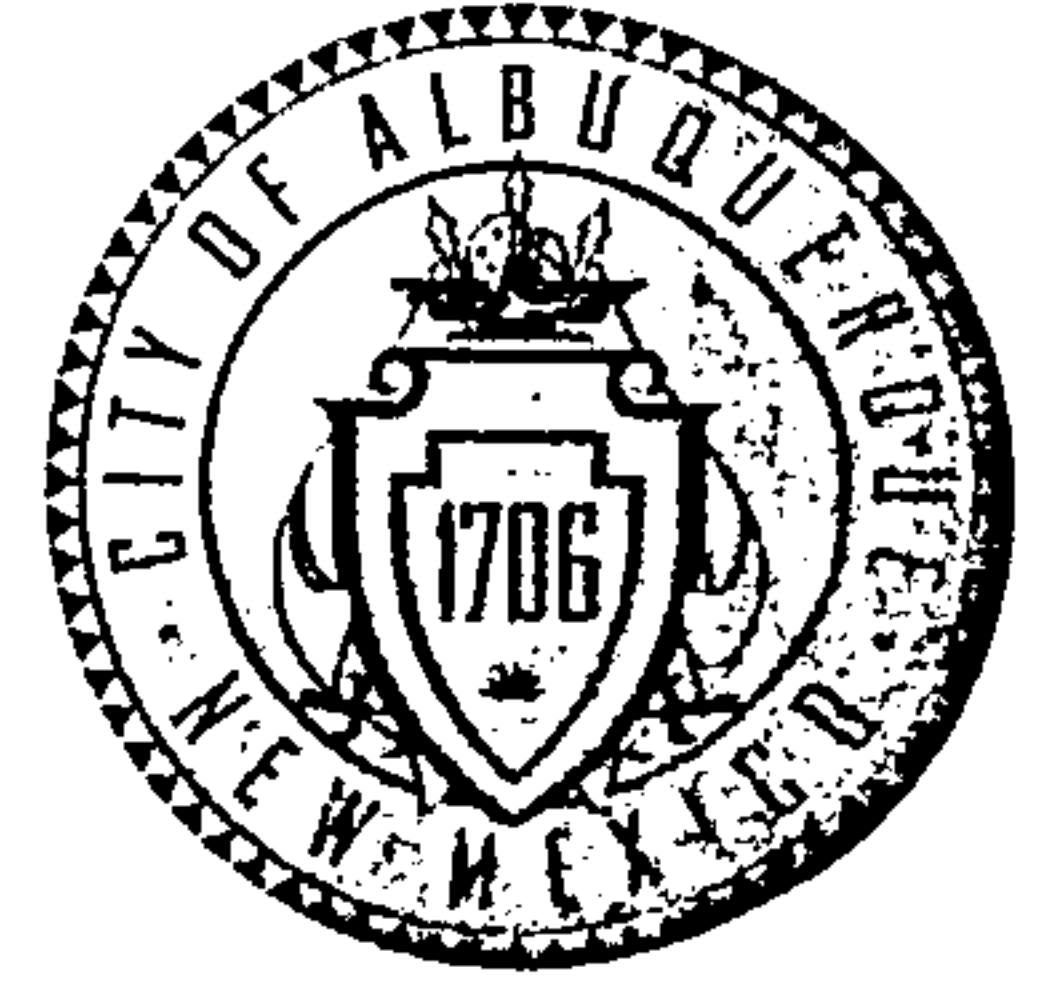


CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

May 8, 2008

David Weatherman, Registered Architect
5961 Guadalupe Trail NW
Albuquerque, NM 87107

Re: Certification Submittal for Final Building Certificate of Occupancy for
Padilla Marble, [M-10 / D16E]
6901 Huseman Place SW
Architect's Stamp Dated 05/08/08

Dear Mr. Weatherman:

PO Box 1293

The TCL / Letter of Certification submitted on May 8, 2008 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

NM 87103

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

c: Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: PADILLA MARBLE ZONE MAP: M-10/D16E
DRB#: / EPC#: / WORK ORDER#: /

LEGAL DESCRIPTION:
CITY ADDRESS: 6901 HUSEMAN PL SW

ENGINEERING FIRM: _____ **CONTACT:** _____
ADDRESS: _____ **PHONE:** _____
CITY, STATE: _____ **ZIP CODE:** _____

OWNER: PABILLA MARBLE CONTACT: _____
ADDRESS: 6901 PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: DAVID WEATHERMAN
ADDRESS: 5961 GUADALUPE TR NW
CITY, STATE: ALBUQ NM.

CONTACT: _____
PHONE: 343-9350
ZIP CODE: 87107

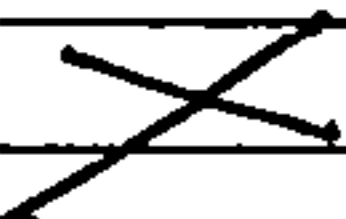
SURVEYOR: _____ **CONTACT:** _____
ADDRESS: _____ **PHONE:** _____
CITY, STATE: _____ **ZIP CODE:** _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL SOUGHT:

_____ SIA/FINANCIAL GUARANTEE RELEASE
 _____ PRELIMINARY PLAT APPROVAL
 _____ S. DEV. PLAN FOR SUB'D APPROVAL
 _____ S. DEV. FOR BLDG. PERMIT APPROVAL
 _____ SECTOR PLAN APPROVAL
 _____ FINAL PLAT APPROVAL
 _____ FOUNDATION PERMIT APPROVAL
 _____ BUILDING PERMIT APPROVAL
 _____  CERTIFICATE OF OCCUPANCY (PERM)
 _____ CERTIFICATE OF OCCUPANCY (TEMP)
 _____ GRADING PERMIT APPROVAL
 _____ PAVING PERMIT APPROVAL
 _____ WORK ORDER APPROVAL
 _____ OTHER (SPECIFY _____)

RECEIVED

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: _____ BY: _____ SECTION _____

RECEIVED
MAY 08 2008
HYDROLOGY
SECTION

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

GUADALUPE ARCHITECTS

David Weatherman ♦ Architect

5961 Guadalupe Trail NW

Albuquerque, New Mexico 87107

505-343-9305

TRAFFIC CERTIFICATION

MAY 8, 2008

CITY OF ALBUQUERQUE
TRANSPORTATION/TRAFFIC DIVISION
PLAZA DEL SOL
ALBUQUERQUE, NEW MEXICO

ATTN: MR. NILO SALGADO-FERNANDEZ, P.E.
RE: FACILITY FOR PADILLA MARBLE
6901 HUGHESMAN PLACE SW.

I, DAVID WEATHERMAN, NMRA, of
GUADALUPE ARCHITECTS, HEREBY CERTIFY
THAT THE REFERENCED PROJECT IS IN
SUBSTANTIAL COMPLIANCE AND IN ACCORDANCE
WITH THE DESIGN INTENT OF THE APPROVED
TCL PLAN AUGUST 14, 2006 AND APPROVED
ON SEPTEMBER 28, 2006. I FURTHER CERTIFY
THAT I PERSONALLY VISITED THE PROJECT
SITE AND DETERMINED BY VISUAL INSPECTION
THAT THE WORK IS COMPLETE.

