# CITY OF ALBUQUERQUE

*Planning Department*
Brennon Williams, Director

*Mayor Timothy M. Keller*

July 13, 2020

Shawn Biazar
SBS Construction and Engineering
10209 Snowflake Ct. NW
Albuquerque, NM 87114

**RE: DKG Roofing**
**7000 Huseman Pl SW**
**Permanent C.O. - Accepted**
**Engineer's Certification Date: 03/13/20**
**Engineer's Stamp Date: 05/09/19**
**Hydrology File: M10D016J**

Dear Mr. Biazar:

Based on the Certification re-submitted 07/9/20 and site visit on 07/10/20, this certification is approved Permanent Release of Occupancy by Hydrology.

If you have any questions, please contact me at 924-3986 or earmijo@cabq.gov.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

# City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** DKG ROOFING INC. Building Permit #: _____ Hydrology File #: M10D016J

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 12 COORS-ARENAL INDUSTRIAL PARK

City Address: 7000 HUSEMAN PLACE, SW

**Applicant:** SBS CONSTRUCTION AND ENGINEEING, LLC Contact: SHAWN BIAZAR

Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114

Phone#: (505) 804-5013 Fax#: (505) 897-4996 E-mail: AECLLC@AOL.COM

**Other Contact:** _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

**TYPE OF DEVELOPMENT:** _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE X ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes X No

**DEPARTMENT** _____ TRANSPORTATION X HYDROLOGY/DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

X ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
X GRADING PLAN
____ DRAINAGE REPORT
____ DRAINAGE MASTER PLAN
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ STREET LIGHT LAYOUT
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

____ BUILDING PERMIT APPROVAL
X CERTIFICATE OF OCCUPANCY

____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL

____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: 03-18-2020 By: SHAWN BIAZAR

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COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

**Location**
LOT 12, COOR-ARENAL INDUSTRIAL PARK SUBDIVISION, is located at 7000 Husemen Place, SW containing 0.9856 acre. See attached portion of Vicinity Map M-10-Z for exact location.

**Purpose**
The purpose of this drainage report is to present a grading and drainage solution for new buildings and improvement for LOT 12, COOR-ARENAL INDUSTRIAL PARK SUBDIVISION.

**Existing Drainage Conditions**
This lot is very flat and drains north into Husemen Place, SW and no other offsite flows enters this site. There are existing gravel on site and some grading has been done.

**Proposed Conditions and On-Site Drainage Management Plan**
We are porposing to retain all the developed flow. The total volume requirement under this condition is 10,178.64 CF . We are proposing a total of five ponds (A-E) with total volume provided of 11,832.68 CF wich includes the first flush volume requirement of 912.32 CF.

***VOLUME CALCULATIONS FOR 10 DAY STORM***
(UNDER PROPOSED CONDITIONS)

| *BASIN* | *AREA (SF)* | *AREA (AC)* | *AREA (MI²)* |
|---|---|---|---|
| ON-SITE | 42,932.74 | 0.9856 | 0.001540 |

$E = \frac{EA(AA) + EB(AB) + EC(AC) + ED(AD)}{AA + AB + AC + AD}$

V-360 = E (AA + AB + AC + AD)

EA = 0.44
EB = 0.67
EC = 0.99
ED = 1.97

AA = 0.00%
AB = 25.00%
AC = 0.00%
AD = 75.00%

P-60 = 2.01
P-360 = 2.35
P-1440 = 2.75
P-10 Day = 3.95

**E = 1.6450 IN**
**V-360 = 0.1351 AC-FT**
**AD = 0.7392 AC**
**V-10 DAY = 0.2337 AC-FT**
**V-10 DAY= 10,178.64 CF**

**V (REQUIRED) = 10,178.64 CF**

PONDING VOLUME REQUIREMENTS (90TH PERCENTILE/FIRST FLUSH)

VOLUME REQUIRED = 0.34 INCHES x IMPERVIOUS AREA =
(0.34/12 x 32,199.55) = 912.32 CF

PONDING VOLUME CALCULATION

TOTAL POND AREA PROVIDED =
PONDING CALCULATIONS:

POND A:
AREA @ ELEV. 84.00 = 3196.00 SF
AREA @ ELEV. 83.50 = 7.07 SF
POND VOLUME=(3196.00+7.07)/2*0.50=800.77 CF

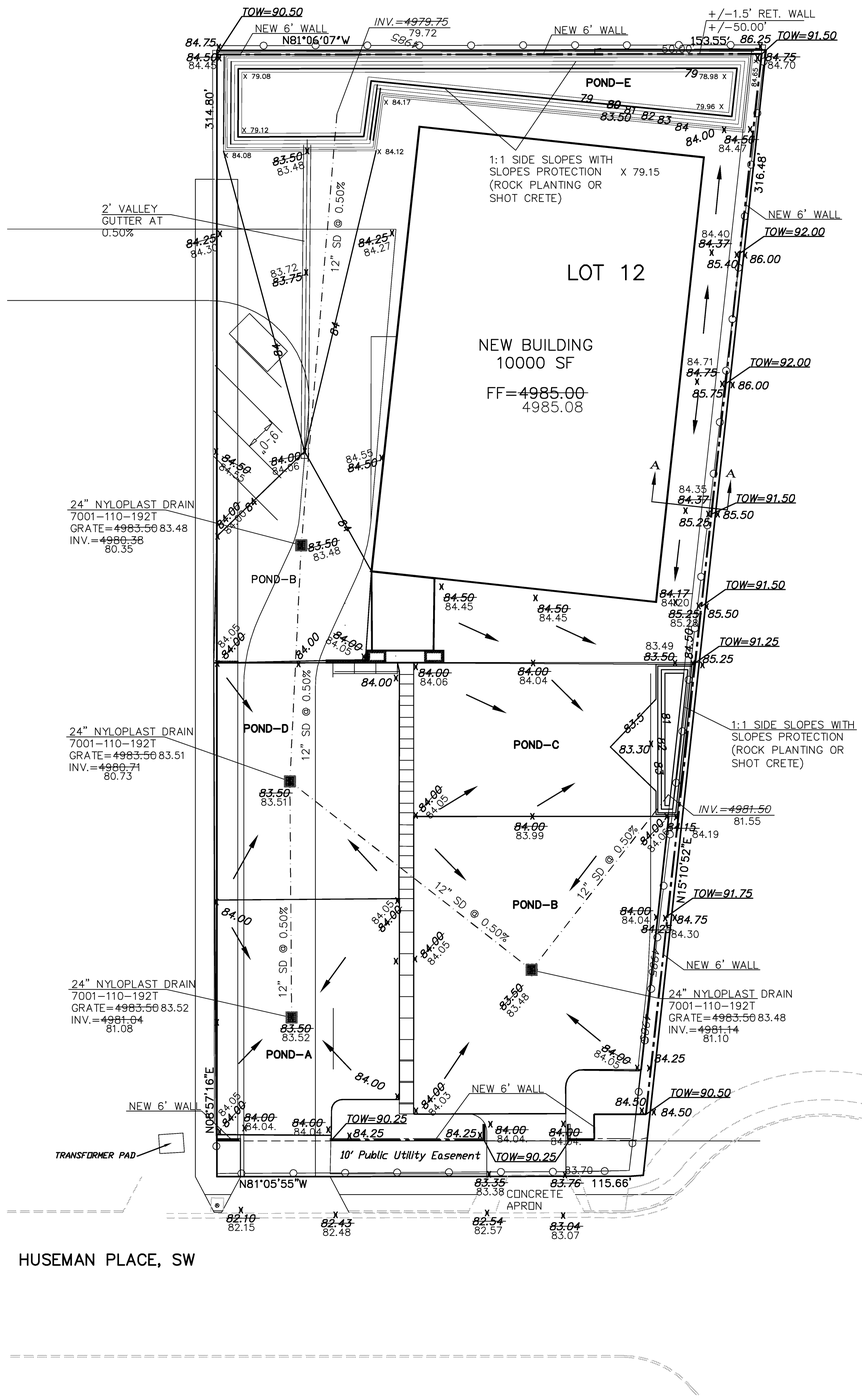
POND B:
AREA @ ELEV. 84.00 = 5310.09 SF
AREA @ ELEV. 83.50 = 7.07 SF
POND VOLUME=(5310.09+7.07)/2*0.0.50=1329.29 CF

POND C:
AREA @ ELEV. 84.00 = 3243.32 SF
AREA @ ELEV. 83.50 = 510.70 SF
AREA @ ELEV. 83.00 = 297.72 SF
AREA @ ELEV. 81.00 = 120.24 SF
POND VOLUME=(938.51+202.11+417.96)= 1558.57 CF

