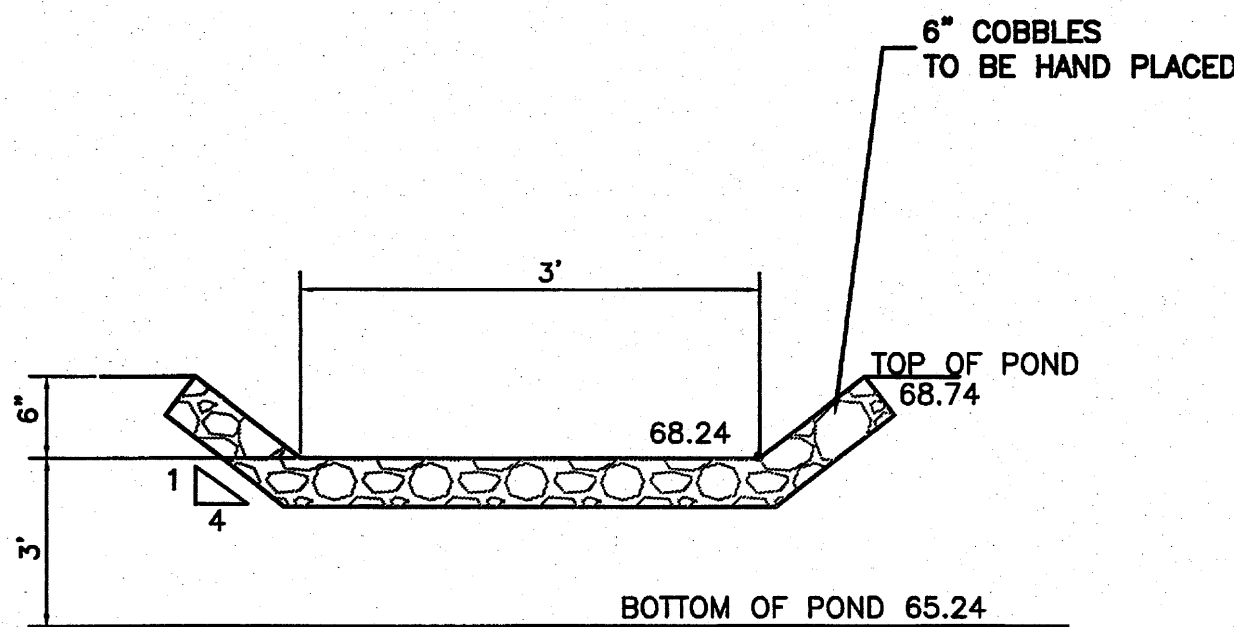
RECEIVED
OCT 13 2011
HYDROLOGY
SECTION



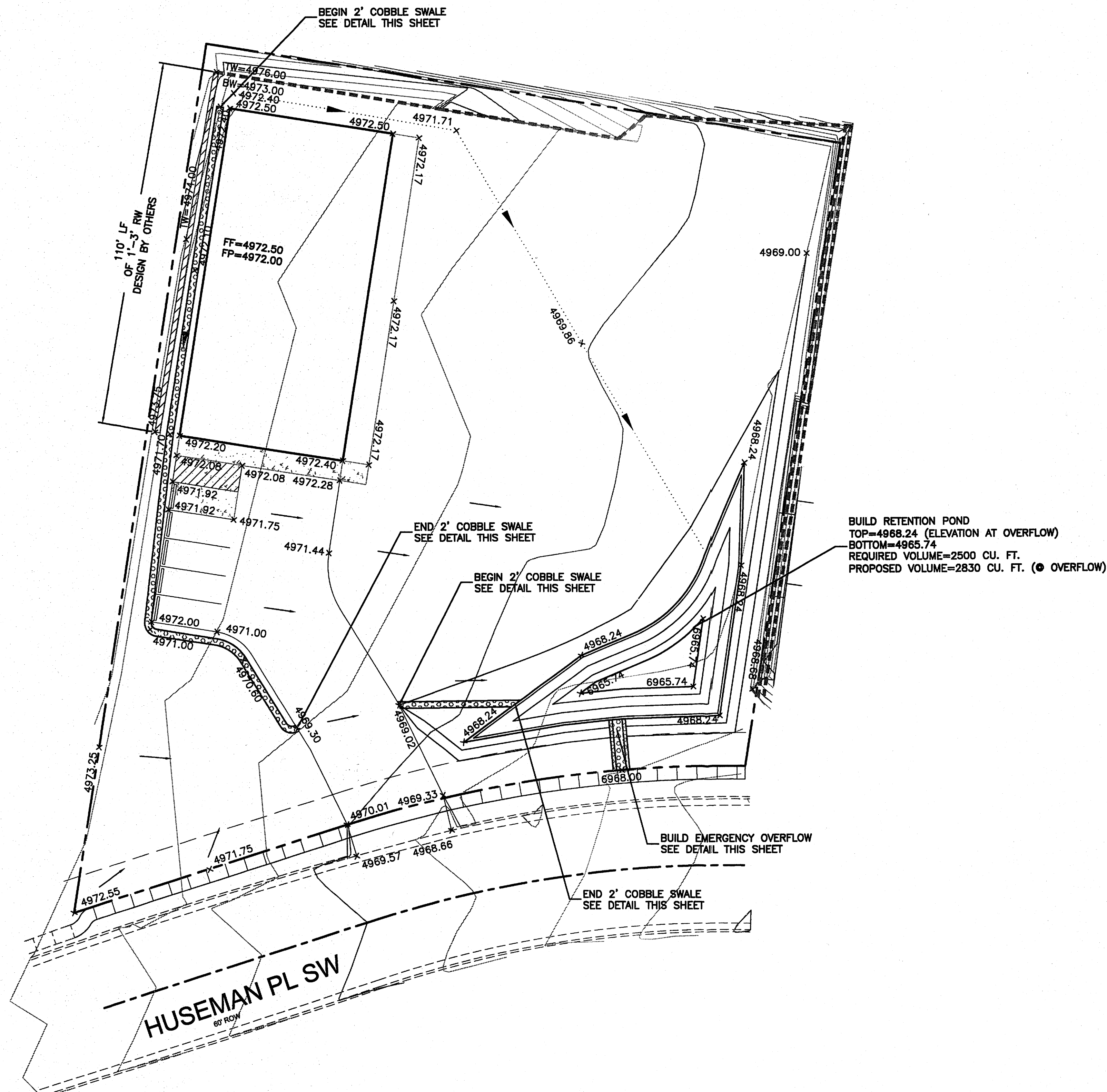
ENGINEER'S SEAL	6811 HUSEMAN	DRAWN BY WCWJ
DAVID SOULE NEW MEXICO REGISTERED PROFESSIONAL ENGINEER	GRADING AND DRAINAGE PLAN	DATE 10-06-11
	Rio Grande Engineering 1806 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0069	21129-LAYOUT-8-25-11
		SHEET # -
		JOB # 21129