PLEASE APPROVE THIS CERTIFICATION.
CALL WITH ANY QUESTIONS. THANK YOU
SINCERELY,

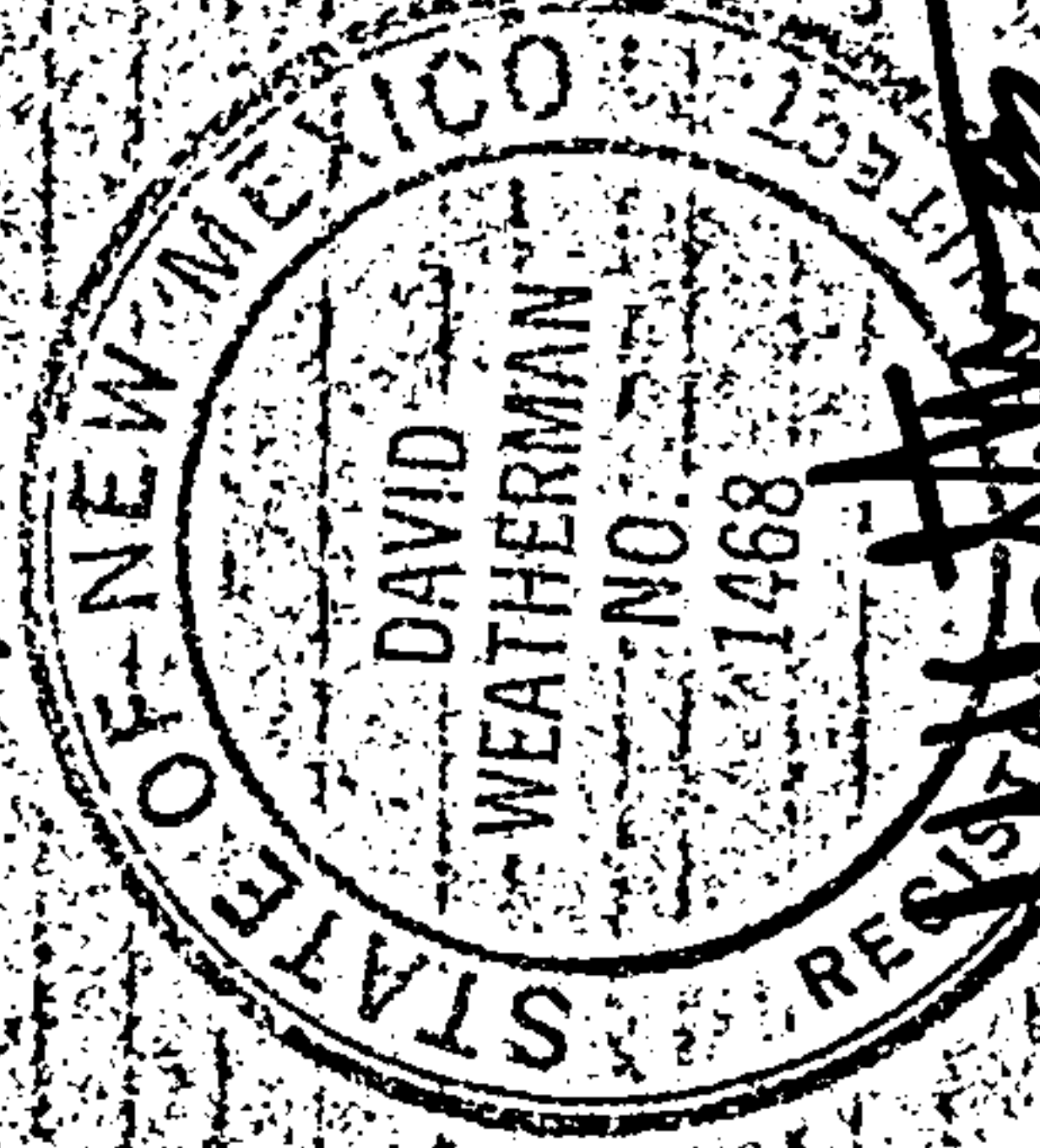
David Weatherman RA

DAVID WEATHERMAN

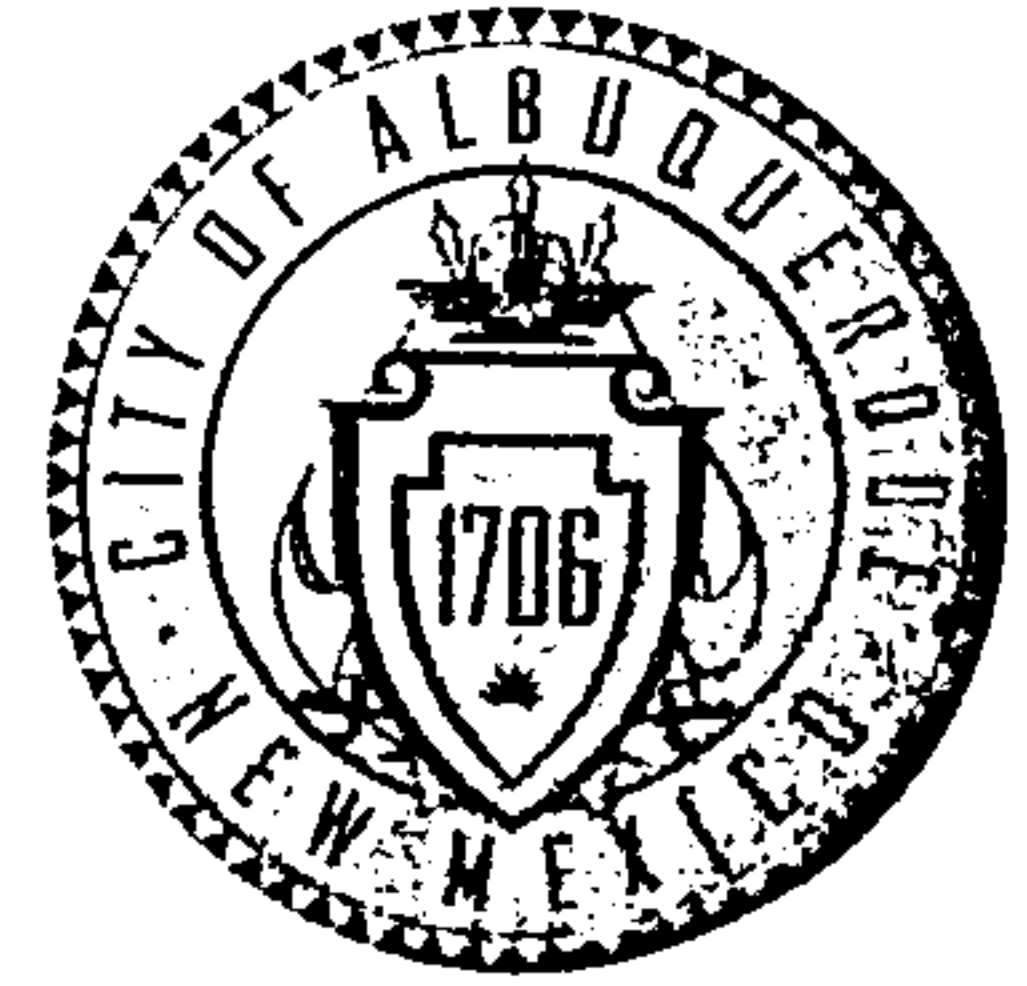
RECEIVED

MAY 08 2008

HYDROLOGY
SECTION



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

March 27, 2008

David Weatherman, Registered Architect,
Guadalupe Architects
5961 Guadalupe Trail NW
Albuquerque, NM 87107

Re: Extension of 90- dayl of Temporary Certificate of Occupancy (C.O.) for
Padilla Marble, [M-10 / D16E]
6901 Huseman Place SW
Architect's Stamp Dated 12/17/07

Dear Mr. Weatherman:

Based on the information provided on your submittal dated March 27, 2008, the above referenced project is approved for an extension of a 90-day Temporary C.O.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

An extension of the temporary C.O. has been issued allowing the driveway entrance modification (to provide ADA access path across entrance) issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

Milo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

December 19, 2007

David Weatherman, Registered Architect,
Guadalupe Architects
5961 Guadalupe Trail NW
Albuquerque, NM 87107

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Padilla Marble, [M-10 / D16E]
6901 Huseman Place SW
Architect's Stamp Dated 12/17/07

Dear Mr. Weatherman:

Based on the information provided on your submittal dated December 17, 2007, the above referenced project is approved for a 90-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding driveway entrance (not built per plans which call out 12:1 ramps for ADA) and pedestrian access path onto site (not constructed) issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

PADILLA'S MARBLE COMPANY (Rev. 12/05)

M-10/D016E

PROJECT TITLE: PADILLA MARBLE ZONE MAP/DRG. FILE # _____
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
 CITY ADDRESS: 6901 HUSEMAN PLACE SW. ALBUQ. NM.

ENGINEERING FIRM: _____
 ADDRESS: _____
 CITY, STATE: _____
 CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

OWNER: PADILLA MARBLE
 ADDRESS: 6901 HUSEMAN PLACE SW
 CITY, STATE: ALBUQ. N.M.
 CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

ARCHITECT: DAVID WEATHERMAN
 ADDRESS: 5161 GUADALUPE TR. NW.
 CITY, STATE: ALBUQ NM.
 CONTACT: _____
 PHONE: 343-9305
 ZIP CODE: 87107

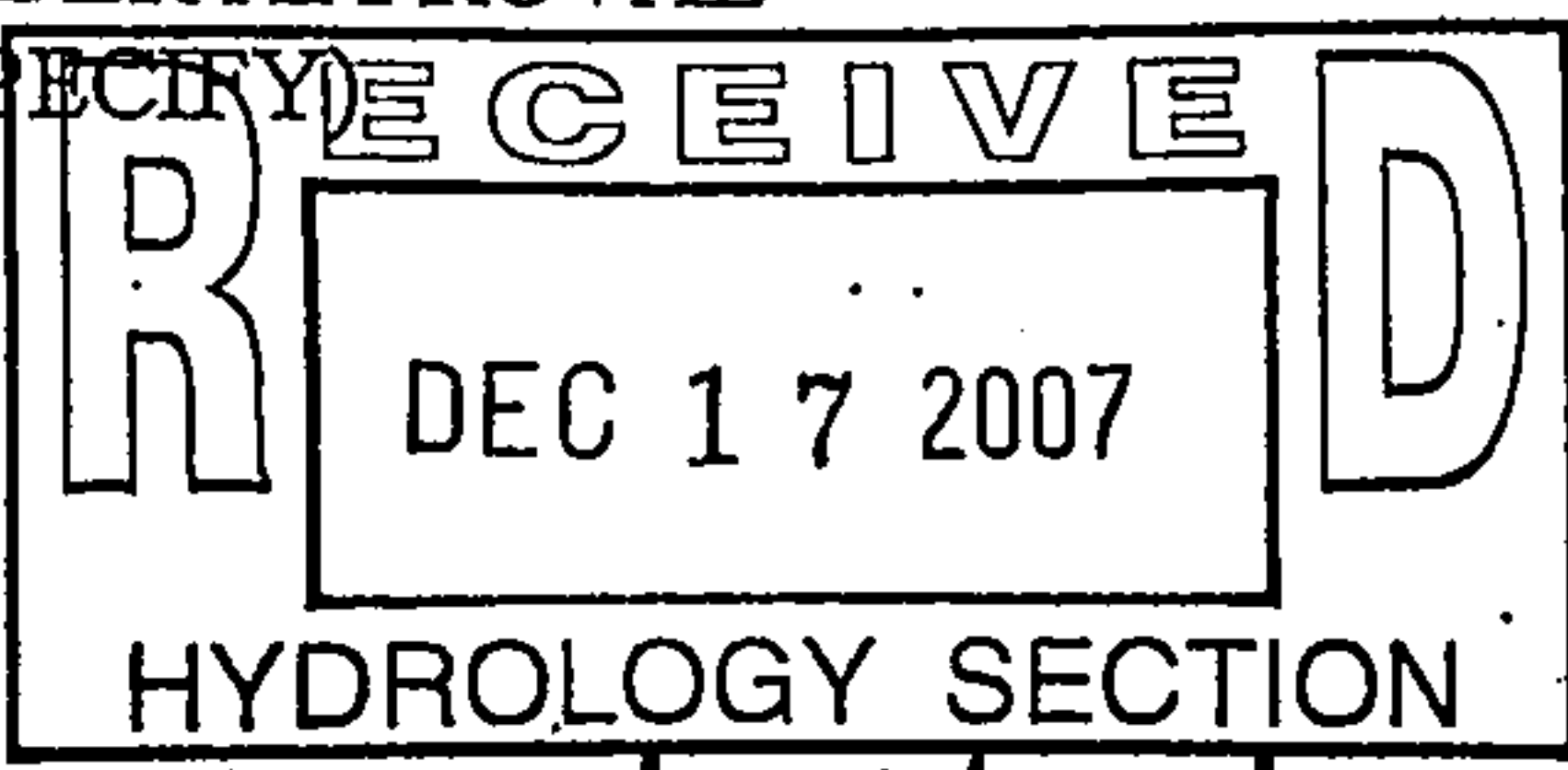
SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____
 CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____
 CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

- TYPE OF SUBMITTAL:**
- _____ DRAINAGE REPORT
 - _____ DRAINAGE PLAN 1st SUBMITTAL
 - _____ DRAINAGE PLAN RESUBMITTAL
 - _____ CONCEPTUAL G & D PLAN
 - _____ GRADING PLAN
 - _____ EROSION CONTROL PLAN
 - _____ ENGINEER'S CERT (HYDROLOGY)
 - _____ CLOMR/LOMR
 - ☒ X **TRAFFIC CIRCULATION LAYOUT**
 - ☒ X **ENGINEER/ARCHITECT CERT (TCL)**
 - _____ ENGINEER/ARCHITECT CERT (DRB S.P.)
 - _____ ENGINEER/ARCHITECT CERT (AA)
 - _____ OTHER (SPECIFY)

- CHECK TYPE OF APPROVAL SOUGHT:**
- _____ SIA/FINANCIAL GUARANTEE RELEASE
 - _____ PRELIMINARY PLAT APPROVAL
 - _____ S. DEV. PLAN FOR SUB'D APPROVAL
 - _____ S. DEV. FOR BLDG. PERMIT APPROVAL
 - _____ SECTOR PLAN APPROVAL
 - _____ FINAL PLAT APPROVAL
 - _____ FOUNDATION PERMIT APPROVAL
 - ☒ X **BUILDING PERMIT APPROVAL**
 - ☒ X **CERTIFICATE OF OCCUPANCY (PERM)**
 - ☒ X **CERTIFICATE OF OCCUPANCY (TEMP)**
 - _____ GRADING PERMIT APPROVAL
 - _____ PAVING PERMIT APPROVAL
 - _____ WORK ORDER APPROVAL
 - _____ OTHER (SPECIFY)

