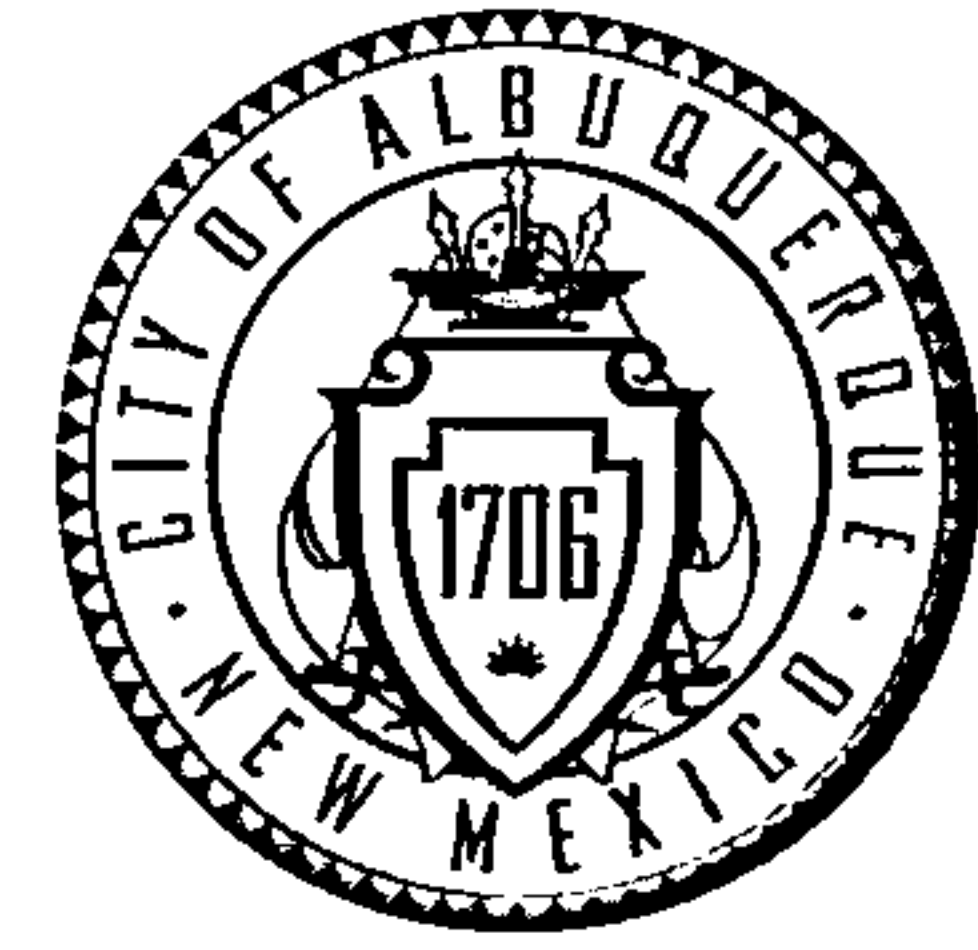


CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

December 28, 2012

David Soule, P.E.
Rio Grande Engineering
1606 Central Ave.
Albuquerque, NM 87106

Re: Certification Submittal for Certificate of Occupancy for
6811 Huseman
Engineer's Stamp dated 09-06-11 (M10-D016H)
Certification dated 12-28-12

Dear Mr. Soule,

Based upon the information provided in your submittal received 12-28-12, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Albuquerque

NM 87103

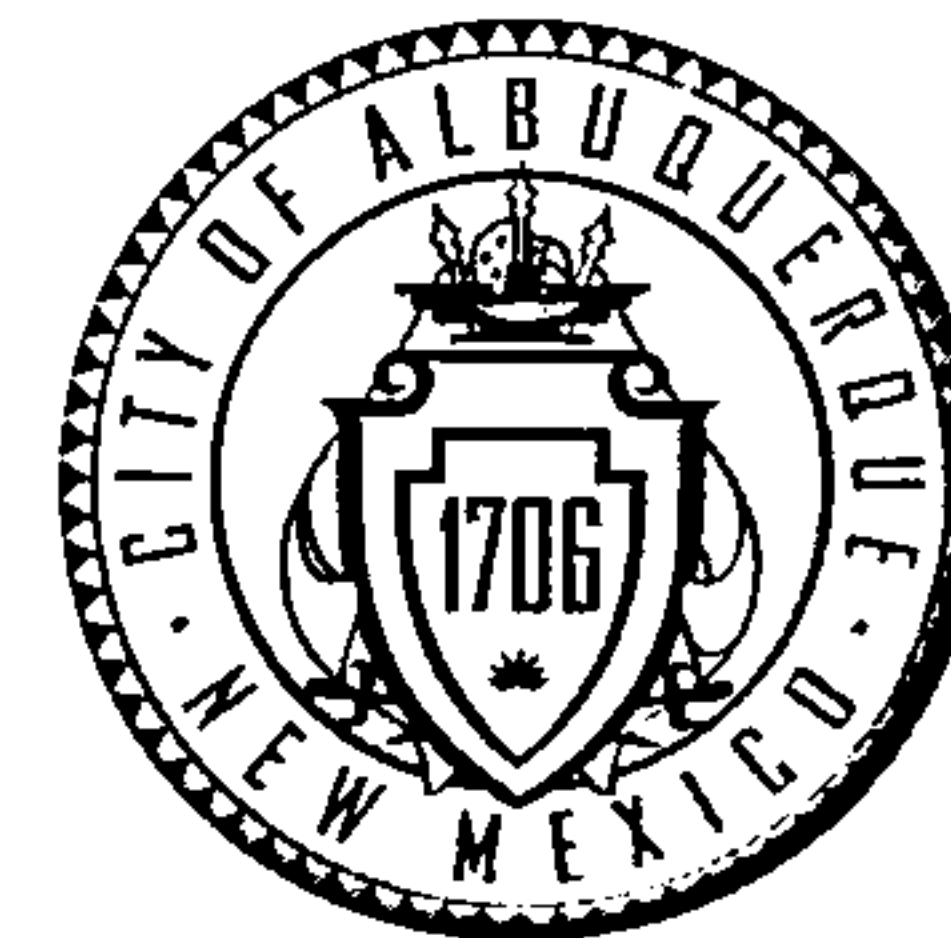
www.cabq.gov

Sincerely,

Shahab Biazar, P.E.
Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

December 28, 2012

David Soule, P.E.
Rio Grande Engineering
1606 Central Avenue
Albuquerque, NM 87106

Re: Temporary Certificate of Occupancy – Transportation
6811 Huseman SW
Engineer's Stamp dated 09-06-11-12 (M10-D016H)
Certification dated 12-26-12

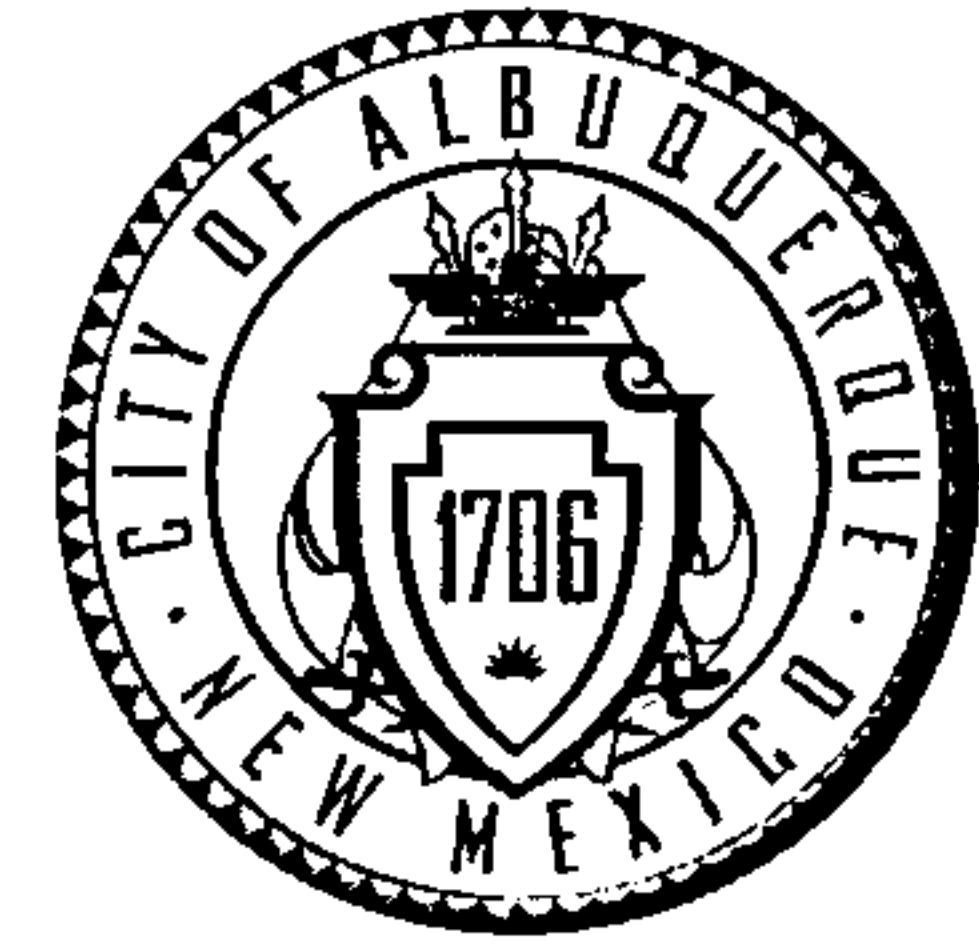
Dear Mr. Soule,

Based upon the information provided in your submittal received 12-26-12, Transportation Development has no objection to the issuance of a 30-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Is a 6 foot pedestrian connection from the public sidewalk to the building entrance required by zoning? If so, the pedestrian connection labeled on the submitted site plan does not comply with DPM standards.
 - The pedestrian connection must be ADA handicap accessible.
 - There is a section of pathway missing between the public sidewalk and the asphalt pedestrian connection.
 - A metal fence obstructs access from the public sidewalk to the pedestrian connection. Please provide a handicap pedestrian accessible gate.
 - Per the DPM, the pedestrian connection must be a separate sidewalk, six feet in width, unobstructed and clearly demarcated. The pedestrian connection provided is the last 6 feet of the asphalt drive aisle/ parking area demarcated with a single, white, 4 inch wide, paint strip. The edge of the pedestrian connection drops off onto dirt without a header curb to maintain a firm path. The parking areas drainage runoff is sloped to run directly across the pedestrian connection. Please provide a pedestrian connection per DPM and ADA standards.

CITY OF ALBUQUERQUE



- The approved TCL does not show a street frontage fence, fence posts and locking gates across drive pad. Please provide site plan with all changes to approved plan.
- The new public sidewalk shows a tie-in to an existing sidewalk at the east frontage. Please correct site plan to reflect accurate conditions.

The TCL submitted for Final C.O. needs to be the exact copy of the approved TCL in the plan set approved for building permit. This will be the latest edition, which may have redlined comments, initialed and dated by the designer-of-record.