COBBLE SWALE DETAIL
NTS



EMERGENCY OVERFLOW DETAIL
NTS

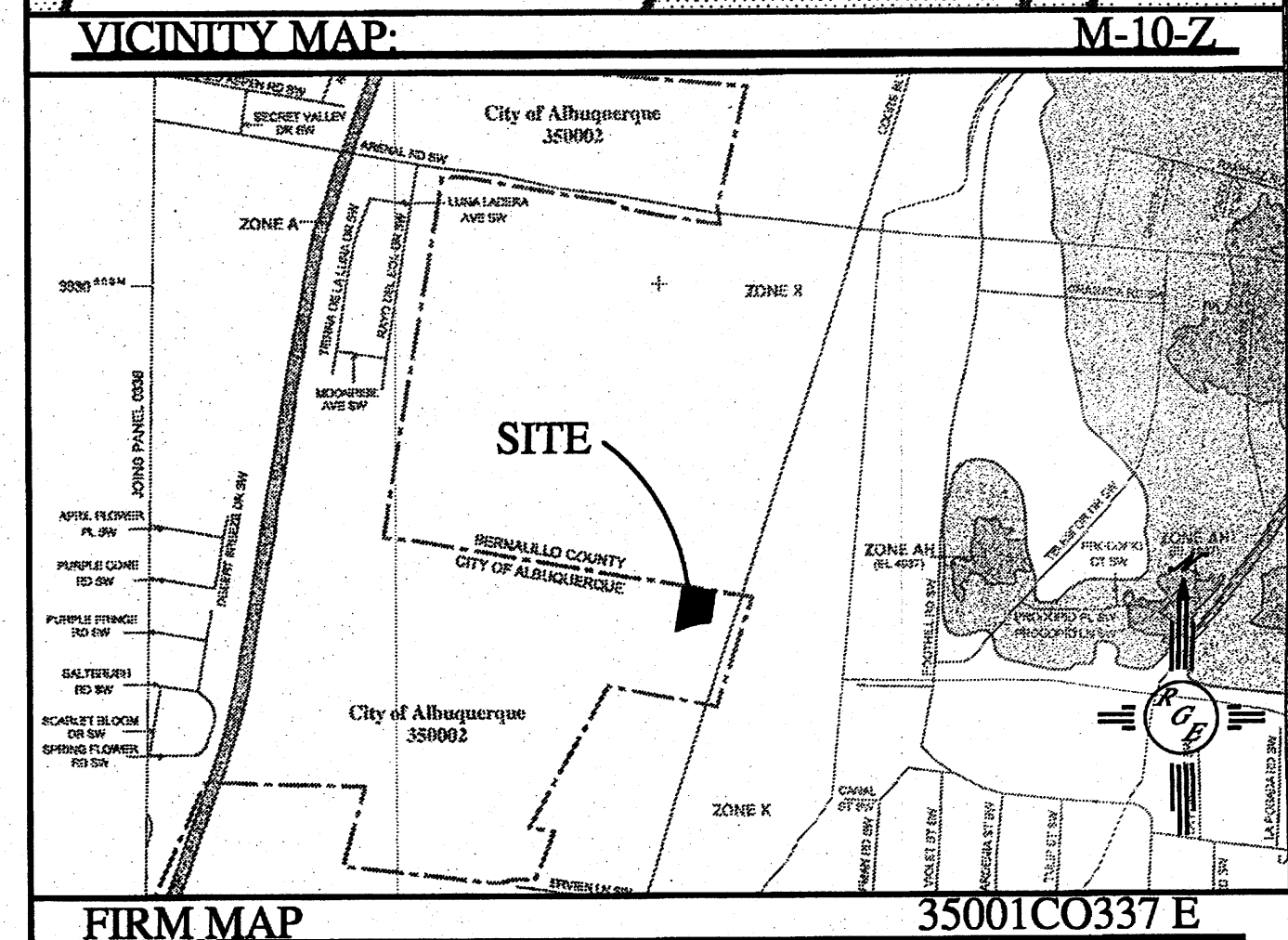
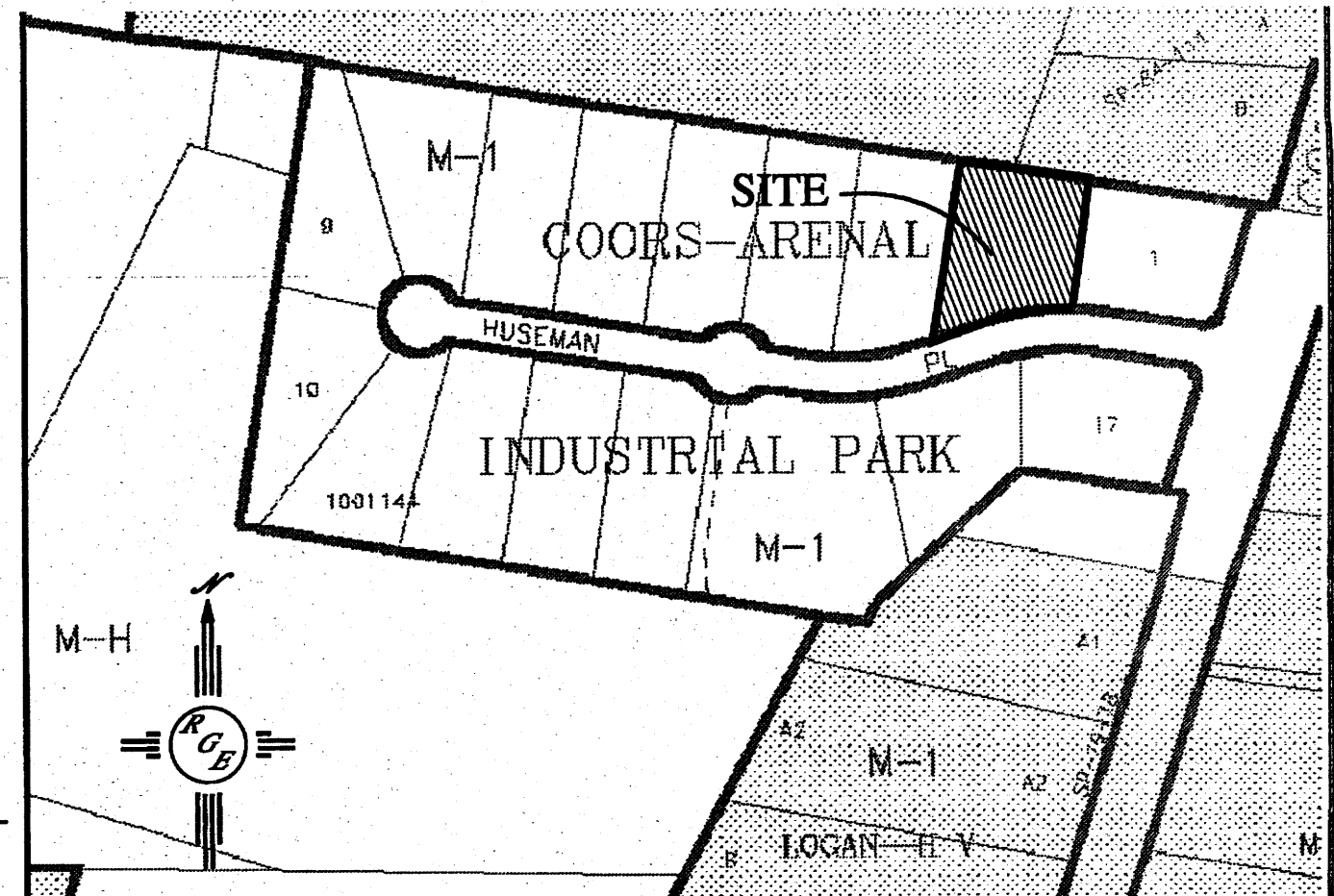