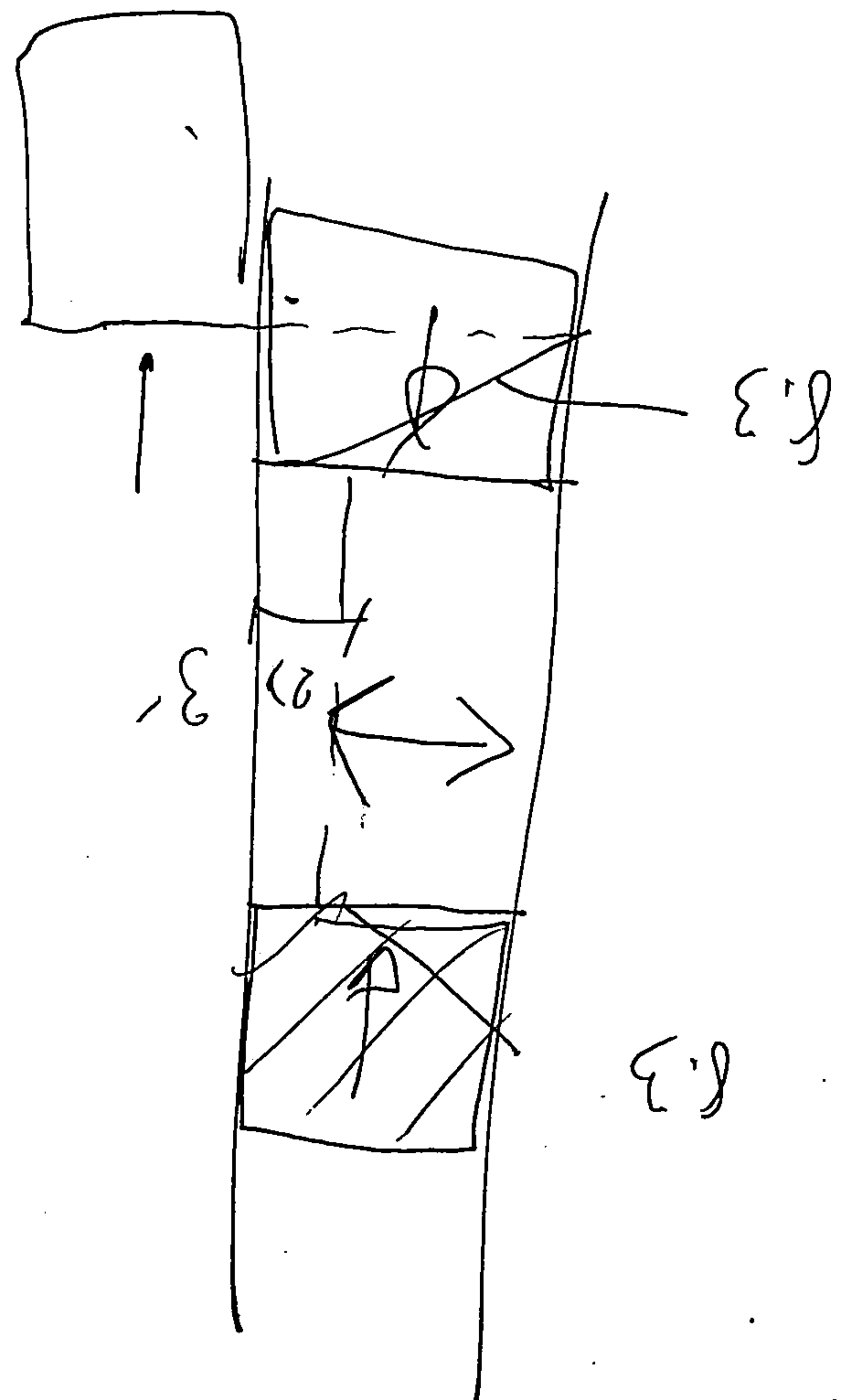
WAS A PRE-DESIGN CONFERENCE ATTENDED: ...
 _____ YES
 _____ NO
 _____ COPY PROVIDED



SUBMITTED BY: D. Weatherman DATE: 12/17/07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



GUADALUPE ARCHITECTS
David Weatherman ♦ Architect
5961 Guadalupe Trail NW
Albuquerque, New Mexico 87107
505-343-9305

TRAFFIC CERTIFICATION

DECEMBER 17, 2007

CITY OF ALBUQUERQUE
TRANSPORTATION / TRAFFIC DIVISION
PLAZA DEL SOL
ALBUQUERQUE, NEW MEXICO

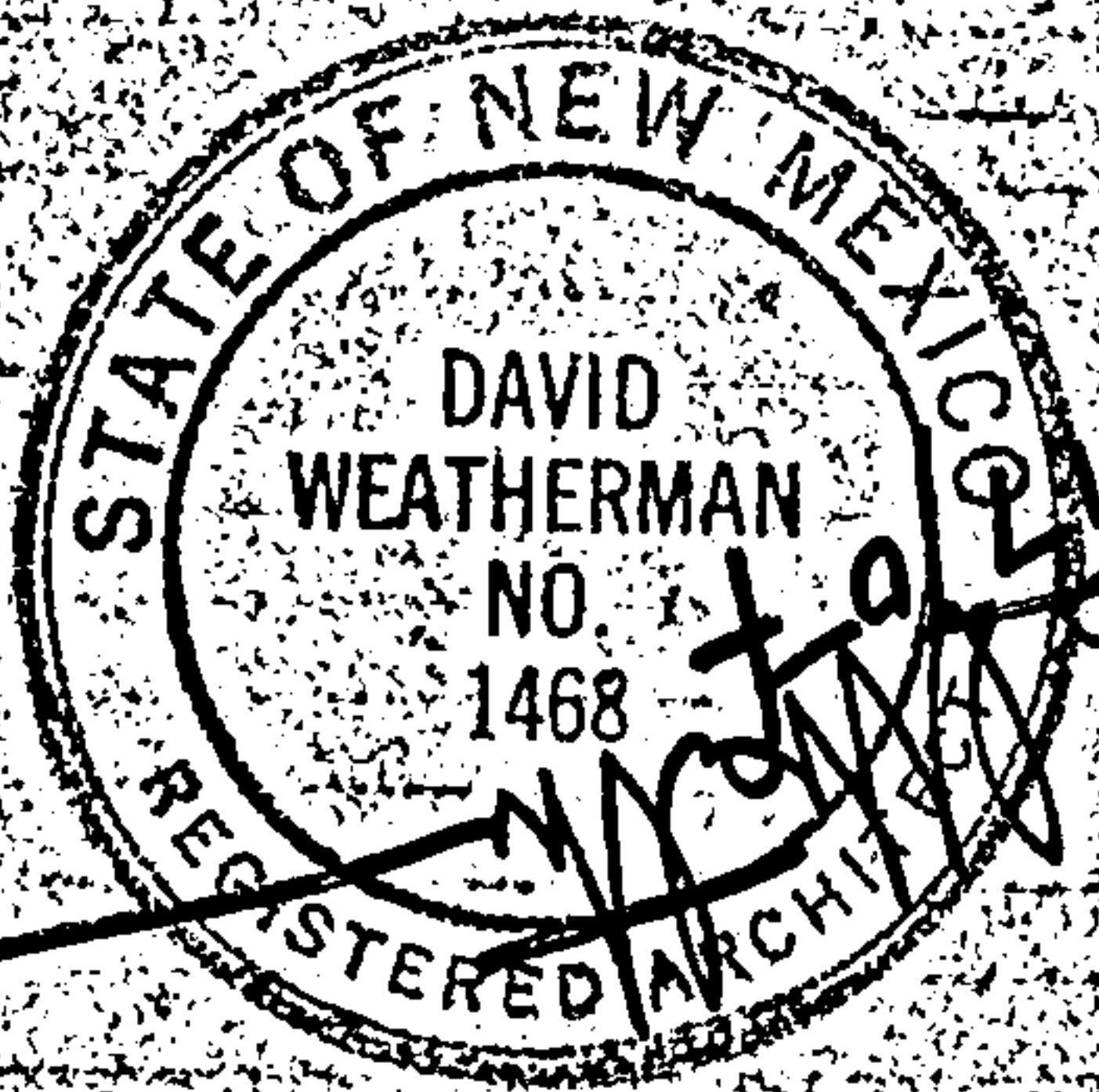
ATTEN: MR. NILO SALGADO-FERNANDEZ, PE
RE: CERTIFICATION for PADILLA MARBLE
6901 HUSEMAN PLACE SW
ALBUQUERQUE, NEW MEXICO

I, DAVID WEATHERMAN, NMRA, of
GUADALUPE ARCHITECTS, HEREBY CERTIFY
THAT THE ABOVE REFERENCED PROJECT IS
IN SUBSTANTIAL COMPLIANCE AND IN
ACCORDANCE WITH THE DESIGN INTENT OF
THE APPROVED SITE PLAN DATED 8/14/06,
SEE ATTACHED COPY. I FURTHER CERTIFY THAT
I PERSONALLY VISITED THE PROJECT SITE
AND DETERMINED BY VISUAL INSPECTION THAT
THE WORK IS COMPLETE.
PLEASE APPROVE THIS CERTIFICATION
AND CALL WITH ANY QUESTIONS. THANK YOU

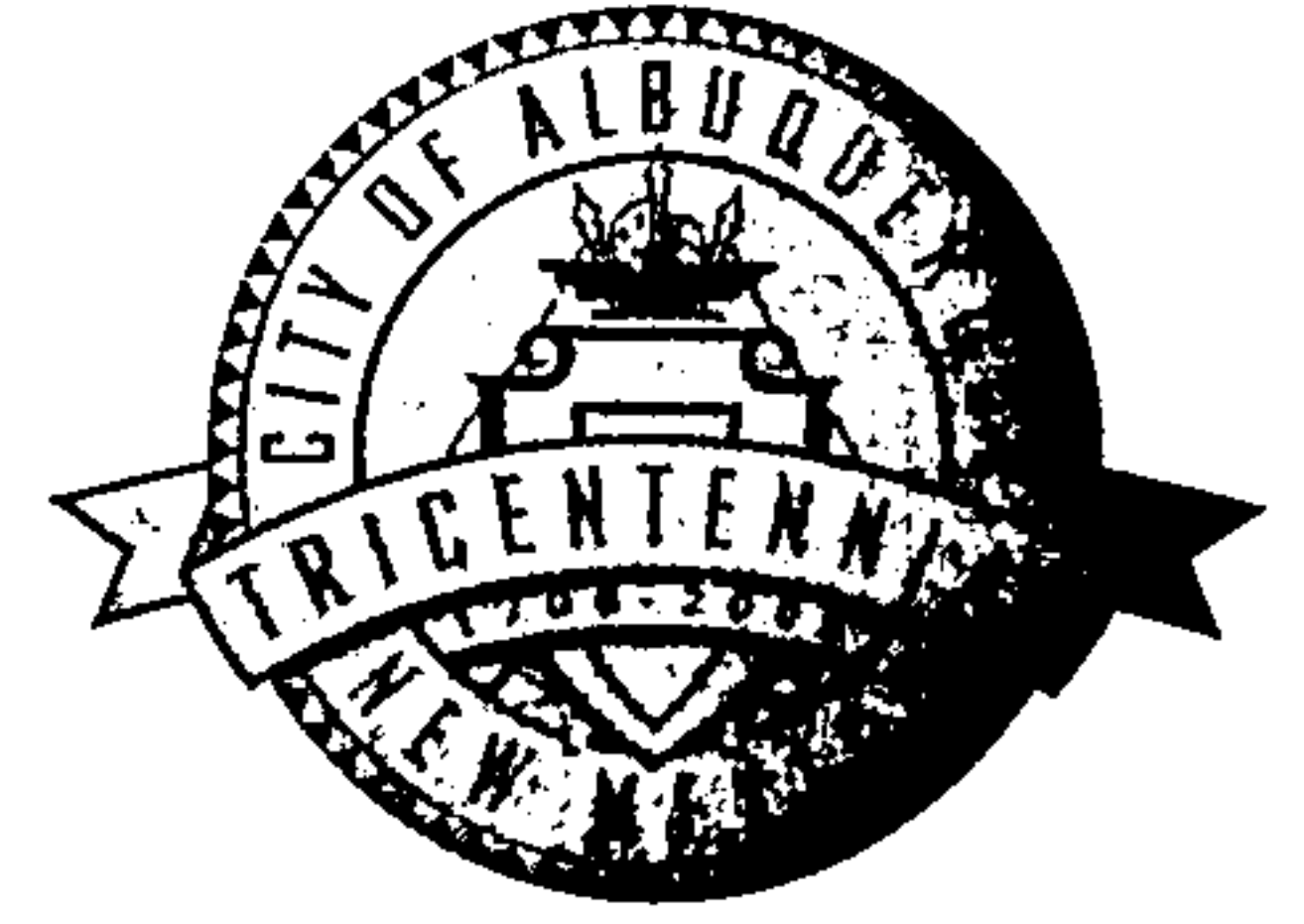
SINCERELY

 P.A.