Resubmit acceptable package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

Sincerely,

PO Box 1293

Shahab Biazar, P.E.
Planning Dept.
Development and Building Services

Albuquerque

C: File

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: 6811 Huseman sw
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: M10/D016H
WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 2 coors arenal industrial park
CITY ADDRESS: 6811 huseman

ENGINEERING FIRM: Rio Grande Engineering
ADDRESS: PO BOX 67305
CITY, STATE: Alb

CONTACT: David Soule, PE
PHONE: (505)321-9099
ZIP CODE: 87199

OWNER: Murphy Properties, LLC
ADDRESS: _____
CITY, STATE: _____

CONTACT: DAVID MURPHY
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: GEOSURV CO
ADDRESS: _____
CITY, STATE: _____

CONTACT: David Vigil
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

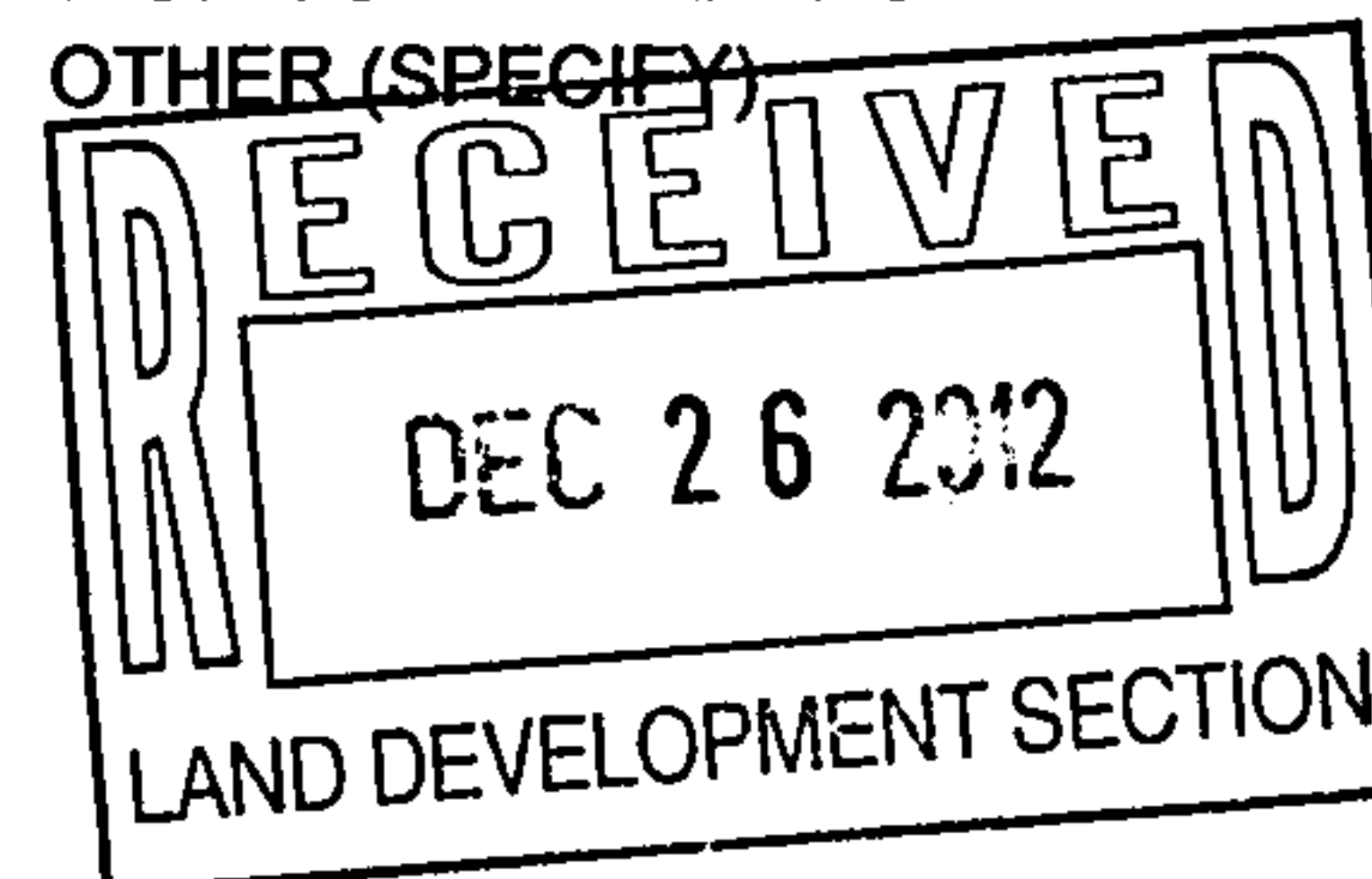
CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☒ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: _____ BY: David Soule

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

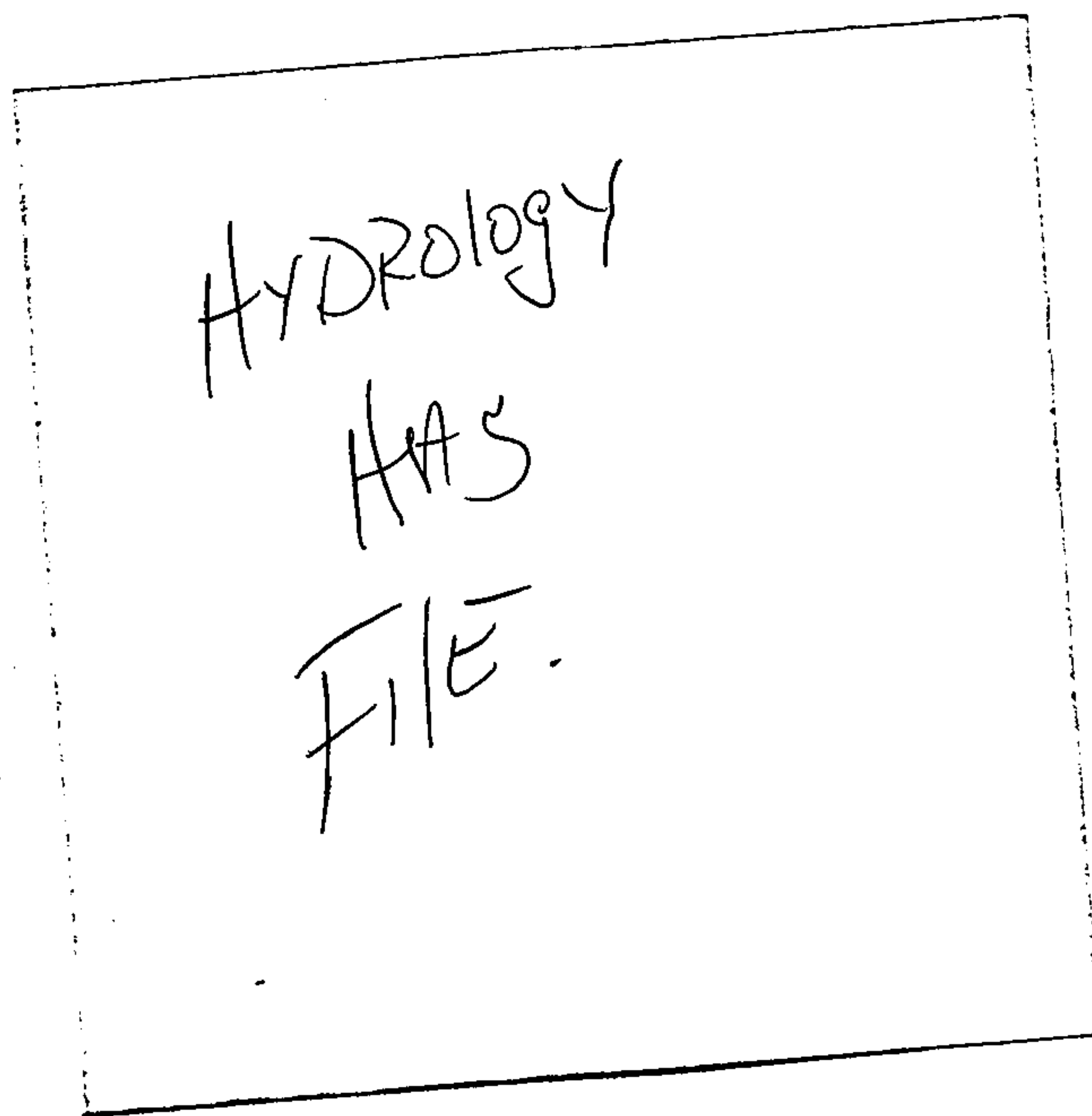
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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

Is ped connection req?

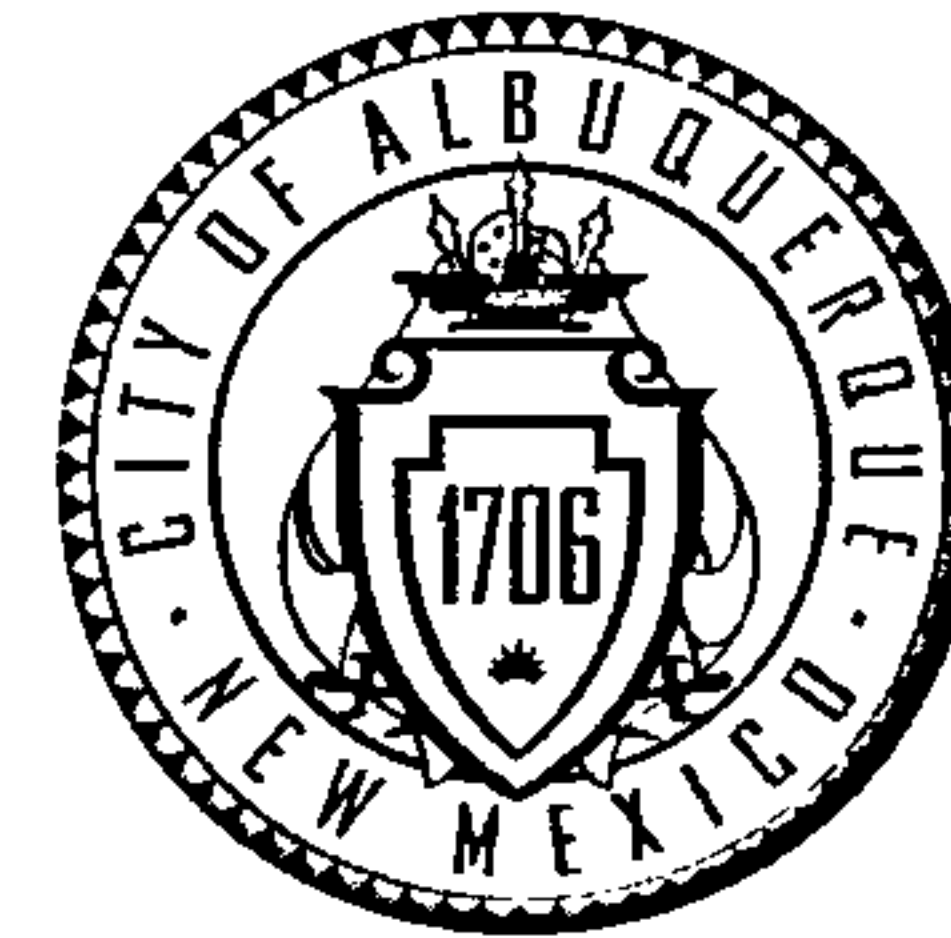
Needs to be hadlined

- missing section
- no ped gate
- need to be sep by SW
(per DPM)

Show fencing / gate



CITY OF ALBUQUERQUE



December 28, 2012

David Soule, P.E.
Rio Grande Engineering
P.O. Box 67305
Albuquerque, NM 87193

david@riograndeengineering.com

**Re: Lot 2 Coors Arenal Industrial Park, 6811 Huseman Pl SW,
Request for Permanent C.O. –Accepted
Engineer's Stamp dated: 10-10-11, (M10/D016H)
Certification dated: 12-26-12**

Dear Mr. Soule,

Based upon the information provided in the Certification received 12-27-12, the above referenced Certification is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology.