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2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
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NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.



LEGAL DESCRIPTION:

LOT 2, COORS ARENAL INDUSTRIAL PARK

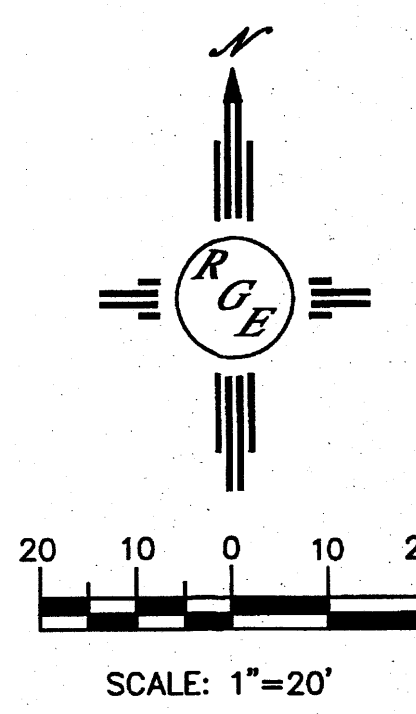
LEGEND

- LOT LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED INDEX CONTOUR
- FLOW ARROW
- CENTERLINE
- EDGE OF NEW PAVING
- EXISTING CURB AND GUTTER
- EXISTING RETAINING WALL
- PROPOSED RETAINING WALL
- FLOW LINE
- NEW 4' SIDEWALK
- EXISTING 4' SIDEWALK

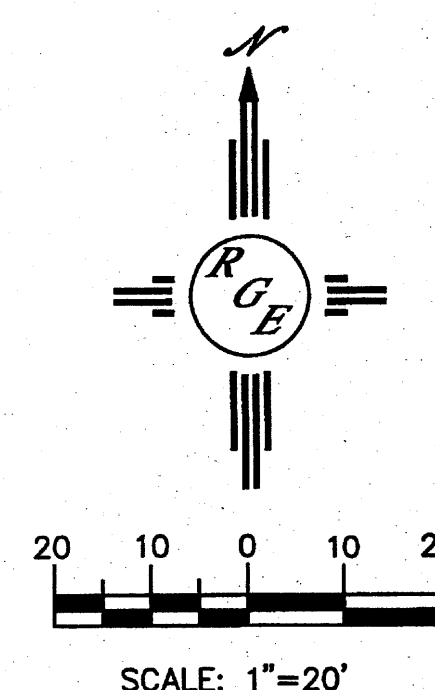
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SEP 12 2011