DAVID WEATHERMAN P.A.



CITY OF ALBUQUERQUE



July 10, 2006

Martin J. Garcia, P.E.
ABQ Engineering, Inc.
6739 Academy Road NE Suite 130
Albuquerque, NM 87109

Re: Padilla's Marble Grading and Drainage Plan
Engineer's Stamp dated 7-2-06 (M10/D16E)

Dear Mr. Garcia,

Based upon the information provided in your submittal dated 7-5-06, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

P.O. Box 1293

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

If you have any questions, you can contact me at 924-3695.

New Mexico 87103

www.cabq.gov

Sincerely,

Curtis A. Cherne, E.I.
Engineering Associate, Planning Dept.
Development and Building Services

Bob

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Padilla's Marble

DRB #: _____

EPC#: _____

ZONE MAP/DRG. FILE #: M10/D16E

WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 4, Coors/Arenal Industrial Park

CITY ADDRESS: 6901 Huseman Place S.W.

ENGINEERING FIRM: ABQ Engineering, Inc.

ADDRESS: 6739 Academy Rd NE Suite 130

CITY, STATE: Albuquerque, NM

CONTACT: Martin J. Garcia

PHONE: 255-7802

ZIP CODE: 87109

OWNER: Padilla's Marble Co.

ADDRESS: _____

CITY, STATE: Albuquerque, NM

CONTACT: David Weatherman

PHONE: 343-9305

ZIP CODE: _____

ARCHITECT: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

SURVEYOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: July 3, 2006

BY: Martin J. Garcia

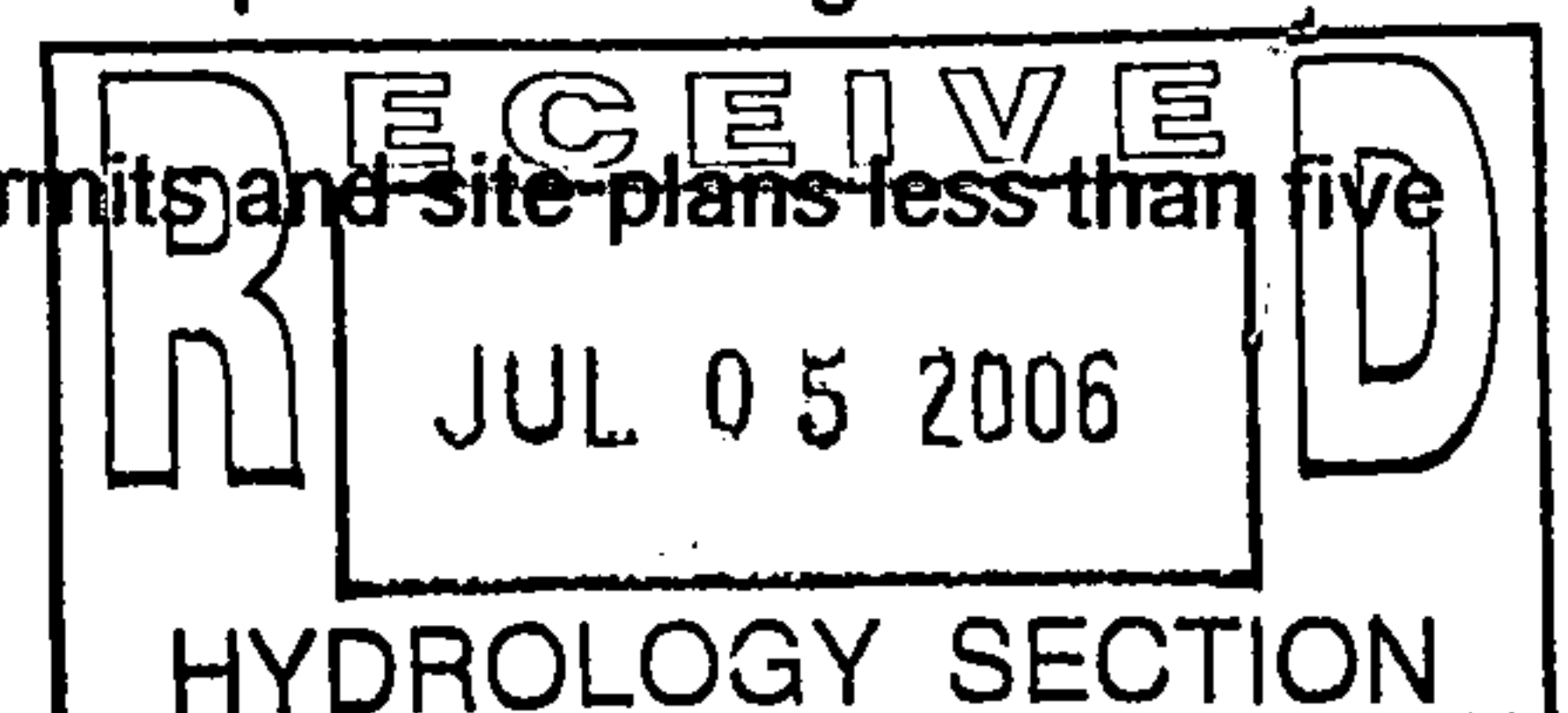
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.

2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five

(5)

acres.



3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

Mr. Cutis A. Cherne, E.I.
Engineering Associate
City of Albuquerque Development Services
600 Second Street NW
Albuquerque, NM 87102

RE: Padillas Marble Grading and Drainage Plan (M10/D16E)