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our records. This certification can be e-mailed to me at: sbiazar@cabq.gov.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer—Hydrology Section
Development and Building Services

C: CO Clerk—Katrina Sigala
File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: 6811 Huseman sw
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: M10/D016H
WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 2 coors arenal industrial park
CITY ADDRESS: 6811 huseman

ENGINEERING FIRM: Rio Grande Engineering
ADDRESS: PO BOX 67305
CITY, STATE: Alb

CONTACT: David Soule, PE
PHONE: (505)321-9099
ZIP CODE: 87199

OWNER: Murphy Properties, LLC
ADDRESS: _____
CITY, STATE: _____

CONTACT: DAVID MURPHY
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: GEOSURV CO
ADDRESS: _____
CITY, STATE: _____

CONTACT: David Vigil
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

RECEIVED
DEC 27 2012

DATE SUBMITTED: _____ BY: David Soule

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drange submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: 6811 Huseman sw
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: M10/D016H
WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 2 coors arenal industrial park
CITY ADDRESS: 6811 huseman

ENGINEERING FIRM: Rio Grande Engineering
ADDRESS: PO BOX 67305
CITY, STATE: Alb

CONTACT: David Soule, PE
PHONE: (505)321-9099
ZIP CODE: 87199

OWNER: Murphy Properties, LLC
ADDRESS: _____
CITY, STATE: _____

CONTACT: DAVID MURPHY
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: GEOSURV CO
ADDRESS: _____
CITY, STATE: _____

CONTACT: David Vigil
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

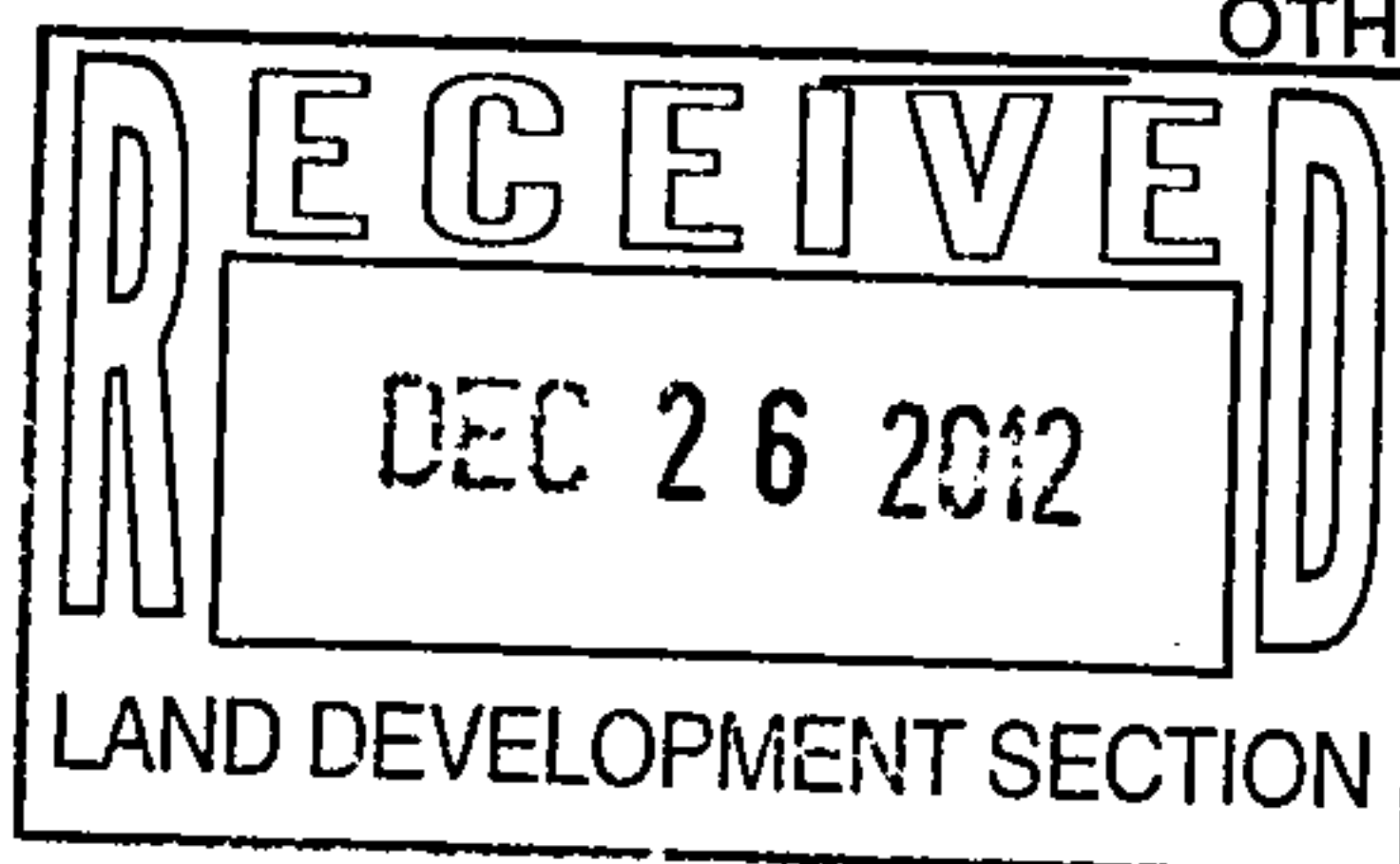
____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
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____ CONCEPTUAL GRADING & DRAINAGE PLAN
____ GRADING PLAN
____ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ ENGINEERS CERTIFICATION (TCL)
____ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
____ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

____ SIA / FINANACIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D. APPROVAL
____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
____ CERTIFICATE OF OCCUPANCY (TEMP.)
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

____ YES
☒ NO
____ COPY PROVIDED



N - Verbal
12/27/12
Resubmit on
Approved plan 10/10/11
Phone Review.

DATE SUBMITTED: _____ BY: David Soule

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



November 22, 2011

David Soule, P.E.
PO Box 67305
Albuquerque, NM 87193

Re: 6811 Huseman Pl SW, Lot 2 Coors Arenal Industrial Park, Traffic Circulation Layout
Engineer's Stamp dated 09-06-11 (M10-D016H)

Dear Mr. Soule,

The TCL submittal received 10-28-11 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: 6811 Huseman sw
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: M10 / Dd/le H
WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 2 coors arenal industrial park
CITY ADDRESS: 6811 huseman

ENGINEERING FIRM: Rio Grande Engineering
ADDRESS: PO BOX 67305
CITY, STATE: Alb

CONTACT: David Soule, PE
PHONE: (505)321-9099
ZIP CODE: 87199

OWNER: Murphy Properties, LLC
ADDRESS: _____
CITY, STATE: _____

CONTACT: DAVID MURPHY
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: GEOSURV CO
ADDRESS: _____
CITY, STATE: _____

CONTACT: David Vigil
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

- ☒ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☒ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
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☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☒ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: _____

RECEIVED
OCT 28 2011
HYDROLOGY
SECTION

RECEIVED
SEP 12 2011
David Soule

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

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DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: 6811 Huseman sw
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: M10 / D016 H
WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 2 coors arenal industrial park
CITY ADDRESS: 6811 huseman

ENGINEERING FIRM: Rio Grande Engineering
ADDRESS: PO BOX 67305
CITY, STATE: Alb

CONTACT: David Soule, PE
PHONE: (505)321-9099
ZIP CODE: 87199

OWNER: ~~INTERMOUNTAIN~~ RANDI SENA, CONSTR. INC.
ADDRESS: 2835 CHANATE SW
CITY, STATE: ALBQ, N.M., 87105

CONTACT: DAVID MURPHY RANDI SENA
PHONE: 720-3042
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: GEOSURV CO
ADDRESS: _____
CITY, STATE: _____

CONTACT: David Vigil
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
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CHECK TYPE OF SUBMITTAL:

- | | |
|-------------------------------------|---|
| ☒ | DRAINAGE REPORT |
| ☒ | DRAINAGE PLAN 1st SUBMITTAL, <i>REQUIRES TCL or equal</i> |
| ☒ | DRAINAGE PLAN RESUBMITTAL |
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| ☐ | GRADING PLAN |
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| ☐ | ENGINEER'S CERTIFICATION (HYDROLOGY) |
| ☐ | CLOMR/LOMR |
| ☐ | TRAFFIC CIRCULATION LAYOUT (TCL) |
| ☐ | ENGINEERS CERTIFICATION (TCL) |
| ☐ | ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN) |
| ☐ | OTHER |

CHECK TYPE OF APPROVAL SOUGHT:

- | | |
|-------------------------------------|--|
| ☐ | SIA / FINANACIAL GUARANTEE RELEASE |
| ☐ | PRELIMINARY PLAT APPROVAL |
| ☐ | S. DEV. PLAN FOR SUB'D. APPROVAL |
| ☐ | S. DEV. PLAN FOR BLDG. PERMIT APPROVAL |
| ☐ | SECTOR PLAN APPROVAL |
| ☐ | FINAL PLAT APPROVAL |
| ☐ | FOUNDATION PERMIT APPROVAL |
| ☒ | BUILDING PERMIT APPROVAL |
| ☐ | CERTIFICATE OF OCCUPANCY (PERM.) |
| ☐ | CERTIFICATE OF OCCUPANCY (TEMP.) |
| ☒ | GRADING PERMIT APPROVAL |
| ☒ | PAVING PERMIT APPROVAL |
| ☐ | WORK ORDER APPROVAL |
| ☐ | OTHER (SPECIFY) |

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- | | |
|-------------------------------------|---------------|
| ☐ | YES |
| ☒ | NO |
| ☐ | COPY PROVIDED |

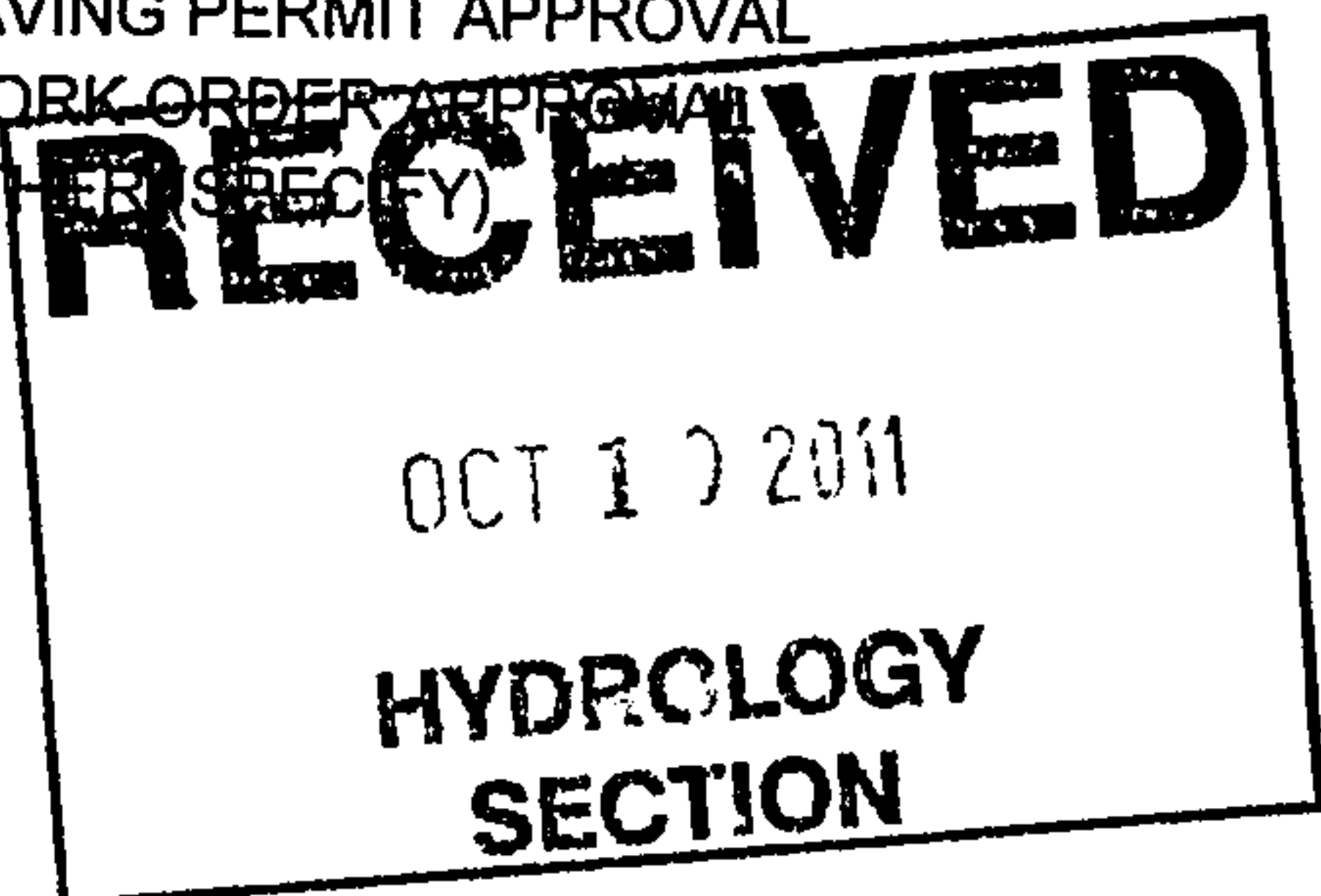
DATE SUBMITTED: _____ BY: David Soule

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**RANDY SENA
CONSTRUCTION INC.**