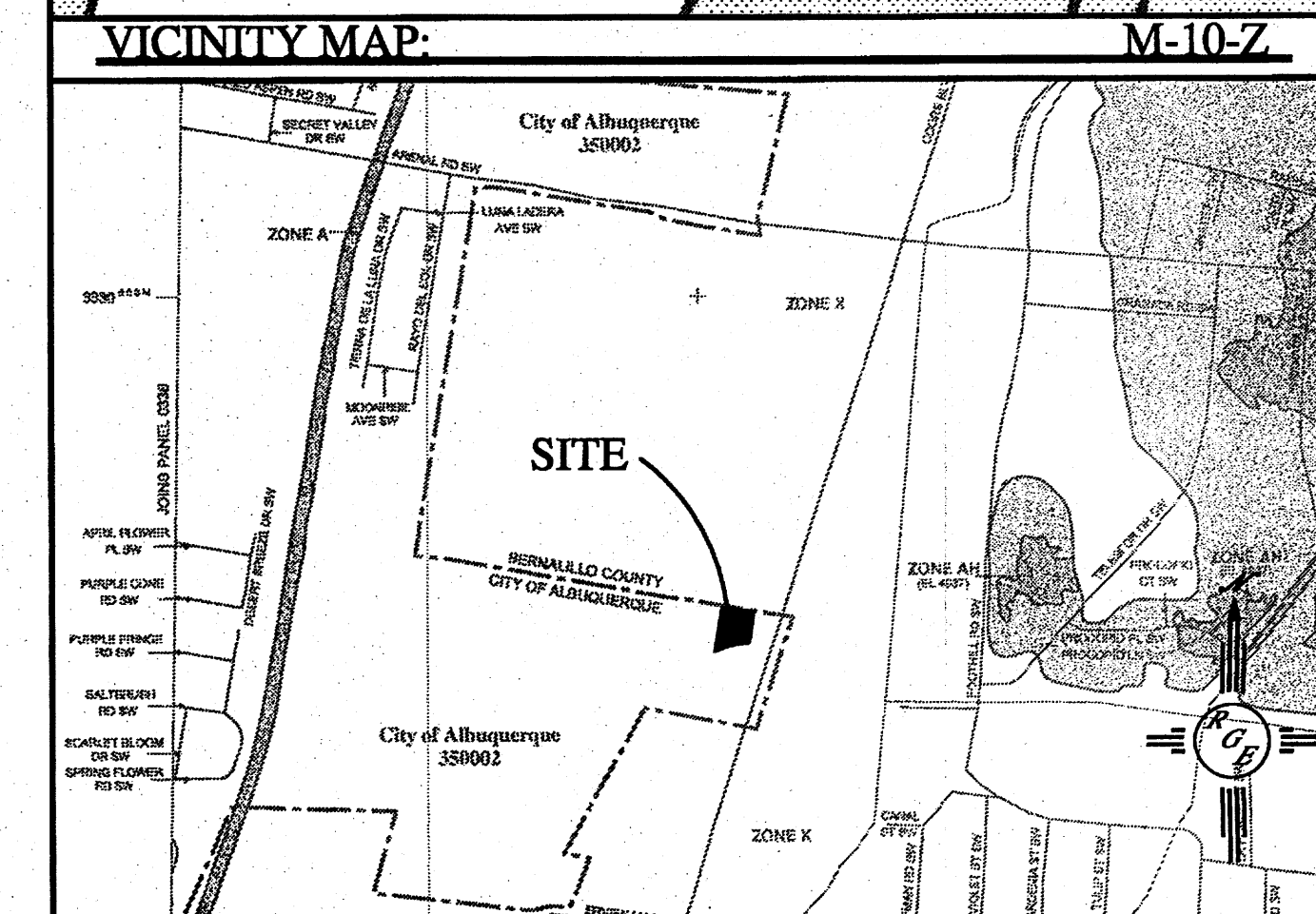
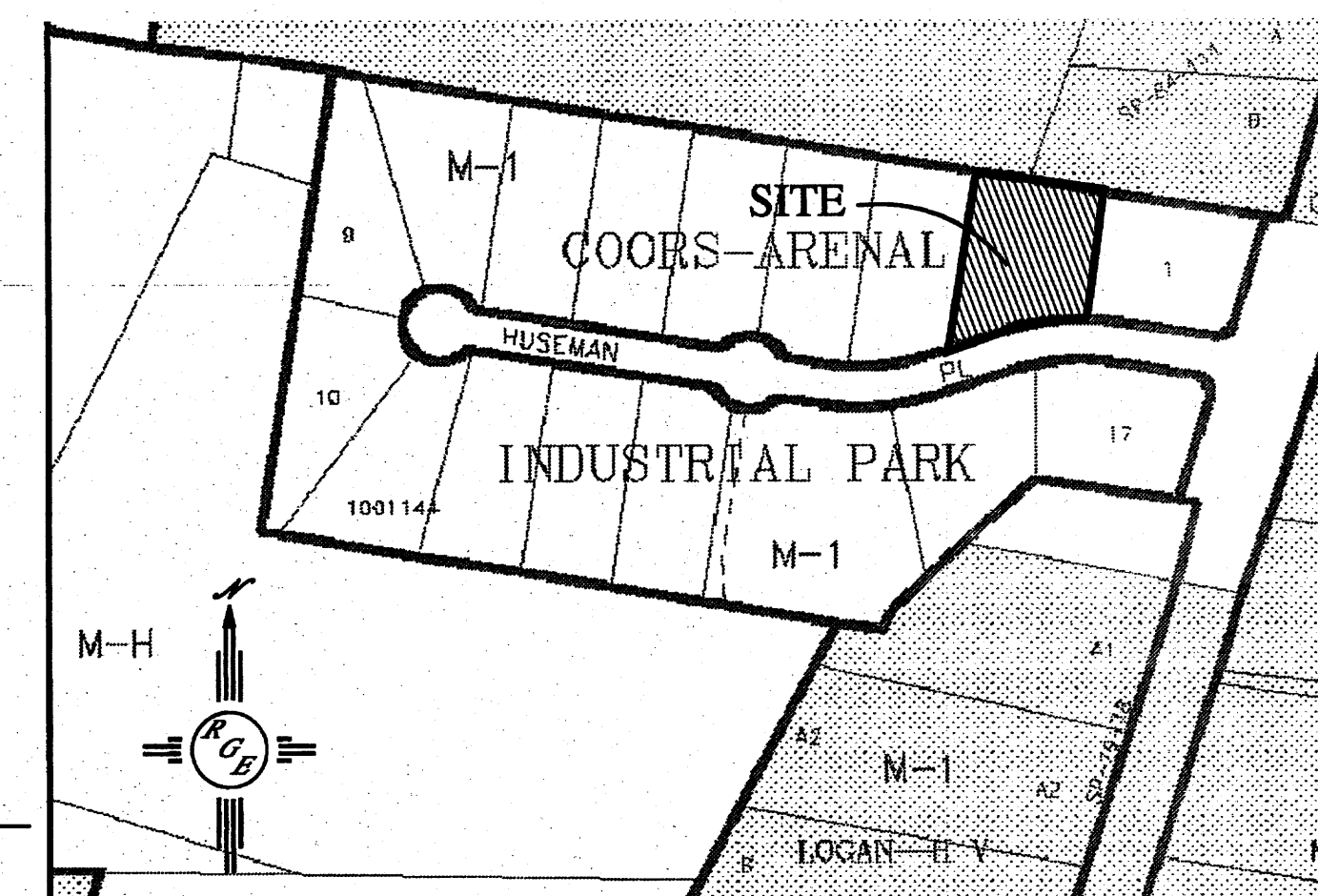