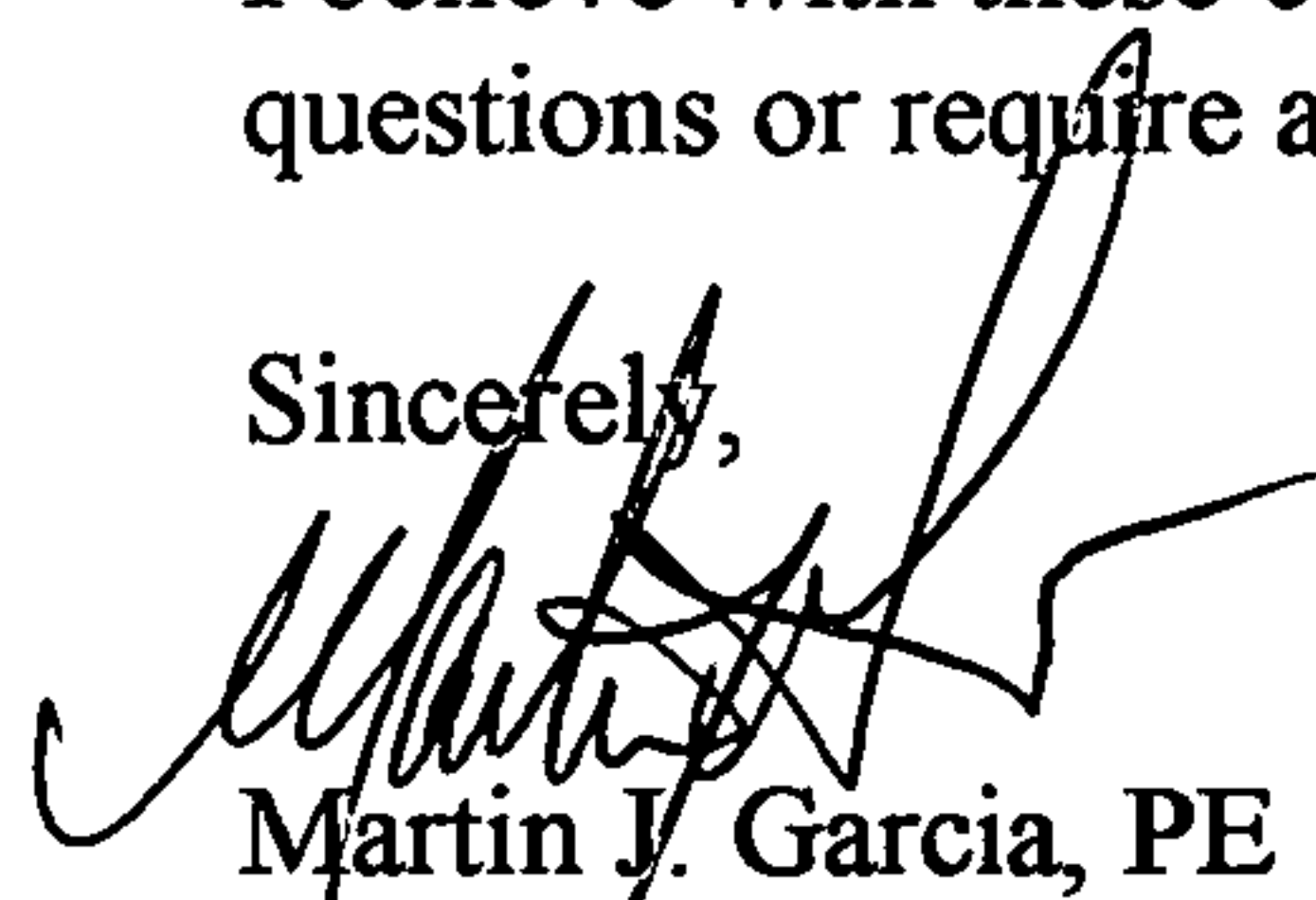
Dear Mr. Cherne,

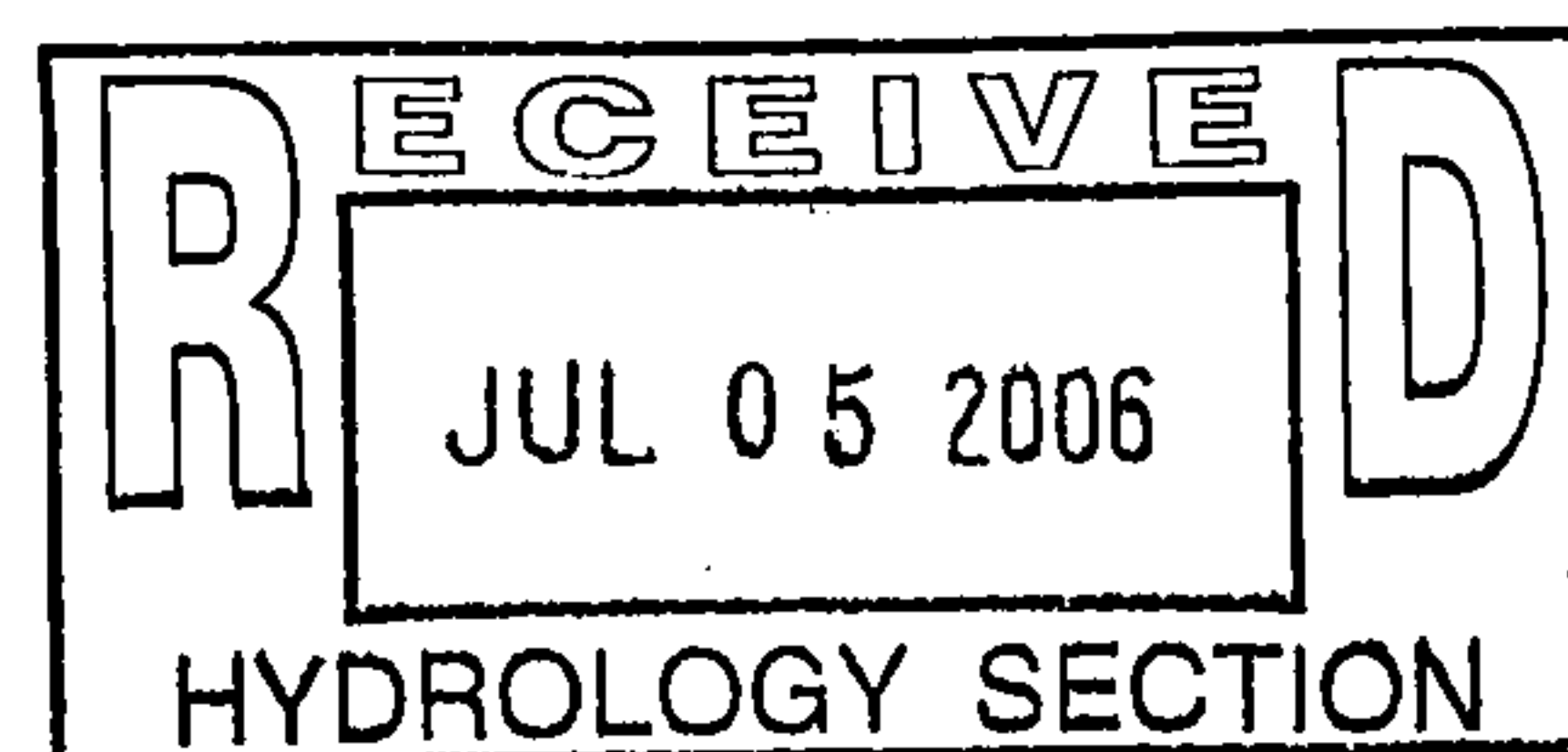
I am receipt of your comments dated June 29, 2006, and have the following responses to offer:

- The 100year 10 day Storm has been used with this re-submittal
- The drainage basin areas for Basin B and C have been corrected
- The land treatment for Basin A has been updated
- There is a high point at the south end of the building that creates drainage basin A and B. A spot elevation has been shown
- Roof flows are indicated on the plan
- The 71 contour has been corrected
- The bottom of pond c is not impervious.
- There are no retaining walls on the east and west, the subdivision was "benched" at each lot with the original grading scheme
- There are not any offsite flows entering this property

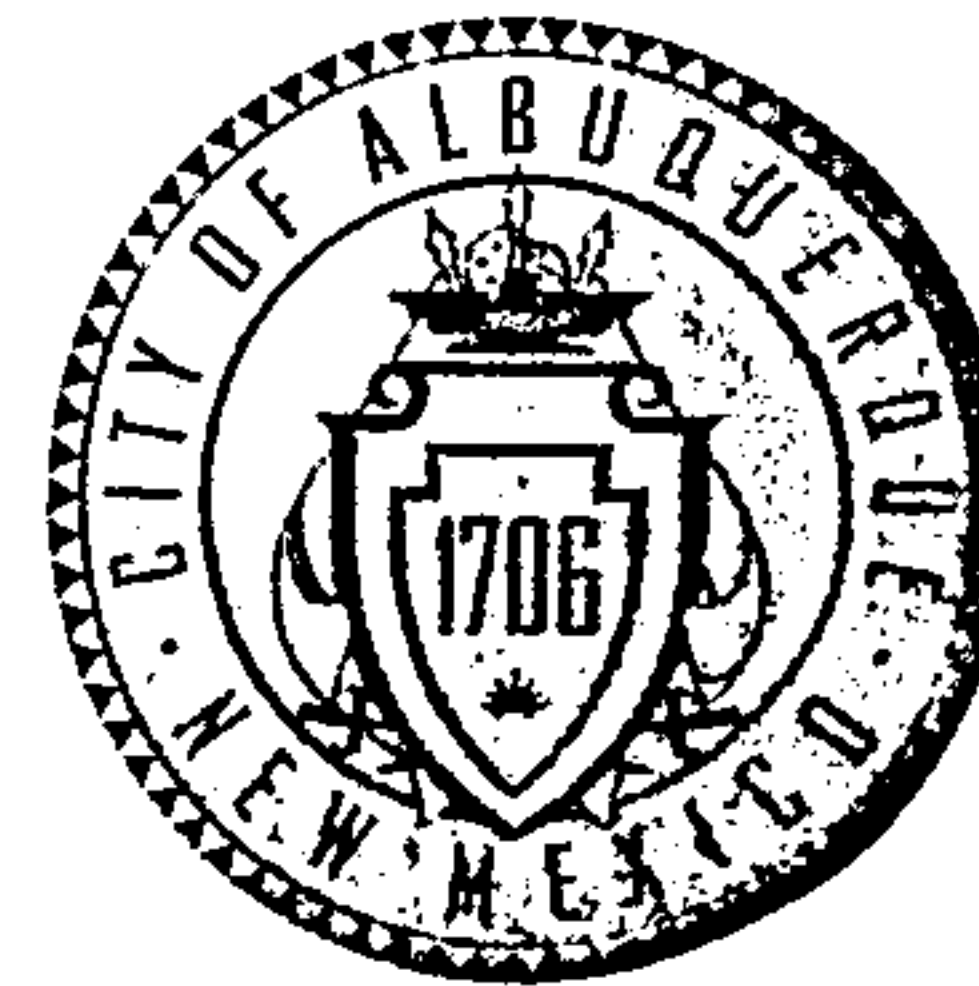
I believe with these changes, the plan is ready for approval by the City. If you have any questions or require additional information, please call me at 255-7802.

Sincerely,


Martin J. Garcia, PE
ABQ Engineering, Inc.
26070



CITY OF ALBUQUERQUE



March 26, 2008

Martin J. Garcia, P.E.
ABQ Engineering, Inc.
6739 Academy Rd NE Ste. 130
Albuquerque, NM 87109

**Re: Padilla's Marble, 6901 Huseman Pl. Sw,
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 07/02/06 (M-10/D016C)
Certification dated 3/17/08**

Mr. Garcia:

PO Box 1293

Based upon the information provided in your submittal received 3/19/08, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

NM 87103

Sincerely,

Timothy Sims
Plan Checker-Hydrology,
Development and Building Services

www.cabq.gov

C: CO Clerk—Katrina Sigala
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Padilla's Marble

DRB #: _____

EPC#: _____

ZONE MAP/DRG. FILE #: M10 / D016 E
WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 4, Coors/Arenal Industrial Park
CITY ADDRESS: 6901 Huseman Place S.W.

ENGINEERING FIRM: ABQ Engineering, Inc.
ADDRESS: 6739 Academy Rd NE Suite 130
CITY, STATE: Albuquerque, NM

CONTACT: Martin J. Garcia
PHONE: 255-7802
ZIP CODE: 87109

OWNER: Padilla's Marble Co.
ADDRESS: _____
CITY, STATE: Albuquerque, NM

CONTACT: David Weatherman
PHONE: 343-9305
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

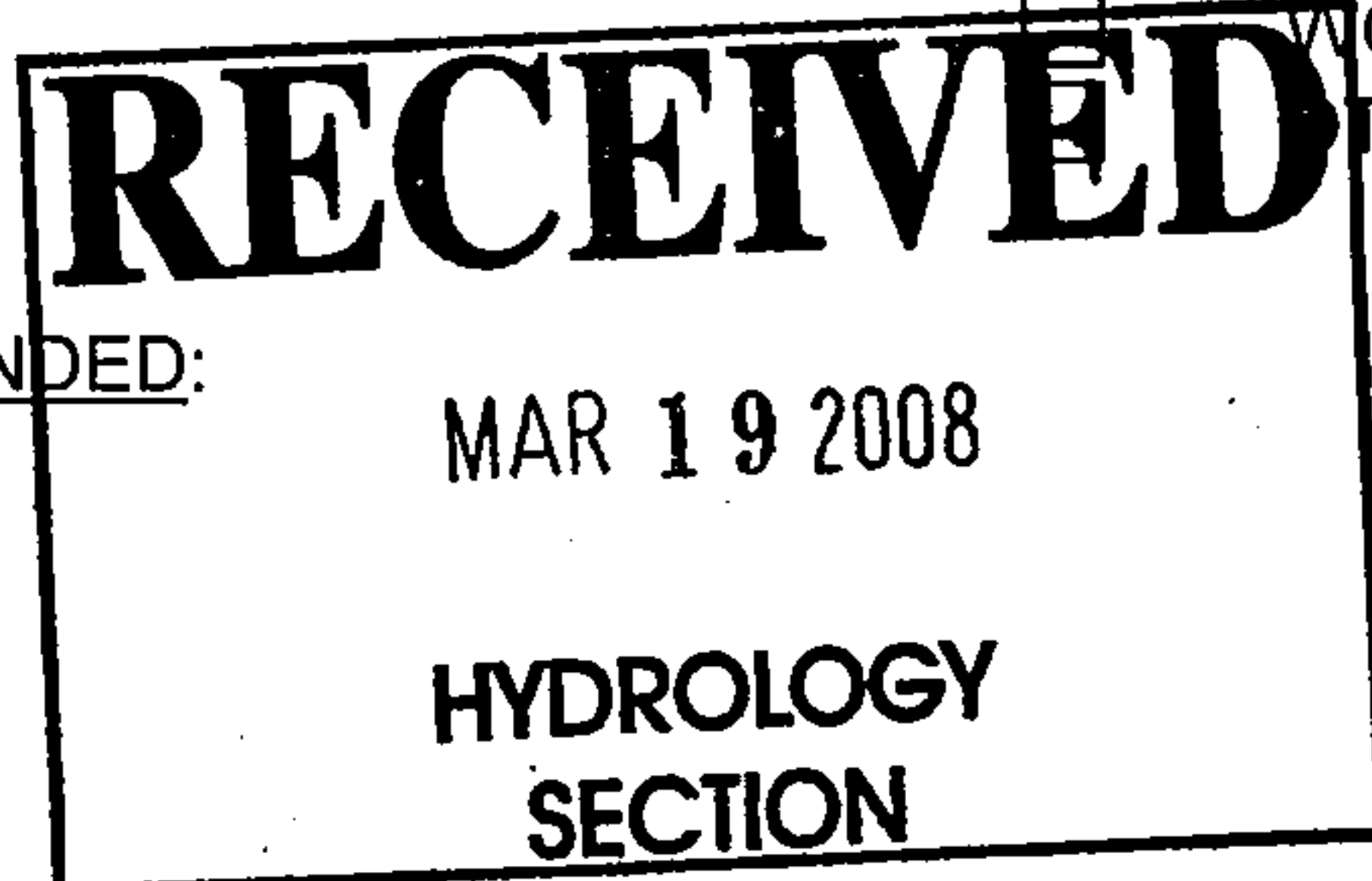
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: March 18, 2008