2835 CHANATE AVE SW
ALBUQUERQUE, NM 87105
PH: (505) 720-3042
FX: (505) 452-1295
EMAIL: RANDYSENA69@MSN.COM
LIC# 365181
BONDED, INSURED
SBA CERTIFIED
8A CERTIFIED

CITY OF ALBUQUERQUE



October 20, 2011

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

Re: **LOT 2, COORS ARENAL INDUSTRIAL PARK, GRADING AND
DRAINAGE PLAN, ENGINEER'S STAMP DATE 10/10/11
(M10/D016H)**

Dear Mr. Soule,

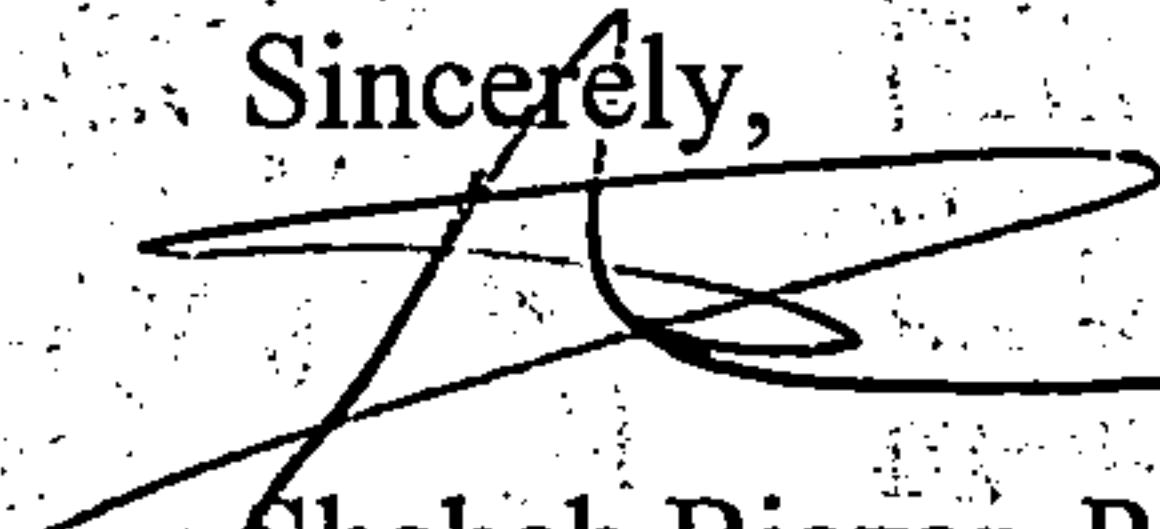
Based upon the information provided in your submittal received 10-10-11, the above referenced plan is approved for Building Permit, Grading Permit, and Paving Permit.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge and a Topsoil Disturbance Permit since it is disturbing $\frac{3}{4}$ of an acre or more.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695.

Sincerely,


Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: 6811 Huseman sw
 DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: M10/D016H
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ENGINEERING FIRM: Rio Grande Engineering
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 CITY, STATE: Alb

CONTACT: David Soule, PE
 PHONE: (505)321-9099
 ZIP CODE: 87199

OWNER: ~~XXXXXXXXXX~~ RANDY SENA, CONSTR. INC.
 ADDRESS: 2835 CHANATE SW
 CITY, STATE: ALBQ, N.M., 87105

CONTACT: DAVID MURPHY RANDY SENA
 PHONE: 720-3042
 ZIP CODE: _____

ARCHITECT: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

SURVEYOR: GEOSURV CO
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: David Vigil
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

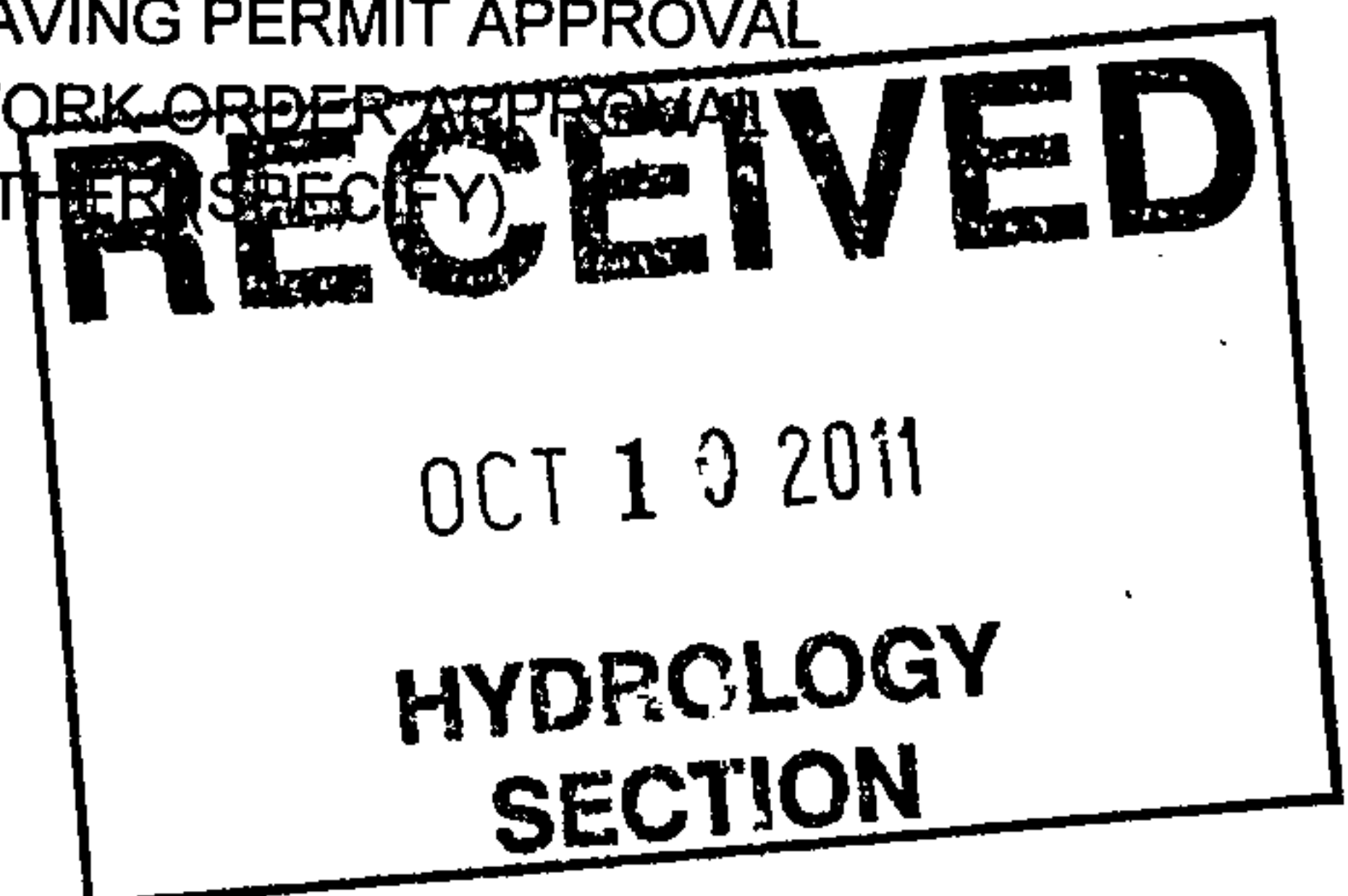
- ☒ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☒ GRADING PERMIT APPROVAL
- ☒ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: _____ BY: David Soule

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

RIO GRANDE ENGINEERING OF NEW MEXICO, LLC

October 10, 2011

Mr. Shahab Biazar, PE
Senior Engineer
Planning Department
City of Albuquerque

**RE: Grading and Drainage Plan
(M10/D016H)**

Dear Shahab:

The purpose of this letter is to accompany the enclosed grading plan for the referenced project. This plan has been modified to address your written comments dated 9/22/11.

The following is a summary of your comments and our responses in bold

1. Include the benchmark and address on plan.

This has been added

2. Show existing on adjacent property to the west

This has been added

3. Label existing contours

This has been added.

4. Show 100-year WSEL

This has been added.

5. provide calculations for pond and overflow

Please find attached

6. Verify calculations

With your assistance the error in cell calculation was corrected.

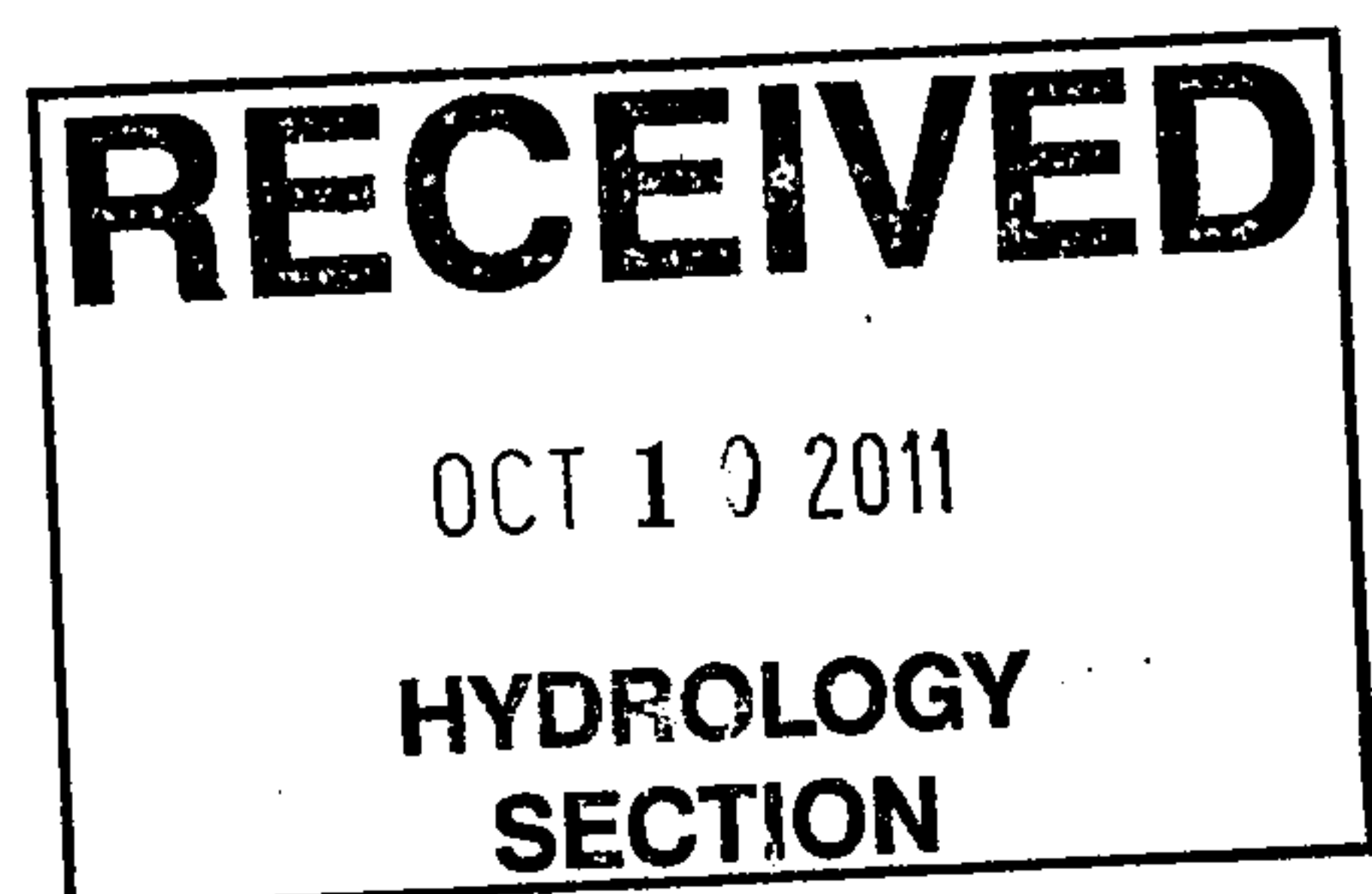
Should you have any questions regarding this resubmittal, please do not hesitate to call me.