POND D:
AREA @ ELEV. 84.00 = 3417.78 SF
AREA @ ELEV. 83.50 = 7.07 SF
POND VOLUME=(3417.78+7.07)/2*0.50= 856.21 CF

POND E:
AREA @ ELEV. 84.00 = 4344.91 SF
AREA @ ELEV. 83.50 = 1945.92 SF
AREA @ ELEV. 83.00 = 1784.68 SF
AREA @ ELEV. 79.00 = 1229.25 SF
POND VOLUME=(1572.71+932.65+4782.48)= 7287.84 CF

TOTAL PONDING VOLUME PROVIDED =
800.77 +1329.29 + 1558.57 + 856.21 + 7287.84 = 11,832.68 CF




HUSEMAN PLACE, SW

GENERAL NOTES:

1: CONTOUR INTERVAL IS HALF (1.00) FOOT.

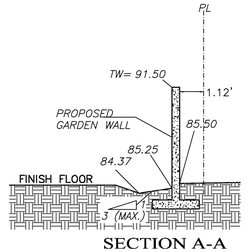
2: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.

3: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.

4: SLOPES ARE AT 3:1 MAXIMUM UNLESS NOTED.

5: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION 9_M11, HAVING AN ELEVATION OF 4957.54 FEET ABOVE SEA LEVEL.

6: ADD 4900 TO ALL PROPOSED SPOT ELEVATIONS.




SECTION A-A
NTS

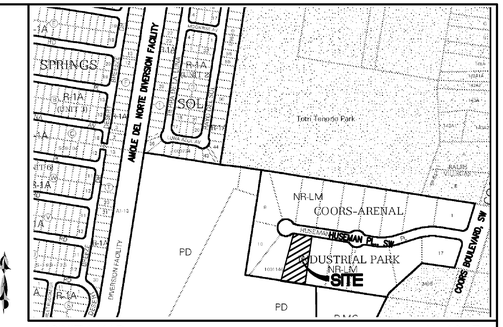
DRAINAGE CERTIFICATION

I, REZA AFAGHPOUR , NMPE 11814 , OF SBS CONSTRUCTION AND ENGINEERING, LLC , HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 05-19-2019 . THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY NMPS 9801 LEONARD MARTINEZ , OF SBS CONSTRUCTION AND ENGINEERING . I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATE OF OCCUPANCY .

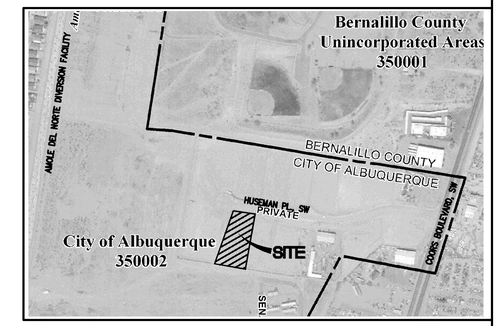
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

REZA AFAGHPOUR, NMPE 11814 — 03-13-2020 DATE

REZA AFAGHPOUR NEW MEXICO 11814 REGISTERED PROFESSIONAL ENGINEER 03/13/2020




VICINITY MAP: M-10-Z




FIRM MAP: 35001C0337G
EFFECTIVE DATE: 09-26-2008

LEGAL DESCRIPTION:

LOT 12, COOR-ARENAL INDUSTRIAL PARK SUBDIVISION
CONTAINING 0.9856 ACRE
ADDRESS: 7000 HUSEMAN PLACE, SW

LEGEND

- BOUNDARY LINE
- EASEMENT LINE
- EXISTING SEWER
- EXISTING SD — EXISTING STORM DRAIN
- EXISTING CURB & GUTTER
- PROPOSED WALL
- EXISTING SIDEWALK
- EXISTING FIRE HYDRANT
- EXISTING WATER SERVICE
- EXISTING DROP INLET

REZA AFAGHPOUR NEW MEXICO 11814 LICENSED PROFESSIONAL ENGINEER 5-9-2019

REZA AFAGHPOUR
P.E. #11814

GRAPHIC SCALE
20 10 0 20
SCALE: 1"=20'


SBS CONSTRUCTION AND ENGINEERING, LLC
10209 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570


# DKG ROOFING, INC
# 7000 HUSEMAN PLACE, SW
# GRADING PLAN

| DRAWING: | DRAWN BY: | DATE: | SHEET # |
|---|---|---|---|
| 201827-GD.DWG | SDR | 10/29/2017 | 1 |

LAST REVISION: 11-24-2017