BY: Martin J. Garcia

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

March 18, 2008

Mr. Brad Bingham
City of Albuquerque
600 Second Street
Albuquerque, NM 87102

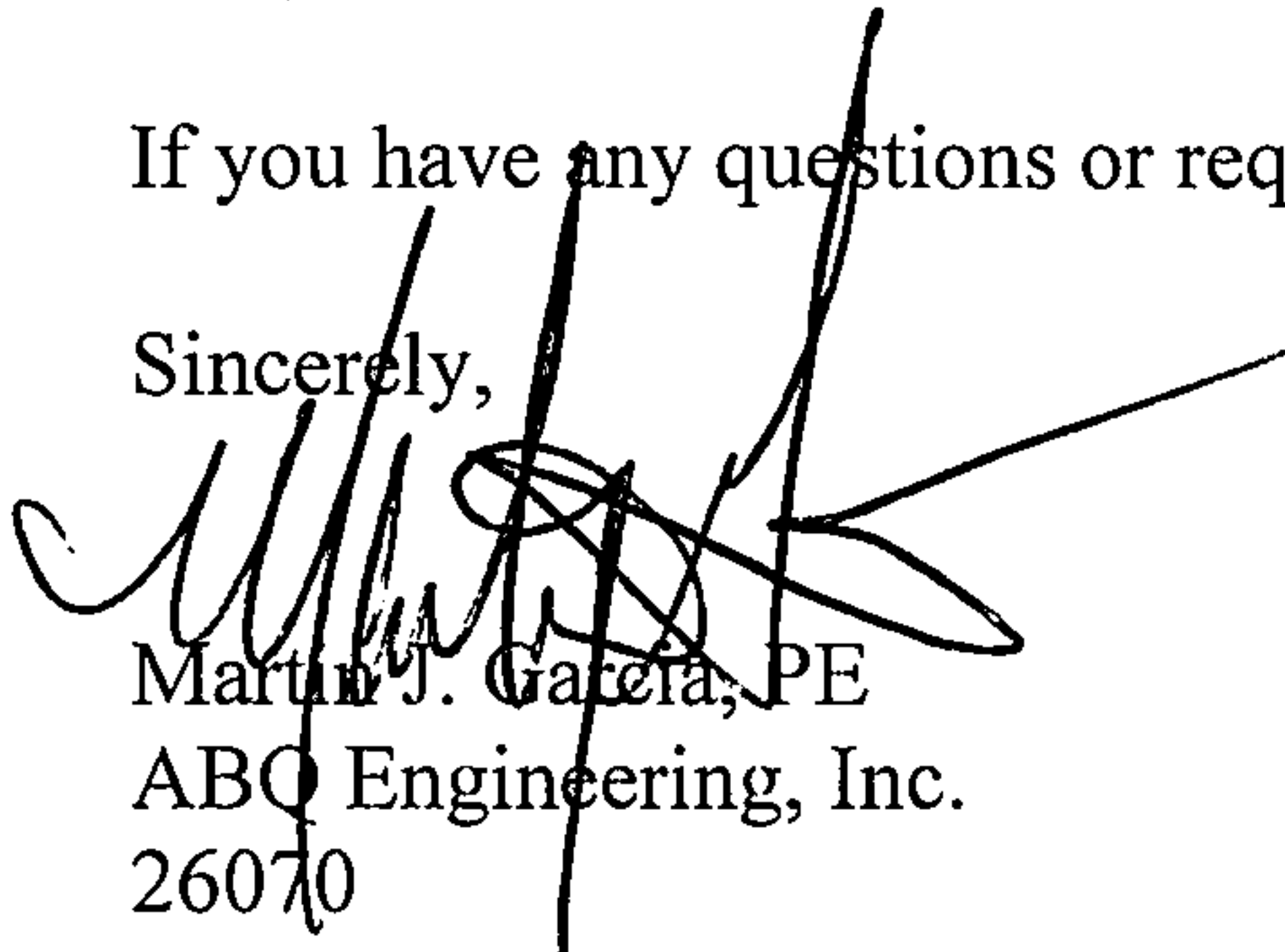
RE: Drainage Plan for Padillas Marble site on Huseman Place

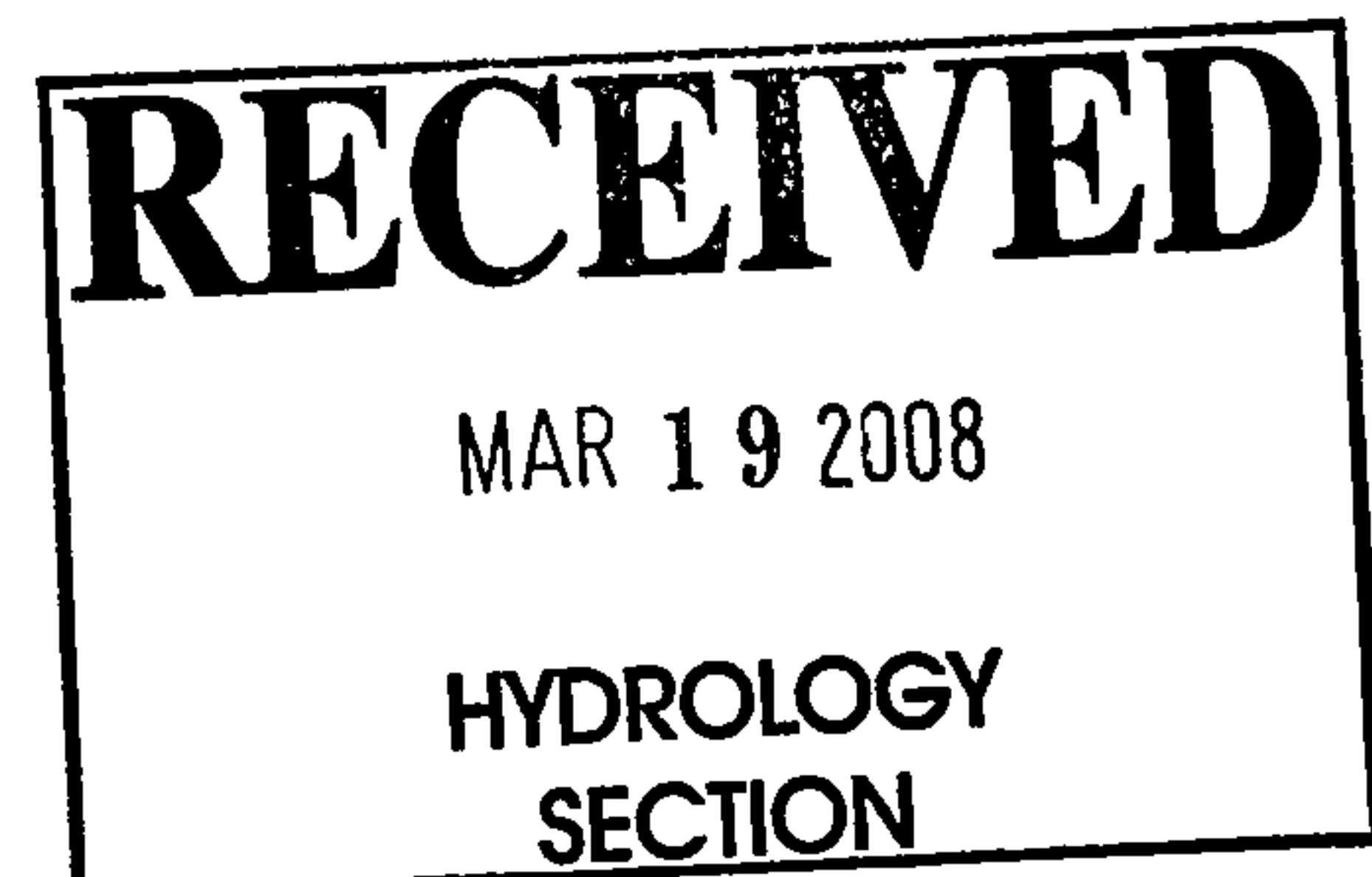
Dear Mr. Bingham:

Submitted herewith is the As-Built grading and drainage plan for lot 4 coors/arenal industrial park subdivision which is the new site for padillas marble. The As-Built plan complies with the intent of the approved grading and drainage plan for the subdivision.

If you have any questions or require additional information, please call me at 255-7802.

Sincerely,


Martin J. Gatera, PE
ABQ Engineering, Inc.
26070



CITY OF ALBUQUERQUE



September 28, 2006

David Weatherman, R.A.
Guadalupe Architects
5961 Guadalupe Trail NW
Albuquerque, NM 87107

**Re: Padilla's Marble, 6901 Huseman Place NW, Traffic Circulation Layout
Architect's Stamp dated 8-14-06 (M10-D16E)**

Dear Mr. Weatherman,

The TCL submittal received 9-28-06 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

P.O. Box 1293

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Albuquerque

New Mexico 87103

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

cc: file

M-10/D16E

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: PADILLA MARBLE ZONE MAP: M-10
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 4 COORS - ARENAL INDUSTRIAL
CITY ADDRESS: 6901 HUSEMAN PLACE SW

ENGINEERING FIRM: ABQ ENGINEERING INC CONTACT: MARTIN GARCIA
ADDRESS: 6739 ACADEMY RD NW PHONE: _____
CITY, STATE: ALBUQ NM ZIP CODE: 87109

OWNER: PADILLA MARBLE CONTACT: ANTHONY PADILLA
ADDRESS: 6901 HUSEMAN PLACE SW PHONE: _____
CITY, STATE: ALBUQ NM ZIP CODE: 87102

ARCHITECT: DAVID WEATHERMAN/GUADALUPE ARCHITECTS CONTACT: _____
ADDRESS: 5961 GUADALUPE TRAIL NW PHONE: 343-9305
CITY, STATE: ALBUQ NM ZIP CODE: 87107