Sincerely,

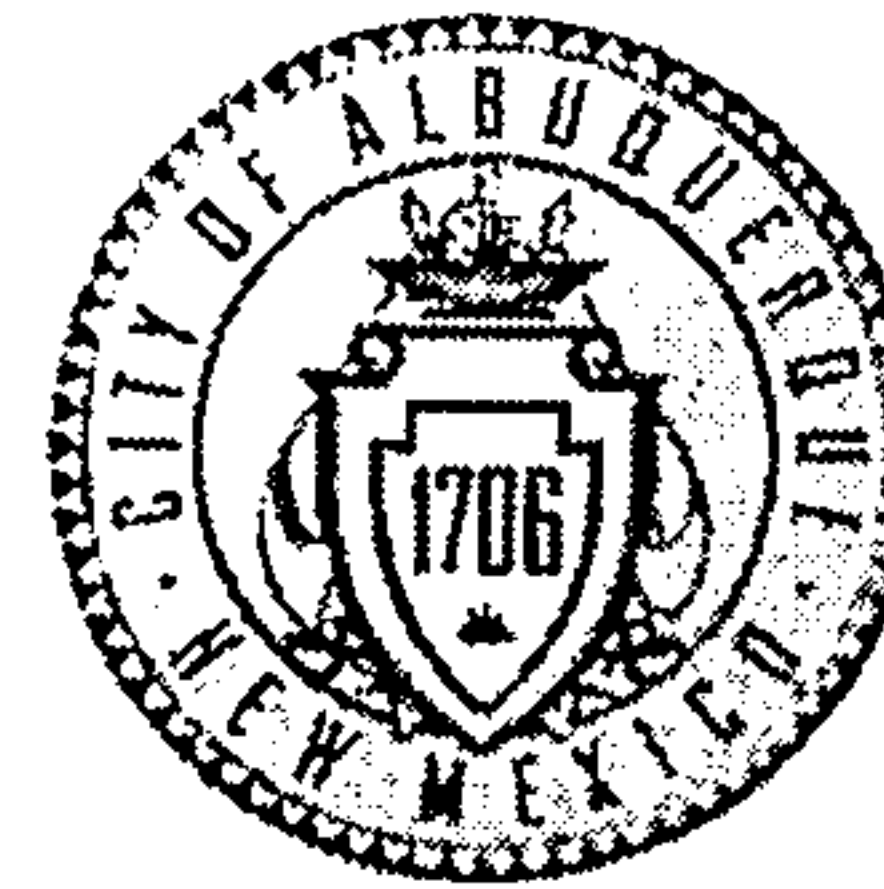


David Soule, PE

Enclosures



CITY OF ALBUQUERQUE



September 22, 2011

David Soule, P.E.
Rio Grande Engineering
P.O. Box 67305
Rio Rancho, NM 87193

**Re: LOT 2, COORS ARENAL INDUSTRIAL PARK, GRADING AND
DRAINAGE PLAN, ENIGNEER'S STAMP DATE 09/06/11
(M10/D016H)**

Dear Mr. Soule,

Based upon the information provided in your submittal received 9-12-11, the above referenced plan can not be approved for Building Permit until the following comments are addressed.

PO Box 1293

Albuquerque

NM 87193

www.cabq.gov

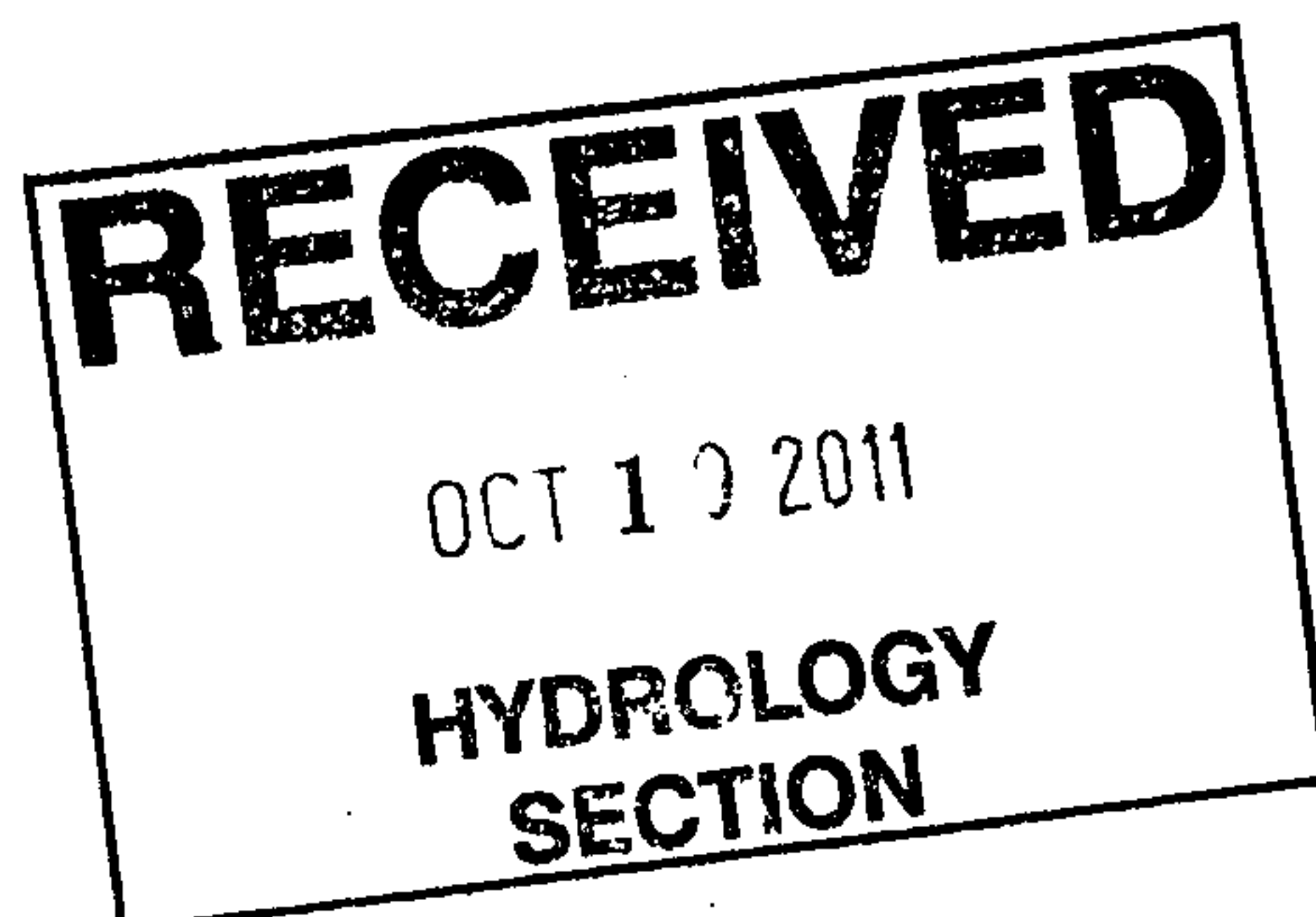
- Include bench mark and site address on the plan.
- Show existing wall to the west.
- Add elevations to exiting contours.
- Show the 100-Year WSEL.
- Provide pond calculations for the proposed pond and the emergency overflow.
- Double check your calculations for the 100-year/10-day ponding volume requirement. Provide copy of your calculations.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File



Weighted E Method

Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year, 6-hr.			10-day
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)
EXISTING	42810.00	0.983	95%	0.9336	5%	0.049	0%	0	0%	0.000	0.452	0.037	1.30	0.037
BASIN C	42810.00	0.983	10%	0.0983	32%	0.314	37%	0.363629	21%	0.206	1.038	0.085	2.71	0.110

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)

Volume = Weighted D * Total Area

Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Where for 100-year, 6-hour storm

$E_a = 0.44$	$Q_a = 1.29$
$E_b = 0.67$	$Q_b = 2.03$
$E_c = 0.99$	$Q_c = 2.87$
$E_d = 1.97$	$Q_d = 4.37$

Developed Conditions

PER MDP RETAIN ENTIRE AMC
PROPOSED

0.11 AC-FT 4805.779 CF



Channel Capacity

	Top Width	Bottom Width	Depth	Area	WP	R	Slope	Q Provided	Q Required	Velocity
	(ft)	(ft)	(ft)	(ft^2)	(ft)		(%)	(cfs)	(cfs)	(ft/s)
OVERFLOW	7	3	0.5	2.50	7.12	0.3509705	1.4	6.27	2.71	1.08
AT MWSEL	5.6	3	0.325	1.40	5.68	0.2460379	1.4	2.76	2.71	1.94

Manning's Equation:

$$Q = 1.49/n * A * R^{(2/3)} * S^{(1/2)}$$

A = Area

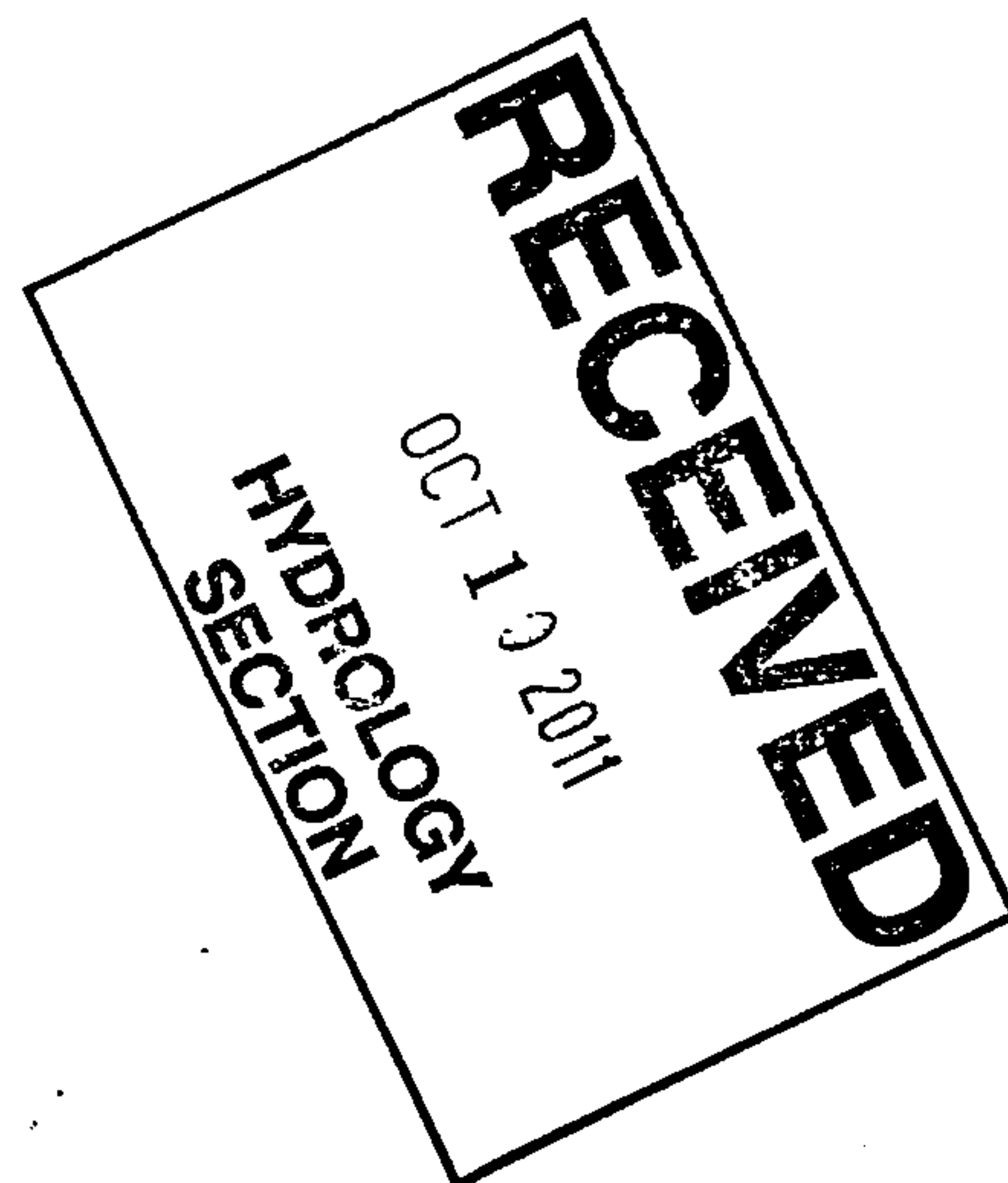
R = D/4

S = Slope

concrete n = 0.017

cobbles n = 0.035

earthan n = 0.025



EMERGENCY OVERFLOW

Weir Equation:

$$Q = CLH^{3/2}$$

$$Q = 2.71 \text{ cfs}$$

$$C = 2.95$$

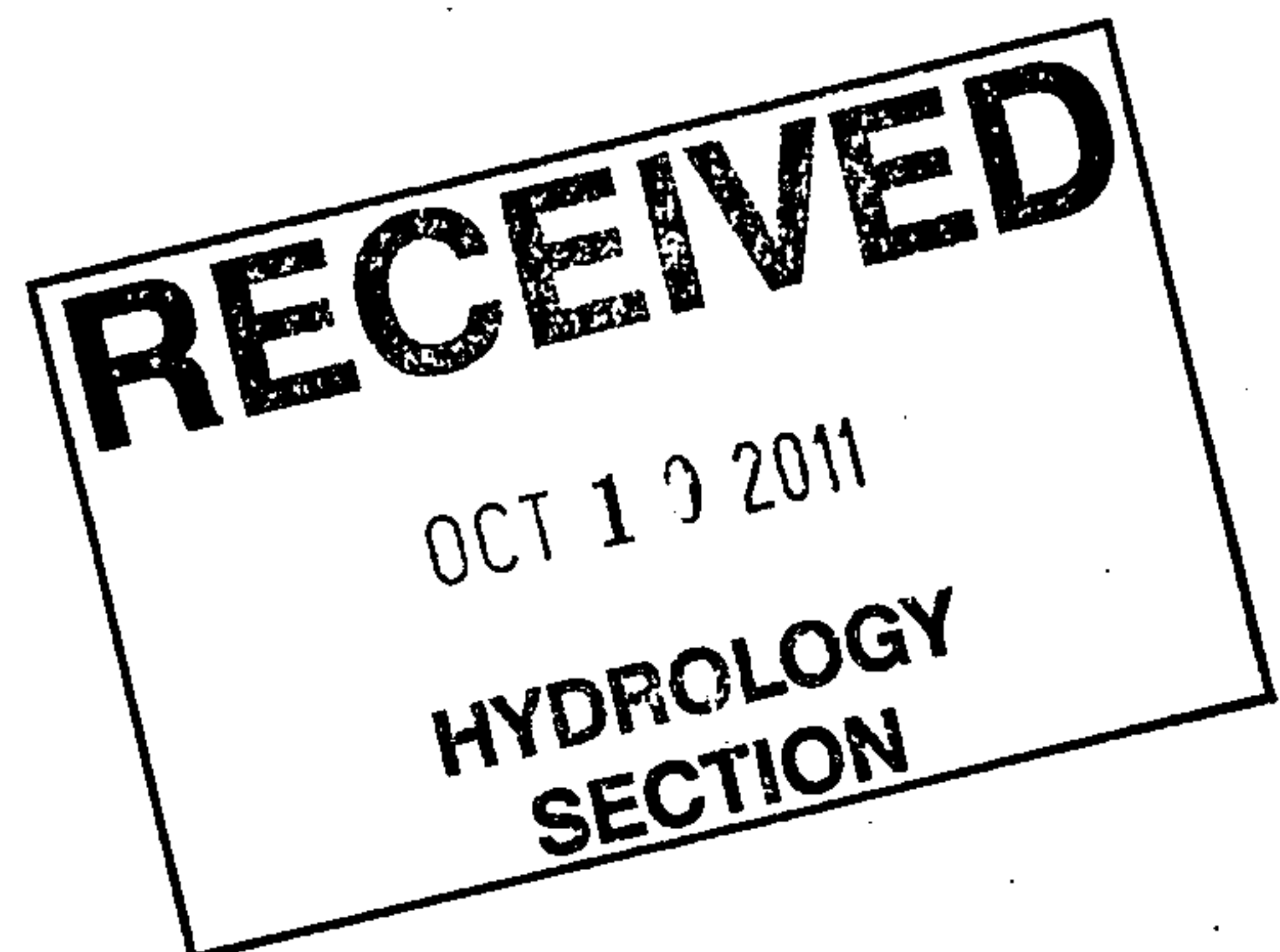
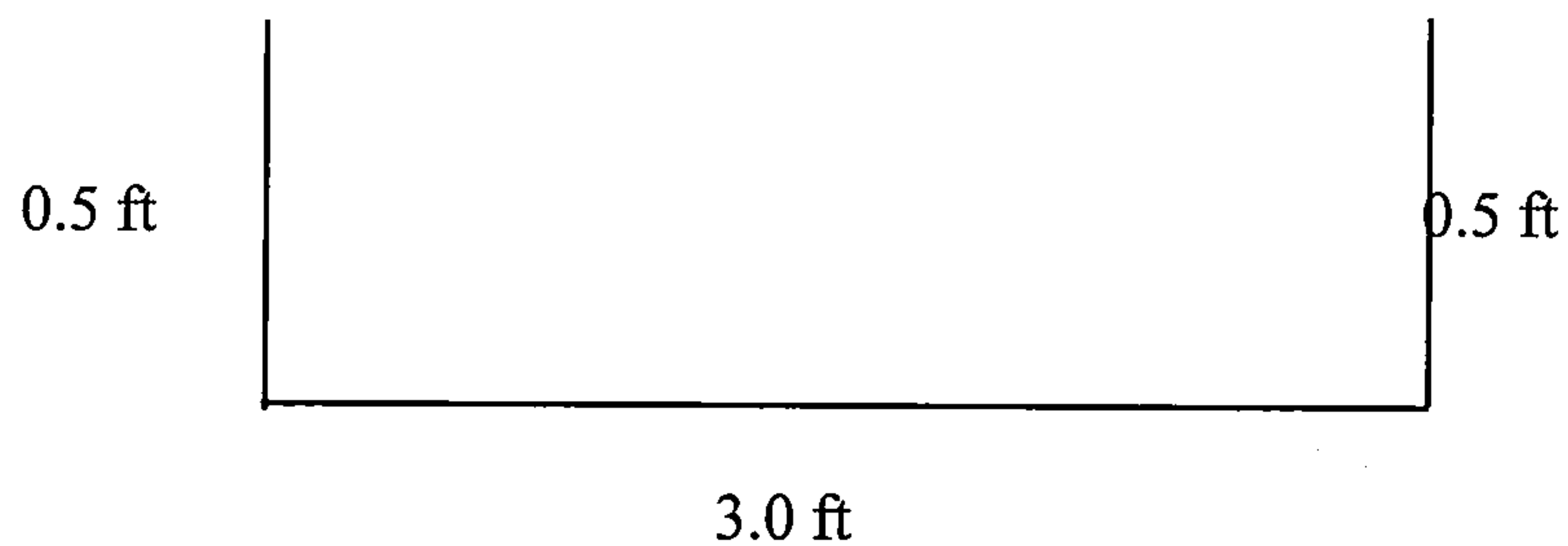
$$H = 0.5 \text{ ft}$$

L = Length of weir

$$L = \frac{2.71}{2.95(0.5)^{3/2}}$$

$$L = 2.60 \text{ ft}$$

Use 3.0 feet for length of weir



CITY OF ALBUQUERQUE



*Changed
Address
Sent via
Email on
10/15*

September 22, 2011

David Soule, P.E.
Rio Grande Engineering
P.O. Box 67305
Rio Rancho, NM 87193

**Re: LOT 2, COORS ARENAL INDUSTRIAL PARK, GRADING AND
DRAINAGE PLAN, ENGINEER'S STAMP DATE 09/06/11
(M10/D016H)**

Dear Mr. Soule,

Based upon the information provided in your submittal received 9-12-11, the above referenced plan can not be approved for Building Permit until the following comments are addressed.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

- Include bench mark and site address on the plan.
- Show existing wall to the west.
- Add elevations to existing contours.
- Show the 100-Year WSEL.
- Provide pond calculations for the proposed pond and the emergency overflow.
- Double check your calculations for the 100-year/10-day ponding volume requirement. Provide copy of your calculations.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



September 22, 2011

David Soule, P.E.
Rio Grande Engineering
P.O. Box 67305
Rio Rancho, NM 87193

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If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE REPORT

For

6811 Huseman SW
Albuquerque, New Mexico

Prepared by

Rio Grande Engineering
PO Box 67305
Albuquerque, New Mexico 87193

September 2011



David Soule P.E. No. 14522

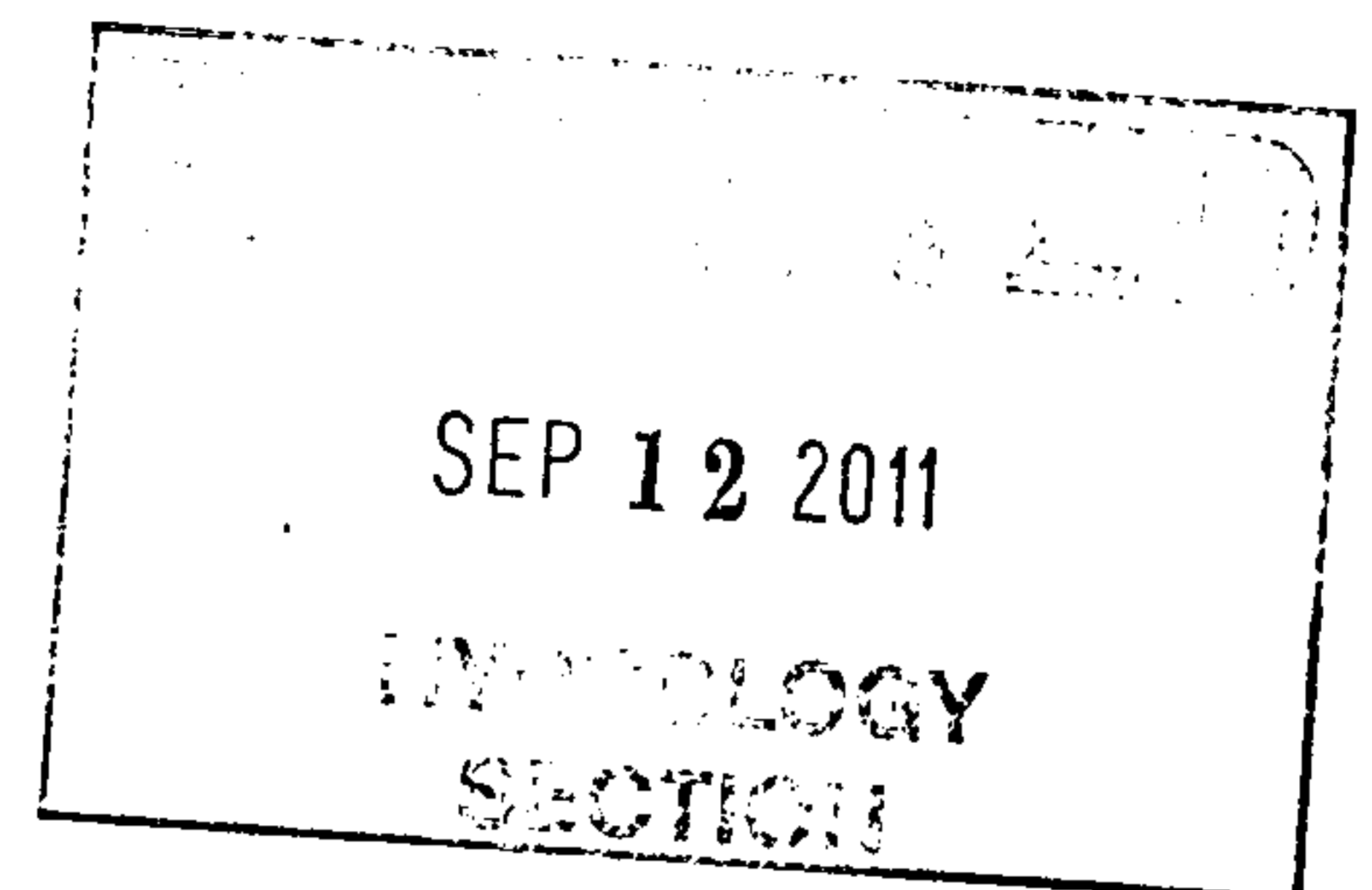


TABLE OF CONTENTS

Purpose3
Introduction3
Existing Conditions3
Exhibit A-Vicinity Map4
Proposed Conditions5
Summary5