ENGINEER'S SEAL DAVID SOULE P.E. #14522	LOTS 2-COORS ARENAL INDUSTRIAL PARK		DRAWN BY WCWJ
	GRADING AND DRAINAGE PLAN		DATE 8-25-11
 1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999			21129-LAYOUT-8-25-11
			SHEET # -
		JOB # 21129	



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4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. ENCROACHMENT INTO ADJACENT PROPERTIES IS NOT ALLOWED WITHOUT A WRITTEN ENCROACHMENT AGREEMENT WITH THE ADJACENT PROPERTY OWNERS.

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.



LOT 2, COORS ARENAL INDUSTRIAL PARK

	LOT LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	PROPOSED CONTOUR
	PROPOSED INDEX CONTOUR
	FLOW ARROW
	CENTERLINE
	EDGE OF NEW PAVING
	EXISTING CURB AND GUTTER
	EXISTING RETAINING WALL
	PROPOSED RETAINING WALL
	FLOW LINE
	NEW 4' SIDEWALK
	EXISTING 4' SIDEWALK

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.

	ENGINEER'S SEAL	LOTS 2-COORS ARENAL INDUSTRIAL PARK	DRAWN BY WCWJ
			DATE 8-25-11
		DAVID SOULE P.E. #14522	GRADING AND DRAINAGE PLAN
		<i>Rio Grande</i> <i>Engineering</i> 1806 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87108 (505) 872-0999	SHEET # - JOB # 21129