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

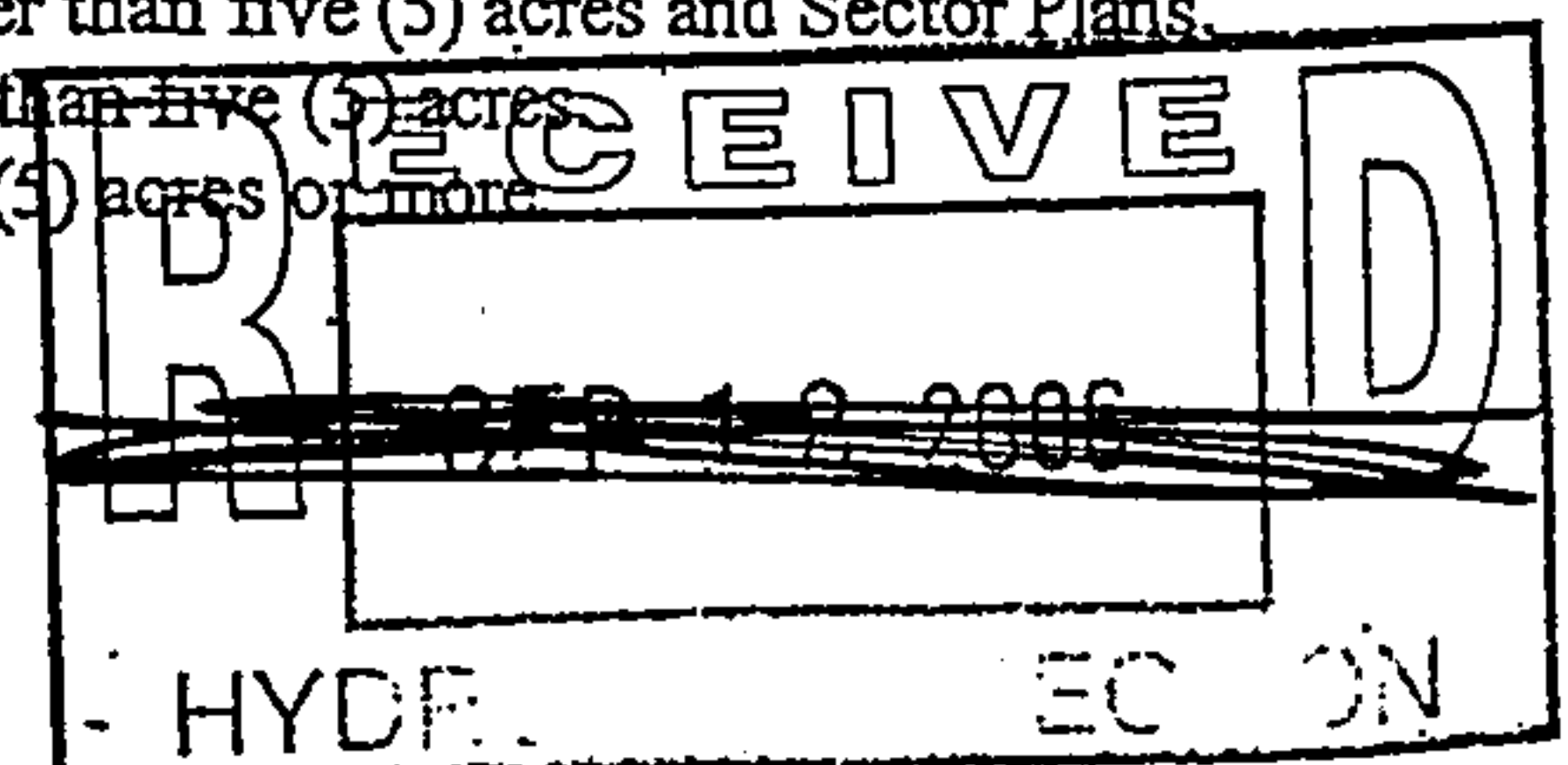
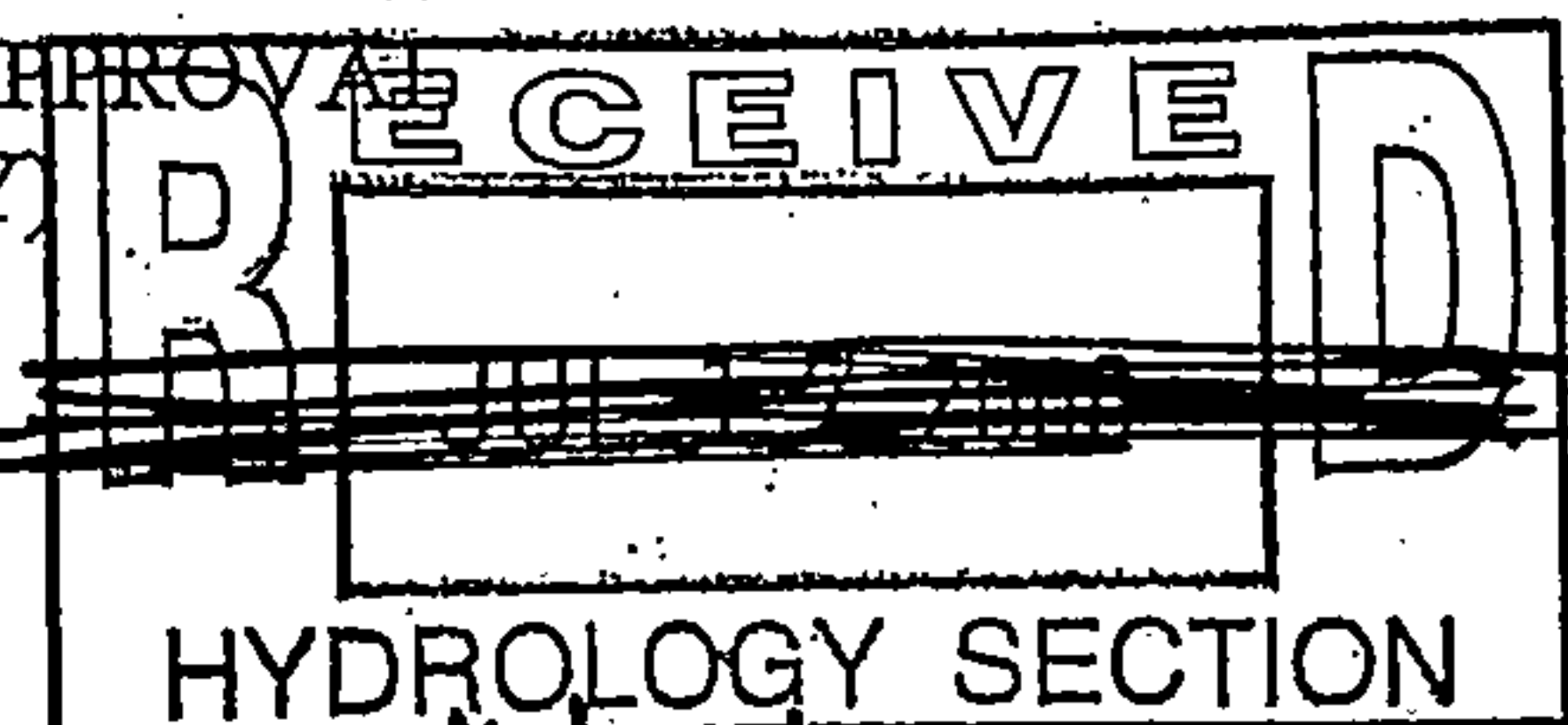
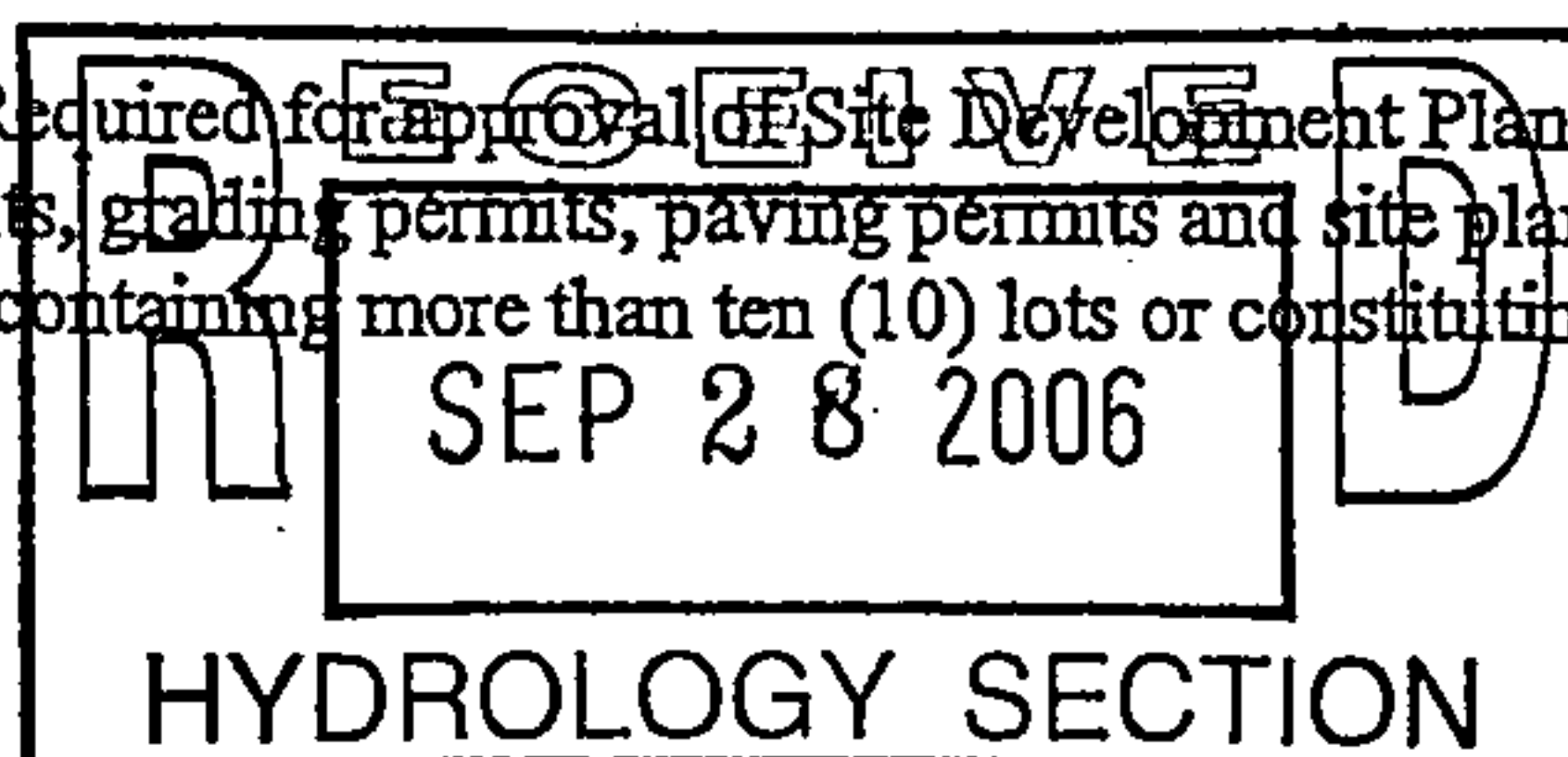
- ☐ YES
☐ NO
☐ COPY PROVIDED

<Resubmittal>

DATE SUBMITTED: 7/17/06 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



September 19, 2006

David Weatherman, R.A.
Guadalupe Architects
5961 Guadalupe Trail NW
Albuquerque, NM 87107

**Re: Padilla's Marble, 6901 Huseman Place NW, Traffic Circulation Layout
Architect's Stamp dated 8-14-06 (M10-D16E)**

Dear Mr. Weatherman,

Based upon the information provided in your submittal received 9-12-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. Provide a concrete sidewalk at the property line along Huseman Place. The sidewalk must be a minimum of 4 feet in width. Note all areas where the width of sidewalk changes.
2. Refer to the curb ramp detail in keyed note 20.
3. Provide a build note for the proposed drivepad, including the following information: remove existing curb and gutter; build 1-32' wide drivepad per City of Albuquerque Standard 2425; and build 2-unidirectional wheelchair ramps per City of Albuquerque Standard 2426 – maximum slope of 1:12.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

M-10/D16E

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: PADILLA MARBLE ZONE MAP: M-10
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 4 COORS - ARENAL INDUSTRIAL
CITY ADDRESS: 6901 HUSEMAN PLACE SW

ENGINEERING FIRM: ABC ENGINEERING INC CONTACT: MARTIN GARCIA
ADDRESS: 6739 ACADEMY RD NW PHONE: _____
CITY, STATE: ALBUQ NM ZIP CODE: 87109

OWNER: PADILLA MARBLE CONTACT: ANTHONY PADILLA
ADDRESS: 6901 HUSEMAN PLACE SW PHONE: _____
CITY, STATE: ALBUQ NM ZIP CODE: 87102

ARCHITECT: DAVID WEATHERMAN/GUADALUPE ARCHITECTS CONTACT: _____
ADDRESS: 5961 GUADALUPE TRAIL NW PHONE: 343-9305
CITY, STATE: ALBUQ NM ZIP CODE: 87107