Appendix

Site Hydrology A

Map Pocket

Site Grading and Drainage Plan

PURPOSE

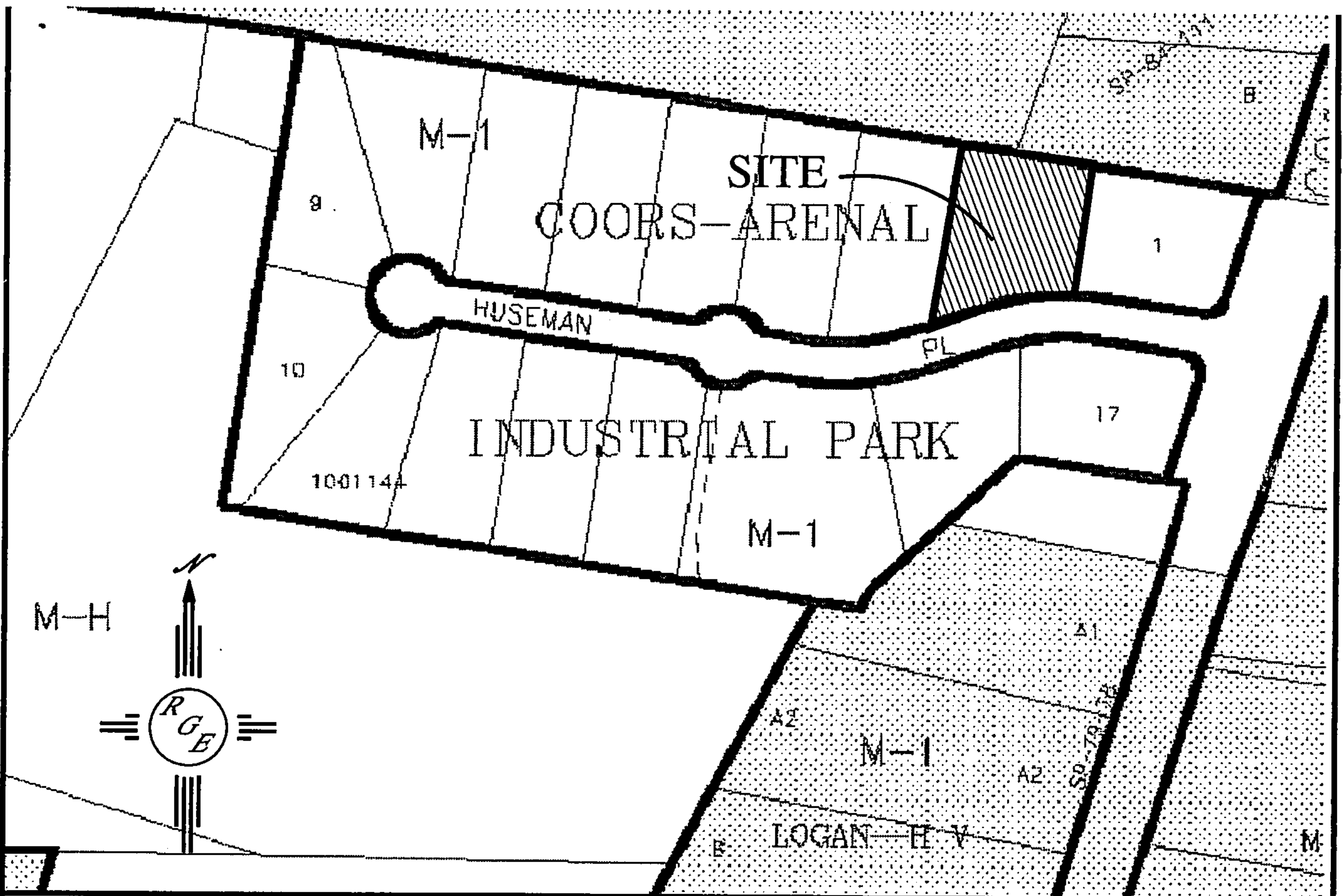
The purpose of this report is to provide the Drainage Management Plan for the construction of an 5,000 office warehouse located at 6811 Huseman NW. This plan was prepared in accordance with the City of Albuquerque design regulations, utilizing the City of Albuquerque's Development Process Manual drainage guidelines. This report will demonstrate that the grading does not adversely affect the surrounding properties, nor the upstream or downstream facilities.

INTRODUCTION

The subject of this report, as shown on the Exhibit A, is a 0.98-acre parcel of land located on the north side of Huseman Place, west of Coors in southwest Albuquerque. The legal description of this site is Lot 2, Coors Arenal Industrial Park. As shown on FIRM map35013C0337E, the entire site is located within Flood Zone X. The site is a graded lot within the existing subdivision. The entire downstream infrastructure has been constructed. The site is part of the Coors-Arenal Industrial Park master drainage study(M-10-D16) and required to pond the entire 100-year 10-day volume on site. The development of this site shall conform to the Coors-Arenal Industrial Park Master Drainage Plan.

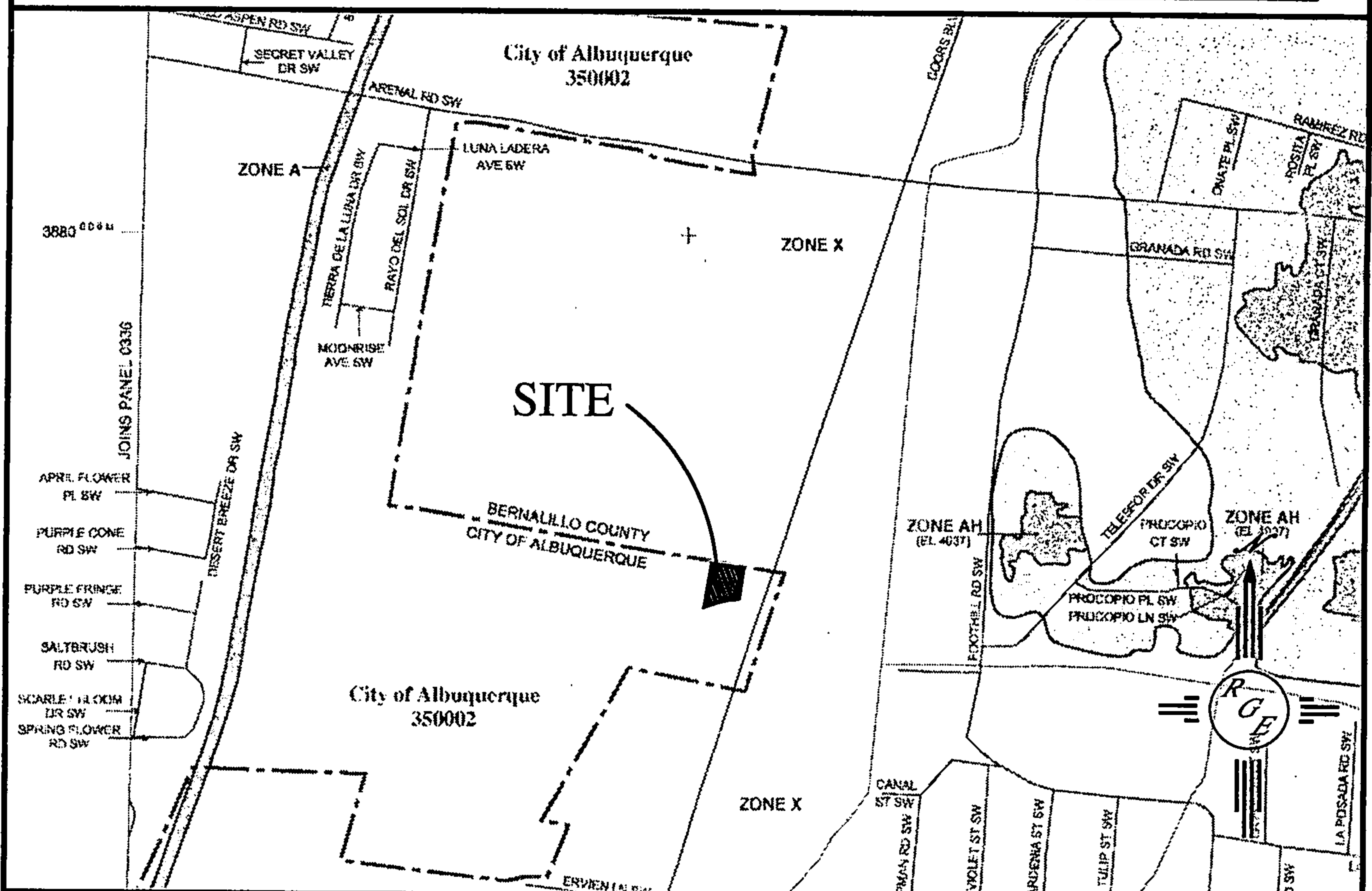
EXISTING CONDITIONS

The site is currently developed as a graded lot. The site currently discharges 1.30 cfs to the adjacent lot and Huseman Place at the sites Southeast corner. This flow is conveyed within the roadway to Coors. It appears the site has been leveled since the initial development.



VICINITY MAP:

M-10-Z



FIRM MAP

35001CO337 E

LEGAL DESCRIPTION:

LOT 2, COORS ARENAL INDUSTRIAL PARK

PROPOSED CONDITIONS

The proposed improvements consist of approximately 5,000 square feet of warehouse with 400 square foot of office and its associated parking. The remaining lot will be left in native condition within the storage areas and gravel in remaining areas. The site will be graded such that there will be the entire site drains to a retention pond located at the southeast corner of the site. The pond was designed with an emergency spill way discharging to Huseman. The pond volume of 2911 cubic feet is greater than the volume generated on site of 2500 cubic feet during the 100-year, 10-day event. As shown in the appendix this site design utilizes the Weighted E methodology proposed in Chapter 22 of the City of Albuquerque DPM.

SUMMARY AND RECOMMENDATIONS

This project is a development of a industrial lot within a recently developed park. This site was designed to retain the entire onsite flow generated during the 100-year, 10-day event. This solution conforms to the governing Coors-Arenal Industrial Park master drainage study. The site is within the master drainage plan area of the Blue Sky development. This site is required to have complete retention. Since the effected area site encompasses les than 1 acre, a NPDES permit should not be required prior to any construction activity.