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

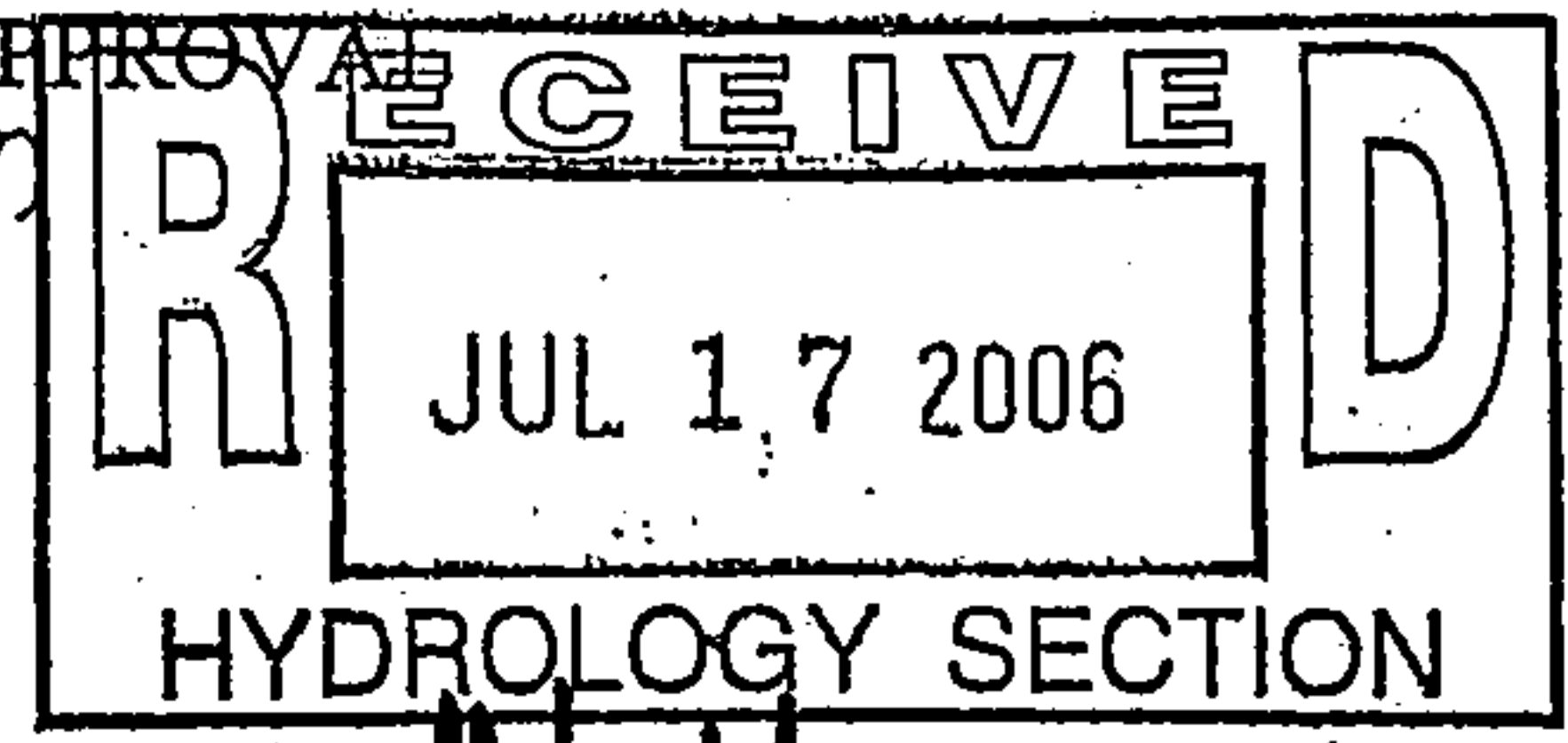
CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

- TYPE OF SUBMITTAL:
- ☐ DRAINAGE REPORT
 - ☐ DRAINAGE PLAN 1st SUBMITTAL
 - ☐ DRAINAGE PLAN RESUBMITTAL
 - ☐ CONCEPTUAL G & D PLAN
 - ☐ GRADING PLAN
 - ☐ EROSION CONTROL PLAN
 - ☐ ENGINEER'S CERT (HYDROLOGY)
 - ☐ CLOMR/LOMR
 - ☒ ~~TRAFFIC CIRCULATION LAYOUT~~
 - ☐ ENGINEER'S CERT (TCL)
 - ☐ ENGINEER'S CERT (DRB SITE PLAN)
 - ☐ OTHER (SPECIFY)

- CHECK TYPE OF APPROVAL SOUGHT:
- ☐ SLA/FINANCIAL GUARANTEE RELEASE
 - ☐ PRELIMINARY PLAT APPROVAL
 - ☐ S. DEV. PLAN FOR SUB'D APPROVAL
 - ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
 - ☐ SECTOR PLAN APPROVAL
 - ☐ FINAL PLAT APPROVAL
 - ☐ FOUNDATION PERMIT APPROVAL
 - ☒ ~~BUILDING PERMIT APPROVAL~~
 - ☐ CERTIFICATE OF OCCUPANCY (PERM)
 - ☐ CERTIFICATE OF OCCUPANCY (TEMP)
 - ☐ GRADING PERMIT APPROVAL
 - ☐ PAVING PERMIT APPROVAL
 - ☐ WORK ORDER APPROVAL
 - ☐ OTHER (SPECIFY)

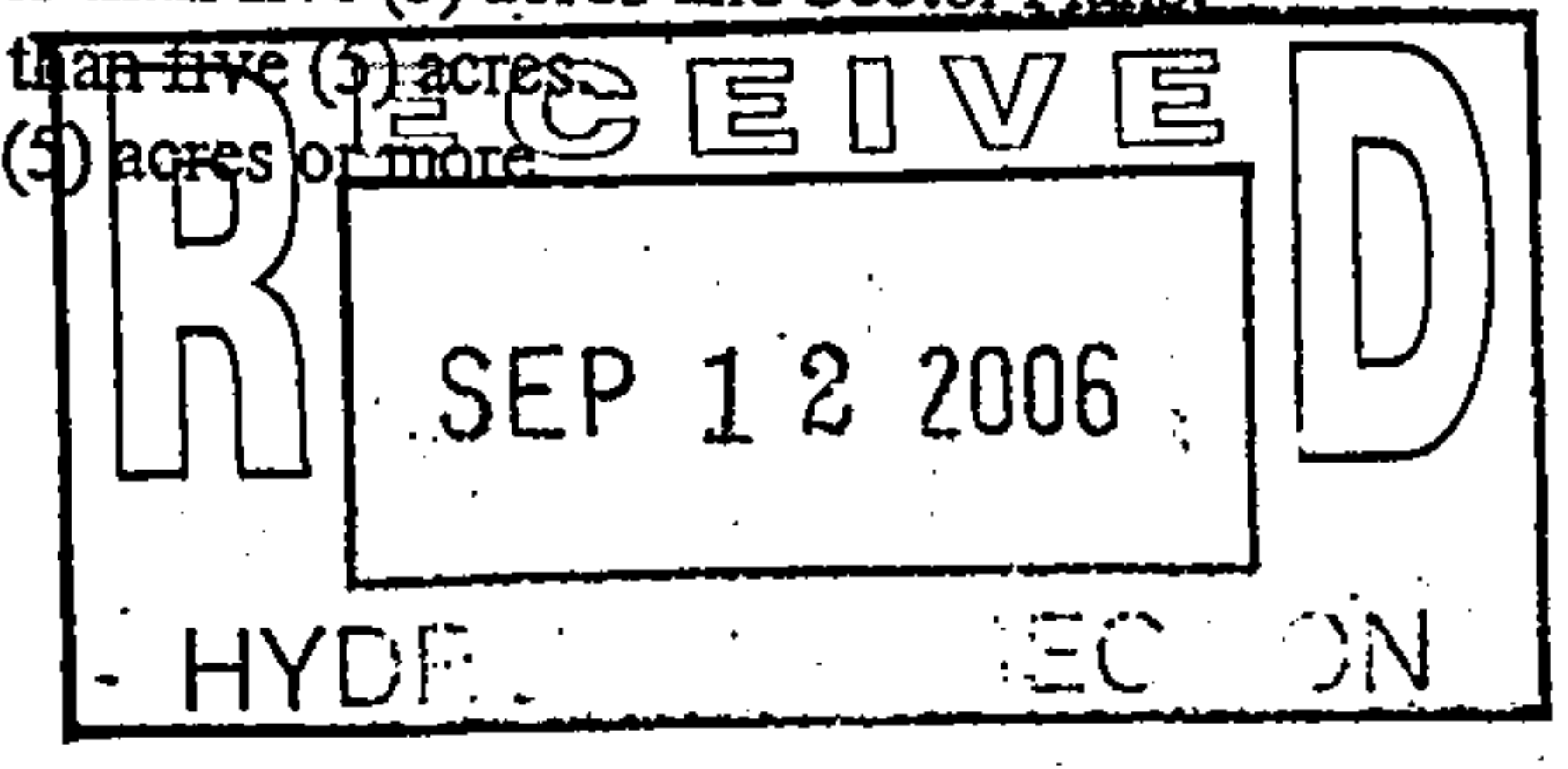
WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☐ NO
☐ COPY PROVIDED
<Resubmittal>

DATE SUBMITTED: 7/17/06 BY: [Signature]



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



Minimum 4' conc sidewalk at the property line
along Huseman Place

- call out proposed width(s) - note any changes with changes

Build Note: Remove existing curb and gutter; Build 1-32' wide

driveway per CoA Std 2425

Need 2 of the following build notes:

Build 1 - unidirectional wheel chair ramp per
CoA Std 2426 - max slope of 1:12

At driveway

Ramp detail provided does not meet current ADA
standards - refer to City Std

or provide

ramp detail
at driveway

CITY OF ALBUQUERQUE



July 18, 2006

David Weatherman, R.A.
Guadalupe Architects
5961 Guadalupe Trail NW
Albuquerque, NM 87107

**Re: Padilla's Marble, 6901 Huseman Place NW, Traffic Circulation Layout
No Architect's Stamp (M10-D16E)**

Dear Mr. Weatherman,

Based upon the information provided in your submittal received 7-17-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Call out the width of the keyway shown in the southwest corner of the site.
2. Please show a vicinity map.
3. Show the limits of the proposed asphalt.
4. Why does one of the proposed parking spaces lack a concrete parking bumper?
5. To accommodate ADA standards, all driveways must have a 3-foot wide pedestrian access path. This path must have a cross slope no greater than 2%.
6. Add a note to remove the existing curb and gutter and a build note, referring to all appropriate City Standards, to the proposed driveway.
7. The handicapped spaces must be a minimum of 8.5 feet in width.
8. Place proposed sidewalk at the property line.
9. Ensure all ramps are ADA compliant.
10. Show a detail of the wheelchair ramps located at the proposed driveway, or refer to the appropriate city standard.
11. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

CITY OF ALBUQUERQUE



June 29, 2006

Martin J. Garcia, P.E.
ABQ Engineering, Inc.
6739 Academy Road NE Suite 130
Albuquerque, NM 87109

Re: Padilla's Marble Grading and Drainage Plan
Engineer's Stamp dated 6-1-06 (M10/D16E)

Dear Mr. Garcia,

Based upon the information provided in your submittal dated 6-8-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

- The 100 year-10 day storm volume should be used for calculation retention pond volumes.
- Acreage for Basins B and C seem to be incorrect.
- Land treatments for Basin A appear to be incorrect.
- Is there a high point at the south end of the building? Provide spot elevations.
- Provide direction of roof flows.
- Please correct the 71 contour typo for Pond C.
- Is the pond bottom in Basin C impervious?
- Are there retaining walls on the east and west perimeters? Provide spot elevations.
- Do any offsite flows enter the site?

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, E.I.
Engineering Associate, Planning Dept.
Development and Building Services

CM

C: file