Weighted E Method

Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year, 6-hr.			10-day
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)
EXISTING	42810.00	0.983	95%	0.9336	5%	0.049	0%	0	0%	0.000	0.452	0.037	1.30	0.037
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Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)

Volume = Weighted D * Total Area

Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Where for 100-year, 6-hour storm

Ea= 0.44	Qa= 1.29
Eb= 0.67	Qb= 2.03
Ec= 0.99	Qc= 2.87
Ed= 1.97	Qd= 4.37

Developed Conditons

PER MDP RETAIN ENTIRE AMC
PROPOSED

0.06 AC-FT 2496.073 CF

DRAINAGE REPORT

For

6811 Huseman SW
Albuquerque, New Mexico

Prepared by

Rio Grande Engineering
PO Box 67305
Albuquerque, New Mexico 87193

September 2011



David Soule P.E. No. 14522

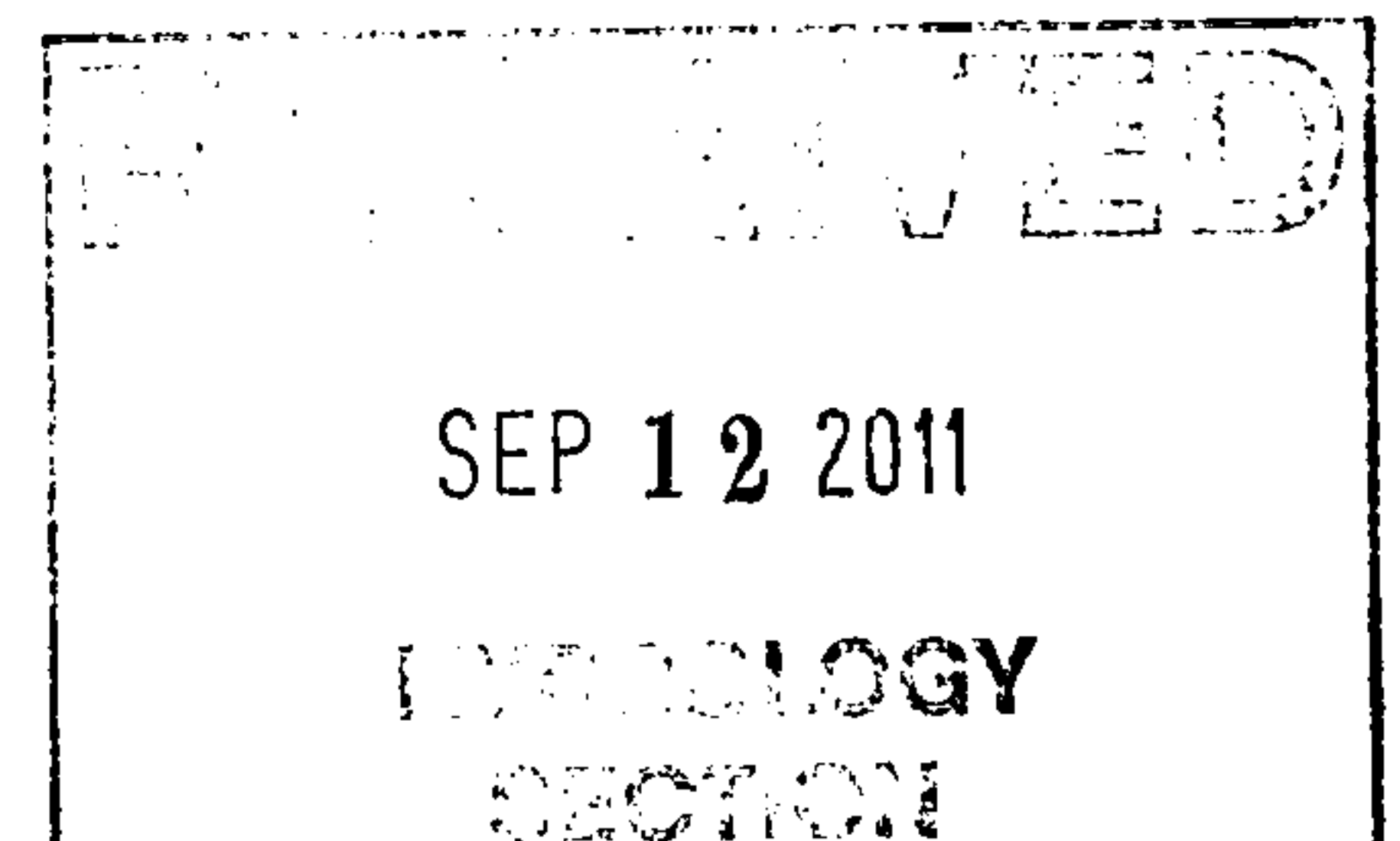


TABLE OF CONTENTS

Purpose3

Introduction3

Existing Conditions3

Exhibit A-Vicinity Map4

Proposed Conditions5

Summary5

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PURPOSE

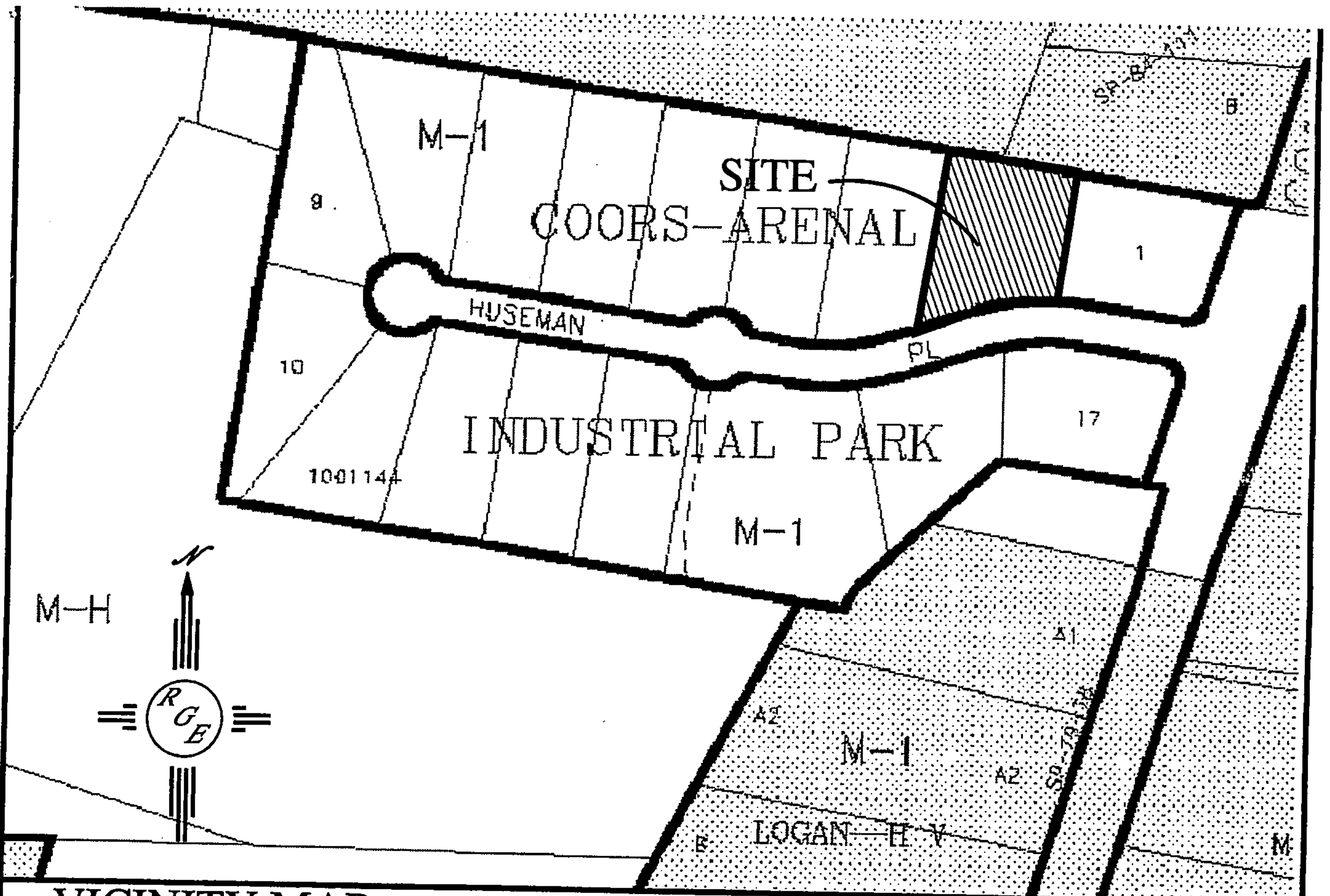
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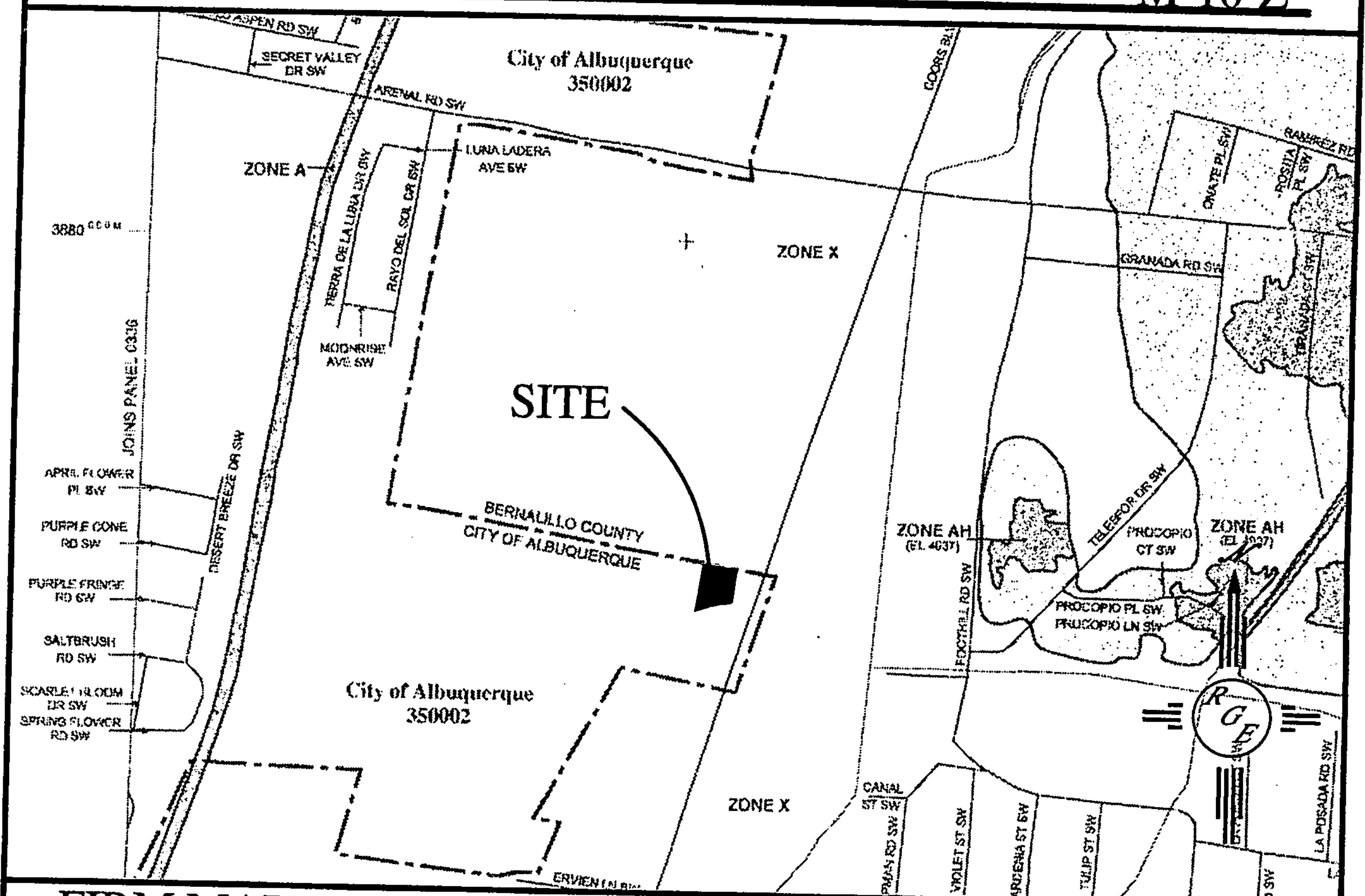
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M-10-Z



FIRM MAP

35001CO337 E

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Equations:

$$\text{Weighted E} = \text{Ea} \cdot \text{Aa} + \text{Eb} \cdot \text{Ab} + \text{Ec} \cdot \text{Ac} + \text{Ed} \cdot \text{Ad} / (\text{Total Area})$$

$$\text{Volume} = \text{Weighted D} \cdot \text{Total Area}$$

$$\text{Flow} = \text{Qa} \cdot \text{Aa} + \text{Qb} \cdot \text{Ab} + \text{Qc} \cdot \text{Ac} + \text{Qd} \cdot \text{Ad}$$

Where for 100-year, 6-hour storm

Ea= 0.44	Qa= 1.29
Eb= 0.67	Qb= 2.03
Ec= 0.99	Qc= 2.87
Ed= 1.97	Qd= 4.37

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PER MDP RETAIN ENTIRE AMC
PROPOSED

0.06 AC-FT 2496.073 CF